

**KENDALL COUNTY BOARD AGENDA  
ADJOURNED SEPTEMBER MEETING**

**Kendall County Office Building, Rooms 209 & 210, Yorkville IL 60560  
Tuesday, March 15, 2022 at 9:00 a.m.**

1. Call to Order
2. Roll Call
3. Determination of a Quorum
4. Approval of Agenda
5. Special Recognition
  - A. Resolution Declaring March 29, 2022 as National Vietnam War Veterans Day
  - B. Approval of a Proclamation Recognizing April as National Child Abuse Prevention Month
6. Public Comment
7. Public Hearing

Public Hearing to obtain public comment and consider the economic, social, and environmental effects of the application for Public Transportation Financial Assistance under Section 5311 of the Federal Transit Act of 1991, as amended (49 U.S.C. §5311).
8. Consent Agenda
  - A. Approval of County Board Minutes from February 15, 2022
  - B. Standing Committee Minutes Approval
  - C. Approval of Claims in an amount not to exceed \$1,681,192.76
  - D. Approval of Petition 22-03 Request from Executive Pastor Sean Mabee on Behalf of Grace Bible Church of Shorewood and Chief Andrew Doyle on Behalf of the Troy Fire Protection District for a Special Use Permit for a Governmental Building or Facility (Fire Station) and the Revocation of a Special Use Permit for a Church Granted by Ordinance 2004-24 at 748 Jones Road (PIN: 09-12-300-017) in Seward Township
  - E. Approval of Petition 22-04 Request from John and Laura Gay for a Major Amendment to an Existing Special Use Permit for a Kennel Granted by Ordinance 2019-33 by Changing the Site Plan at 3601 Plainfield Road (PIN: 03-28-100-004) in Oswego Township
  - F. Approve Agreement between State of Illinois, Department of Transportation and Kendall County pertaining to the reconstruction of Illinois Route 71 between Ill. Rte. 126 and Orchard Road
  - G. Approve Resolution for the appropriation of funds for replacement of traffic signal and roadway light at Van Emmon Road; in conjunction with the reconstruction of IL Route 71
  - H. Approve Resolution appropriating funds for the payment of the County Engineer's salary
  - I. Approval of a Resolution Authorizing and Executing REBUILD Capital Grant Agreement
  - J. Approval of a Resolution Authorizing Execution and Amendment of Section 5311 Grant Agreement
  - K. Approval of Public Transportation Applicant Ordinance – An Ordinance to Provide Public Transportation
  - L. Approval of Ordinance Abating the Taxes levied for the Year 2021 Payable 2022 to Pay Debt Service on General Obligation Bonds (Alternate Revenue Source) Series 2016, 2017, 2019A & 2019B for the County of Kendall. Illinois
  - M. Approval of Resolution Establishing the Salary for the Kendall County Treasurer and Collector
  - N. Approval of Resolution Establishing the Salary for the Kendall County Clerk and Recorder
  - O. Approval of Resolution Establishing the Salary for the Kendall County Sheriff
  - P. Approval of ARPA Claims from October 15, 2021, October 19, 2021, November 10 2021, November 16, 2021, January 31, 2022, February 15, 2022 and February 28, 2022
9. Old Business
10. New Business
11. Elected Official Reports & Other Department Reports
  - A. Sheriff
  - B. County Clerk and Recorder
  - C. Treasurer
  - D. Clerk of the Court
  - E. State's Attorney
  - F. Coroner
  - G. Health Department
  - H. Supervisor of Assessments
  - I. Regional Office of Education – Chris Mehochko, Grundy-Kendall Regional Office of Education Superintendent
12. Standing Committee Reports
  - A. Finance
    1. Approval of a Deputy Coroner Position in the Coroner's Office to be Paid from the American Rescue Plan Act Fund
    2. Approval of American Rescue Plan Act External Entities Policy and Procedures
  - B. Highway
    1. Approve Intergovernmental agreement between Kendall County, Illinois, and the City of Yorkville, Illinois, relating to the reconstruction and maintenance of Fox Road from Fox Lawn Subdivision, east to Illinois Rte. 47
    2. Approve Intergovernmental agreement between Kendall County, Illinois and the Village of Montgomery, Illinois relating to the construction and maintenance of an extension of Cannonball Trail at its intersection with Galena Road
  - C. Facilities
    1. Approve three-year contract with two one year options with Cleaner Living Services, Inc. starting April 1, 2022 in the amount of \$16,100.00 per month.
    2. Approve three-year contract with two one year options with Cox Landscaping LLC, Inc. starting April 1, 2022 in the amount of \$5,827.43 per month.
    3. Approve Courthouse Roof Replacement with Garland/DBS Inc. Utilizing Omnia Proposal #25-IL220196 in the amount of \$94,521.00.
    4. Approval of the Low Bid from Patrick McCann, Inc. for Historic Courthouse Window Replacement Project in the amount of \$126,000
  - D. Economic Development
    1. Approval of agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Yorkville Body Shop Inc. for the amount of \$25,000

2. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Burks Bros Drywall Inc. for the amount of \$25,000
3. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Martha’s Travel Corner for the amount of \$23,800
4. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Advanced Physical Medicine of Yorkville, Ltd. for the amount of \$25,000
5. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Apple-A-Day Pediatrics for the amount of \$25,000
6. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Harmony Aesthetics, LLC for the amount of \$16,324.48
7. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with In Touch Therapeutic Massage Inc. for the amount of \$11,141
8. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with PlatinumCare Cleaning Services for the amount of \$25,000
9. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Hair by Nikki for the amount of \$6,405
10. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Jurassic Painting and Decorating LLC for the amount of 25,000
11. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Copa, Inc. for the amount of \$25,000
12. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Exclusive Fades Inc. for the amount of \$25,000
13. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Standard Barber Lounge Incorporated for the amount of \$23,900
14. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Andrea’s Business Services for the amount of \$25,000
15. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Locked in Photography for the amount of \$12,800
16. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Heritage Home Décor & Design for the amount of \$25,000
17. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Hydranics Driveline Service, Inc. for the amount of \$25,000
18. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with JKS Heating and Cooling for the amount of \$25,000
19. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with Source 1 Building Maintenance Services Inc. for the amount of \$25,000
20. Approval of agreement for disbursement and use of Kendall County’s American Rescue Plan Act Funds with CA Custom Woodworking, Inc. for the amount of \$8,154
13. Special Committee Reports
14. Other Business
15. Chairman’s Report

#### **Appointments**

Lynn Cullick – Board of Health – 3-year term – Expires April 2025  
 Dr. Joseph Gruber – Board of Health – 3-year term – Expires 2025  
 Jeff Wehrli – Ethics Commission Advisor – 2-year term – Expires 2024

16. Public Comment
17. Questions from the Press
18. Executive Session
19. Adjournment

If special accommodations or arrangements are needed to attend this County meeting,  
 please contact the Administration Office at 630-553-4171, a minimum 24-hours prior to the meeting time.



# County of Kendall, Illinois

## Resolution 22 – \_\_\_\_\_

### **RESOLUTION DECLARING MARCH 29, 2022 AS NATIONAL VIETNAM WAR VETERANS DAY**

**WHEREAS**, the Vietnam War was fought from November 1, 1955 to May 15, 1975, and involved North Vietnam and Viet Cong in conflict with the United States Armed Forces and South Vietnam; and

**WHEREAS**, as a grateful nation, we commemorate the 3.4 million American military personnel deployed to southeast Asia, we honor more than 58,000 members of the United States Armed Forces who lost their lives in Vietnam and more than 300,000 members of the Armed Forces that were wounded, the members of the United States Armed Forces who were declared missing-in-action in Vietnam, and their families for their selfless service and sacrifice; and

**WHEREAS**, the United States Senate Committee on Veterans' Affairs declared March 29th to be permanently recognized and observed each year as "Welcome Home Vietnam Veterans Day", as an appropriate way to honor those members of the United States Armed Forces who served during the Vietnam War; and

**WHEREAS**, Kendall County salutes the more than 2,500 Vietnam Veterans living in the county today; and

**WHEREAS**, Kendall County and organizations across America join with the Department of Defense to commemorate nine million Americans, with approximately 7.2 million of them alive today, and makes no distinction as to who served in-country, in-theater, or were stationed elsewhere during those 20 long years – agreeing that all answered the call of duty; and

**WHEREAS**, we humbly thank our Vietnam Veterans for standing strong when they were needed and answering the challenge when they were called;

**WHEREAS**, we reaffirm our obligation to demonstrate to all who have worn the uniform of the United States Armed Forces, the respect and dignity they have earned and deserve, and we honor their sacrifice by serving them well as they served all of us.

**NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BOARD OF KENDALL COUNTY, ILLINOIS, THAT WE PROCLAIM MARCH 29<sup>th</sup> AS "WELCOME HOME VIETNAM VETERAN DAY".**

PRESENTED and ADOPTED by the County Board, this \_\_\_\_\_ day of March, 2022.

Approved:

Attest:

\_\_\_\_\_  
Scott R. Gryder, County Board Chairman

\_\_\_\_\_  
Debbie Gillette, County Clerk and Recorder



# COUNTY OF KENDALL, ILLINOIS

## RECOGNIZING APRIL AS NATIONAL CHILD ABUSE PREVENTION MONTH

### PROCLAMATION 22 - \_\_\_\_\_

WHEREAS, as we begin to emerge from several years of unprecedented stress and hardship, children and families need our support now more than ever; and

WHEREAS, living with a devastating pandemic and the worst economic crisis in nearly a century have increased the risk for child abuse and neglect as Americans struggle with challenges of school and child care facility closures, social isolation and increased financial instability; and

WHEREAS every child deserves to grow up in a nurturing environment, free from abuse in all of its forms – neglect, mistreatment, physical, emotional, or sexual abuse; and

WHEREAS, child abuse and neglect causes serious harm to child development and has lifelong effects that endanger safety, hinder permanency and reduce well-being, creating greater demands on society; and

WHEREAS, Illinoisans have made more than 250,000 calls to the Illinois Child Abuse Hotline each year, offer temporary safe haven for more than 14,000 children as foster families, and have provided permanent, loving homes for more than 17,000 children through adoption in the last decade; and

WHEREAS, across our country, a vast network of frontline workers, court and legal professionals, church leaders, volunteers, teachers, loved ones and neighbors work every day to support the wellbeing of our children; and

WHEREAS, child abuse prevention programs in Illinois are effective because of partnerships created by the Illinois Department of Children and Family Services, Prevent Child Abuse Illinois, Strengthening Families Illinois, Children's Home + Aid Society of Illinois, Children's Advocacy Centers of Illinois, Voices for Illinois Children, Court Appointed Special Advocates (CASA), other government entities, social service agencies, schools, religious organizations, law enforcement agencies, businesses, and individual citizens; and

NOW THEREFOR BE IT RESOLVED by the County of Kendall that the month of April is NATIONAL CHILD ABUSE PREVENTION MONTH, and all citizens are encouraged to WEAR BLUE on April 1, 2022, and every April 1<sup>st</sup> thereafter, in support of this effort.

Approved:

Attest:

\_\_\_\_\_  
Scott R. Gryder  
County Board Chairman

\_\_\_\_\_  
Debbie Gillette  
County Clerk and Recorder



**KENDALL COUNTY BOARD  
ADJOURNED SEPTEMBER MEETING  
February 15, 2022**

STATE OF ILLINOIS     )  
  ) SS  
COUNTY OF KENDALL    )

The Kendall County Board Meeting was held at the Kendall County Office Building, Rooms 209 & 210, in the City of Yorkville on Tuesday February 15, 2022 at 9:00 a.m. The Clerk called the roll. Members present: Chairman Scott Gryder, Amy Cesich, Brian DeBolt, Scott Gengler, Judy Gilmour, Matt Kellogg, Dan Koukol, Ruben Rodriguez and Robyn Vickers. Member(s) absent: Elizabeth Flowers

The Clerk reported to the Chairman that a quorum was present to conduct business.

**THE AGENDA**

Member Koukol moved to approve the agenda. Member Rodriguez seconded the motion. Chairman Gryder asked for a voice vote on the motion. All members present voting aye. **Motion carried.**

**PUBLIC COMMENT**

Oswego Fire Protection District, Dan Schiradelly invited the board members to an upcoming fire operations course.

**CONSENT AGENDA**

Member DeBolt moved to approve the consent agenda of **A)** county board minutes from January 18, 2022; **B)** standing committee minutes; **C)** claims in an amount not to exceed \$1,819,256.82; **D)** Approve Chicago HIDTA Drug Intelligence Officer Service contract amendment with Kendall County as the Fiduciary Agent effective March 12, 2022 through March 11, 2025, in the annual amount of \$87,524.00; **E)** Approve Chicago HIDTA Deconfliction Analyst Service contract with Kendall County as the Fiduciary Agent effective March 3, 2022 through March 2, 2025 in the annual amount of \$79,310.00; **F)** Approve Chicago HIDTA Research/Deconfliction Analyst Service contract with Kendall County as the Fiduciary Agent effective April 1, 2022 through March 31, 2025 in the annual amount of \$79,310.00; **G)** Approval of Petition 21-47 – Request from Cyrus McMains on Behalf of the Yorkville Bristol Sanitary District for Variances to Sections 203.1.b (Site Runoff Storage Requirements) and 403 (Compensatory Storage Volume Requirements) of the Kendall County Stormwater Management Ordinance for Twenty-One Plus or Minus (21 +/-) Acres of Land West of 304 River Street (PIN: 02-32-231-008) in the United City of Yorkville; **H)** Approval of a Resolution Approving an Intergovernmental Agreement for Reciprocal Building Inspection Services between Kendall County, Illinois and the United City of Yorkville, Illinois; **I)** Approval of Publishing the Annual Noxious Weed Notice in the Kendall County Record at a Cost Not to Exceed \$125.00; Related Invoice(s) to Be Paid from the PBZ Legal Publications Line Item 11001902-62090; **J)** Approval of a Proposal from WBK Engineering for Work Related to the Submittal of the Annual Report for the 2021 NPDES – MS 4 Requirements in an Amount of \$2,000 Plus Reimbursable Costs (Costs + 10%); Related Invoices to Be Paid from the PBZ Consultants Line Item 11001902-63630. Member Cesich seconded the motion. Chairman Gryder asked for a roll vote on the motion. All members present voting aye. **Motion carried.**

**C) COMBINED CLAIMS:** ADMIN \$13,410.96; ANML CNTRL WRDN \$3,364.65; ASSMT \$13.29; CAP EXPEND \$346.97; CIR CT CLK \$9,530.79; CIR CRT JDG \$15,227.36; CORONR \$931.44; CORR \$41,408.07; CNTY ADMN \$164,005.60; CNTY BRD \$136,209.94; CNTY CLK \$51,644.16; HIGHWY \$69,957.95; TREASR \$3,210.63; EMA \$251.93; FCLT MGMT \$51,374.90; GIS CORD \$3,832.05; HLTH & HMN SRV \$78,311.72; JURY \$5,887.08; MERIT \$354.00; PBZ \$2,451.89; PSTG \$3,207.50; PRSD JDGE \$9,198.68; PROB \$16,691.90; PUB DFNDR \$763.94; ROE \$6,581.41; SHRF \$68,843.23; ST ATTY \$3,224.36; TECH DIR \$7,154.42; TREASR \$35.26; UTIL \$114,603.08; VET \$2,233.87; FP \$26,590.37; SHF \$51,782.99; SHF \$46,036.43; CIVIL \$441,991.00; ARPA \$368,593.00.

**G)** A complete copy of Ordinance 22-06 is available in the Office of the County Clerk.

**H)** A complete copy of Resolution 22-08 is available in the Office of the County Clerk.

**NEW BUSINESS**

**Whistleblower**

Member Kellogg moved to approve the ordinance adopting a Whistleblower Reporting and Anti-Retaliation Policy. Member Cesich seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

A complete copy of Ordinance 22-07 is available in the Office of the County Clerk.

Co Board 2/15/2022

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**Cordogan and Clark**

Presented proposal for needs assessment.

**SPECIAL RECOGNITION****Cynthia Worsley**

Cynthia Worsley, retired Director of the Fox Valley Community Services was presented a plaque for her years of dedication.

**NEW BUSINESS****FGM Architects**

Presented proposal for needs assessment.

**ELECTED OFFICIALS REPORT AND OTHER DEPARTMENT REPORTS****County Clerk**

Revenue Report		1/1/22-1/31/22	1/1/21-1/31/21	1/1/20-1/31/20
Fund				
CLKFEE	County Clerk Fees	\$1,018.00	\$1,254.00	\$719.00
MARFEE	County Clerk Fees - Marriage License	\$750.00	\$810.00	\$660.00
CIVFEE	County Clerk Fees - Civil Union	\$30.00	\$0.00	\$30.00
ASSUME	County Clerk Fees - Assumed Name	\$60.00	\$80.00	\$40.00
CRTCOP	County Clerk Fees - Certified Copy	\$1,948.00	\$1,898.00	\$1,478.00
NOTARY	County Clerk Fees - Notary	\$240.00	\$425.00	\$300.00
MISINC	County Clerk Fees - Misc	\$109.00	\$263.00	\$60.00
	County Clerk Fees - Misc Total	\$2,357.00	\$2,666.00	\$1,878.00
RECREE	County Clerk Fees - Recording	\$35,116.00	\$42,268.00	\$25,008.00
	Total County Clerk Fees	\$39,271.00	\$46,998.00	\$28,295.00
CTYREV	County Revenue	\$61,862.00	\$41,157.25	\$26,196.50
DCSTOR	Doc Storage	\$20,602.00	\$24,789.00	\$14,516.00
GISMAP	GIS Mapping	\$65,280.00	\$78,450.00	\$45,990.00
GISRCD	GIS Recording	\$4,352.00	\$5,230.00	\$3,066.00
INTRST	Interest	\$36.86	\$41.39	\$25.96
RECMIS	Recorder's Misc	\$993.00	\$6,518.00	\$4,202.25
RHSP	RHSP/Housing Surcharge	\$18,324.00	\$22,572.00	\$12,942.00
TAXCRT	Tax Certificate Fee	\$1,440.00	\$1,720.00	\$1,160.00
TAXFEE	Tax Sale Fees	\$1,030.00	\$1,030.00	\$940.00
PSTFEE	Postage Fees	\$733.00	\$718.58	\$642.35
CK # 19383	To KC Treasurer	\$213,923.86	\$229,224.22	\$137,976.06

County Clerk, Debbie Gillette thanked everyone for the moving of the Recorder's office and the expansion of the Voter Registration Office. The County Clerk's office is working on sending out and collection Statement of Interest forms. The forms have changed and can be filed electronically. They are working on obtaining the guidelines on how to fill out the form from the Secretary of State's office who is by statute to put the guidelines on their website.

**Treasurer**

Office of Jill Ferko

Kendall County Treasurer & Collector  
111 W. Fox Street Yorkville, IL 60560

**Kendall County General Fund**

QUICK ANALYSIS OF MAJOR REVENUES AND TOTAL EXPENDITURES  
FOR TWO MONTHS ENDED 01/31/2022

<u>REVENUES*</u>	Annual <u>Budget</u>	2022 YTD <u>Actual</u>	2022 YTD% <u>%</u>	2021 YTD <u>Actual</u>	2021 YTD <u>%</u>
Personal Property Repl. Tax	\$465,000	\$134,211	28.86%	\$80,755	20.71%
State Income Tax	\$2,574,336	\$348,315	13.53%	\$432,777	18.82%
Local Use Tax	\$950,000	\$0	0.00%	\$193,890	21.54%
State Sales Tax	\$583,000	\$0	0.00%	\$94,275	17.79%
County Clerk Fees	\$350,000	\$40,670	11.62%	\$99,457	30.60%
Circuit Clerk Fees	\$1,250,000	\$97,715	7.82%	\$189,906	15.57%
Fines & Foreits/St Atty.	\$275,000	\$21,067	7.66%	\$35,069	12.75%
Building and Zoning	\$75,000	\$17,695	23.59%	\$10,657	15.67%
Interest Income	\$40,000	\$4,060	10.15%	\$2,801	2.80%
Health Insurance - Empl. Ded.	\$1,588,649	\$83,760	5.27%	\$119,025	8.11%
1/4 Cent Sales Tax	\$3,228,750	\$0	0.00%	\$554,184	18.02%
County Real Estate Transf Tax	\$450,000	\$57,280	12.73%	\$91,005	20.22%
Federal Inmate Revenue	\$1,898,000	\$166,320	8.76%	\$358,800	17.55%
Sheriff Fees	\$115,000	\$12,122	10.54%	\$11,223	8.02%
<b>TOTALS</b>	<b>\$13,842,735</b>	<b>\$983,214</b>	<b>7.10%</b>	<b>\$2,273,823</b>	<b>17.12%</b>
<b>Public Safety Sales Tax</b>	<b>\$5,512,500</b>	<b>\$0</b>	<b>0.00%</b>	<b>\$946,419</b>	<b>18.03%</b>
<b>Transportation Sales Tax</b>	<b>\$6,000,000</b>	<b>\$0</b>	<b>0.00%</b>	<b>\$946,419</b>	<b>18.03%</b>

\*Includes major revenue line items excluding real estate taxes which are to be collected later. To be on Budget after 2 months the revenue and expense should at 16.66%

### **Clerk of the Court**

Chief Deputy Circuit Clerk Lynn Cullick reviewed the report and are implementing the manual of recordkeeping changes.

### **Coroner**

Chief Deputy Coroner Levi Gotte reviewed the report in the packet.

### **Health Department**

Executive Director RaeAnn VanGundy recognized the increase in anxiety and episodes of depression. They are holding a Mental Health First Aid Training virtually on February 25, 2022.

## **STANDING COMMITTEE REPORTS**

### **Finance**

#### **Oswegoland Senior Inc.**

Member Kellogg moved to approve the amendment agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Oswegoland Senior Inc. for the amount of \$25,000. Member Cesich seconded the motion. Member Gryder recused himself from the vote. Vice Chairman Kellogg asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Highway**

#### **Recessed Pavement Markings**

Member DeBolt moved to approve the Resolution for Maintenance Under the Illinois Highway Code appropriating \$400,000 for the installation of recessed pavement markings on Little Rock Road and Galena Road. Member Kellogg seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

A complete copy of Resolution 22-09 is available in the Office of the County Clerk.

#### **Preliminary Engineering Services Agreement**

Member Gryder moved to approve Preliminary engineering services agreement with Christopher B. Burke Engineering, Ltd. in the amount of \$38,942 to analyze traffic and recommend improvement alternatives for Plainfield Road between Grove Road and Collins Road. Member Koukol seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

A complete copy of IGAM 22-06 is available in the Office of the County Clerk.

#### **Preliminary Engineering Services Agreement**

Member Gryder moved to approve the Preliminary engineering services agreement with Hampton, Lenzini & Renwick, Inc. in the amount of \$341,555 to provide all preliminary engineering for intersection improvements at Galena, Cannonball, and Gordon Roads. Member Gengler seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

A complete copy of IGAM 22-07 is available in the Office of the County Clerk.

### **Seward Road District**

Member Rodriguez moved to approve the Petition from Seward Road District for County aid to build or repair bridge, culvert or drainage structure on O'Brien Road in an amount not to exceed \$100,000. Member DeBolt seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Economic Development**

### **Trinity Electrical Services**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Trinity Electrical Service for the amount of \$25,000. Member Cesich seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Brew Avenue Events**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Brew Avenue Events for the amount of \$25,000. Member Cesich seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Best One T.K.D. Corporation**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Best One T.K.D. Corporation for the amount of \$25,000. Member Cesich seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Scott Eyecare LTD**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Scott Eyecare LTD for the amount of \$25,000. Member Gilmour seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Drive Home Safe**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Drive Home Safe for the amount of \$25,000. Member Kellogg seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Cornish Chiropractic**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Cornish Chiropractic for the amount of \$25,000. Member Gengler seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Monkey Megastore**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Monkey Megastore for the amount of \$25,000. Member Rodriguez seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Prism Mechanical**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Prism Mechanical for the amount of \$25,000. Member Cesich seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Aquaduct Plumbing Services LLC**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Aquaduct Plumbing Services LLC for the amount of \$25,000. Member Kellogg seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Reinert Structures Inc.**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Reinert Structures Inc. for the amount of \$16,000. Member Rodriguez seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **MWK Construction**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with MWK Construction for the amount of \$25,000. Member Kellogg seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

### **Willman & Groesch General Contractors**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Willman & Groesch General Contractors for the amount of \$25,000. Member DeBolt seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

#### **Treasure Bread**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Treasure Bread for the amount of \$25,000. Member Gengler seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

#### **Master Uniform Manufacturing Corporation**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Master Uniform Manufacturing Corporation for the amount of \$25,000. Member Rodriguez seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

#### **Cleaning by Dawn**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Cleaning by Dawn for the amount of \$4,425. Member DeBolt seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

#### **Altitude Oswego LLC**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Altitude Oswego LLC for the amount of \$25,000. Member Kellogg seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

#### **Dr. Liza Marie G. Saviano, DPM, Ltd.**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Dr. Liza Marie G. Saviano, DPM, Ltd. for the amount of \$17,502. Member Cesich seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

#### **Small Business Policy and Procedures**

Member Koukol moved to approve the updated American Rescue Plan Act Small Business Policy and Procedures. Member Cesich seconded the motion.

County Administrator Scott Koeppel stated that the update will give the opportunity to come into compliance for any county issues for example - Assumed Business Name registration.

Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

#### **Small Business Grant Agreement**

Member Koukol moved to approve the updated American Rescue Plan Act Small Business Grant Agreement. Member Rodriguez seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

#### **Blue Heron Estates**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Blue Heron Estates for the amount of \$12,771.25. Member DeBolt seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

#### **Emporium Merchandise**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Emporium Merchandise for the amount of \$25,000. Member Cesich seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

#### **Oswego Family Restaurant**

Member Koukol moved to approve the agreement for disbursement and use of Kendall County's American Rescue Plan Act Funds with Oswego Family Restaurant for the amount of \$10,700. Member Kellogg seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**



## OTHER BUSINESS

Member DeBolt informed the board that the last 135' I-beam was set on the Eldamain Bridge and are preparing for the decking.

### Chairman's Report

Chairman Gryder informed the board of the Historic Preservation Meeting scheduled for February 16, 2022.

## EXECUTIVE SESSION

Member Cesich made a motion to go into Executive Session for (11) litigation, when an action against, affecting or on behalf of the particular public body has been filed and is pending before a court or administrative tribunal, or when the public body finds that an action is probable or imminent, in which case the basis for the finding shall be recorded and entered into the minutes of the closed meeting. Member Gengler seconded the motion. Chairman Gryder asked for a roll call vote on the motion. All members present voting aye. **Motion carried.**

## ADJOURNMENT

Member Gengler moved to adjourn the County Board Meeting until the next scheduled meeting. Member DeBolt seconded the motion. Chairman Gryder asked for a voice vote on the motion. All members present voting aye. **Motion carried.**

Approved and submitted this 28th day of February, 2022.

Respectfully submitted by,  
Debbie Gillette  
Kendall County Clerk

**COUNTY OF KENDALL, ILLINOIS  
FACILITIES MANAGEMENT COMMITTEE  
MEETING MINUTES  
MONDAY, FEBRUARY 7, 2022**

Committee Chair DeBolt called the meeting to order at 4:00 p.m.

**Roll Call:** Members Present: Dan Koukol, Matt Kellogg, Judy Gilmour, Brian DeBolt.  
Member Scott Gryder arrived at 4:15 pm.

**With all members present, a quorum was formed to conduct business.**

Others Present: Facilities Director Jim Smiley, Facilities Management Assistant Director/PM Dan Polvere, County Administrator Scott Koepfel.

**Approve the January 3, 2022 Facilities Committee Meeting Minutes** – Member Kellogg made a motion to approve the January 3, 2022 meeting minutes, second by Member Gilmour. **With all present members voting aye, the minutes were approved.**

**Approval of Agenda** – Member Koukol made a motion to approve the agenda. Member Kellogg second the motion. **With all present members voting aye, the agenda was approved.**

**Public Comment** – None

**Old Business/Projects**

1. *County Seal on 111 W. Fox St. Facades* – Assistant Director Polvere updated the committee of the costs received from the three (3) companies. Members discussed size and placement of the signs on the building facades. Mr. Polvere will bring the visual rendering from the lowest priced company to the next Facilities meeting.
2. *Public Safety Center MZU-5 VAV Conversion* – Director Smiley informed the committee the paperwork has been completed and received. Mr. Smiley stated the “kick off” meeting with Trane has yet to be scheduled.
3. *Reconfiguration of the former GIS/Mapping office for use by Recorder office* – Assistant Director Polvere informed the committee the move upstairs will begin tomorrow. Once the move is complete the construction can begin in the Voter’s area. Director Smiley reported project costs to the committee. Mr. Smiley stated the card access system will increase the costs due to package price for the system. County Administrator Koepfel confirmed the cost overage due to the card access system will be brought to the Thursday, February 10, 2022 Finance meeting for approval or confirmation that the County Clerk will pay for this work.
4. *KCFM Truck/Kubota Tractor Purchase* – Assistant Director Polvere updated the committee on the issues related to purchasing a new vehicle. Discussion on the purchase and needs of the Kubota tractor in lieu of the purchase of a new vehicle this budget year. Chair DeBolt suggested looking at a different brand tractor for cost comparison.

## **New Business/Projects**

### *1. Chair's Report*

- a. *AE RFQ Responses Update* – Director Smiley informed the committee that ten (10) companies responses have been received. This number will be reduced to four (4) for phone interviews which will then be reduced to three (3) for board presentations.
  - b. *2022 Projects Started* – Director Smiley updated the committee on the 2022 projects that have been started.
2. *Discussion of \$4 Million Grant from IDOT for KAT Multi-Use Facility* – County Administrator Koeppel explained to the committee IDOT awarded a grant of \$4 million dollars plus AE money for a KAT transit building. This would be a county owned building possibly located on the corner of Galena and Route 47. This project was previously discussed to be partnered with the City of Yorkville. Mr. Koeppel asked the committee if they wanted to move forward as a stand-alone project or continue partnership with the City of Yorkville. Consensus of the committee is to proceed as a stand-alone project. Mr. Koeppel stated this project will be under the rules of IDOT procedures for finding an AE Firm, bidding and construction. The committee inquired about possible purchase and renovation of an existing building in the county. Mr. Koeppel will look into this option to see if it is a possibility.
  3. *Historic Courthouse Window Replacement ITB* – Assistant Director Polvere informed the committee the Invitation to Bid for replacement of four (4) windows at the Historic Courthouse was published as a public bid. Mr. Polvere stated the bids are due to be received by February 17, 2022 at 10 am.
  4. *Janitorial ITB* – Assistant Director Polvere informed the committee the Invitation to Bid for the Janitorial cleaning was published as a public bid. Mr. Polvere stated a mandatory walk-through of all the buildings is scheduled for Wednesday, February 9, 2022 at 2:00 pm. The bids are to be received by February 17, 2022 at 10:00 am.
  5. *Landscaping ITB* – Assistant Director Polvere informed the committee the Invitation to Bid for the Landscaping services was published as a public bid. Director Smiley informed the committee the bids will be broken out per buildings including the solar field. Mr. Polvere stated the bids are to be received by February 17, 2022 at 10:00 am.
  6. *Jury Deliberation Furniture* – Director Smiley informed the committee the furniture was ordered January 13, 2022 with an estimated delivery date of early March.
  7. *Jury Deliberation Carpeting Change* – Director Smiley stated one (1) set of carpet is in and the other set is due on Friday. Mr. Smiley will have this scheduled to be installed, on a non-jury week.
  8. *CDC Trailer Setup by Courthouse* – Director Smiley informed the committee the CDC wants to set up trailers on the Route 34 campus for three (3) months; June until August 2022 for scheduled health testing of Kendall County residents. Director Smiley stated the requirements for the trailers to operate would be power, data and sewer hook-ups. All costs incurred will be paid by the CDC. Mr. Smiley has an onsite meeting scheduled for February 9, 2022 at 9:00 am.
  9. *Public Safety Center Attorney/Client Room Project* – Director Smiley informed the committee the original quote for this space came in approximately \$400,000.00. This amount was included in this year's capital budget. Another firm was brought in to look and estimate the space and this quotes came in around \$600,000.00, not including security items which can add

approximately \$100,000.00 more. This project is on hold until Kendall County reviews AE firms for the needs assessment projects at both campuses.

10. *Courthouse drain pan replacements* – Director Smiley reported to the committee these drain pans are part of the original construction in the mid 1990's. The pans have been leaking for some time and KCFM staff has performed temporary repairs on them the past couple of years. Mr. Smiley stated the replacement project “kick off” meeting is tomorrow morning at 8:00 am to talk about the logistics and take the necessary measurements.
11. *Courthouse Master Control Outer Office Flooring Replacement* – Director Smiley informed the committee the meeting/breakroom carpet needs replacement. This will be replaced with vinyl plank. Mr. Smiley stated the flooring was ordered February 4<sup>th</sup> and will be installed as soon as it is received.
12. *Circuit Clerk Counter Changes* – Director Smiley stated this project has been approved in this year's budget. This will entail cutting apart the main counter and adding a “kiosk” for clerks to help the public filing and obtaining electronic documents for court proceedings.
13. *Morgue Body Cooler A/C Replacement* – Director Smiley stated this was originally scheduled for replacement on Wednesday, February 3, 2022, however the coroner requested it be on hold if the prospect of a new building is in the near future. Director Smiley stated the following Friday the cooler had gone down and needed repairs. The next day it was discovered the replacement was needed so the upgrade and replacement of the old system started today.  
**Project Complete.**
14. *UPS Battery Replacements* – Director Smiley budgets every four (4) years for batteries to be replaced. Mr. Smiley received three (3) prices and will review the quotes and submit for purchase.
15. *Courthouse Phone Adds & Furniture setup for New Positions* – Director Smiley stated these phones are installed even though the positions have not been hired as of yet. **Project Complete.**

#### **Staffing/Training/Safety**

- *Reportable Labor Hours* – Reports were included in the packet.

#### **Other Items of Business**

- *CMMS Charts* – Reports were included in the packet for:
  - Reported versus Completed Work Orders, Reported by Building Current Month
  - Work Orders by Work Type Current month

#### **Executive Session** – None

#### **Public Comment** – None

#### **Questions from the Media** – None

**Adjournment** – Chair DeBolt asked if there was a motion to adjourn. Member Koukol made a motion to adjourn the meeting. Second by Member Gryder. **With all members present voting aye, the meeting adjourned at 5:19 p.m.**

Respectfully submitted,

Christina Wald  
Administrative Assistant

## HIGHWAY COMMITTEE MINUTES

**DATE:** March 8, 2022  
**LOCATION:** Kendall County Highway Department  
**MEMBERS PRESENT:** Scott Gryder, Amy Cesich, Matt Kellogg, Brian DeBolt & Scott Gengler  
**STAFF PRESENT:** Michele Riley, John Burscheid, and Francis Klaas  
**ALSO PRESENT:** PJ Fitzpatrick, Kelly Farley, Tony Simmons, Lyman Tieman, Brian Hertz, Cole Helfrich, Marcia Owens, Mike Rennels, Kevin McEnery, and Len McEnery

The committee meeting convened at 3:30 P.M. with roll call of committee members. All present. Quorum established.

Motion DeBolt; second Cesich, to approve the agenda as presented. Motion approved unanimously.

Motion Gengler; second DeBolt, to approve the Highway Committee meeting minutes from February 8, 2022. Motion approved unanimously.

Chairman Gryder introduced Tony Simmons from HR Green. Mr. Simmons made a presentation on the Collins Road Extension project. Pre-final plans should be submitted to the County by the end of this month. The project begins south of Route 71, where the pavement has a flush median and 8' paved shoulders. There will be a roundabout at Minkler & Collins, where the project then goes east. This segment will have a raised green median, a single lane in each direction, and 8' paved shoulders. The roadway will then cross the Morgan Creek with a double box culvert. Provisions have been made for extension of bike paths going westerly from Grove Road. There will be storm water detention near the Creek. The committee discussed the naturalization of the detention areas, as well as maintenance responsibilities. Klaas suggested this should be a point of discussion with the Village of Oswego during the negotiation of an IGA. Another roundabout will be constructed at Collins & Grove. All storm water coming from the south along Grove Road will be routed westerly along the south side of Collins Road and towards Morgan Creek. Westbound left turn lane and eastbound right turn lane will be provided for the future Deerpath Hills Subdivision. Gryder asked if there were any unforeseen issues that has arisen during the design. Simmons indicated that there really weren't any major issues that had come up on the project. Klaas noted that the during the last quarterly update for the project, the proposed March 2023 letting had been moved up to January 2023. This would allow contractors to begin construction first thing in the spring.

Committee discussed access to Eldamain Road south of Route 34. Klaas indicated that there was a proposal to construct a commercial enterprise in the southwest quadrant of the intersection; and that proposal included a full access and right in – right out (RIRO) access to the west side of Eldamain. He stated that there was about 1200' of frontage between Route 34 and Cummins. The County's access ordinance would prohibit a full access to this property, due to lack of enough frontage; but would allow for a RIRO. Klaas has denied the proposal based on the County's ordinance, and stated that he does not have the authority to grant the proposed accesses. DeBolt asked if the ordinance could be changed, and Klaas indicated that the

ordinance does provide for the County Board to vary the requirements if they choose. Klaas indicated that the Board has varied the ordinance any number of times; but most of those variances have been for relatively small changes in spacing of access points. This proposal, on the other hand, is for a very significant change to the ordinance; going from a required spacing of either 1/3 mile or 1/4 mile down to just 500' for the full access.

Gryder asked if it would help to remove the RIRO. Klaas thought that the RIRO didn't really matter as much as the full access. When traffic numbers increase substantially on Eldamain Road – which they are expected to do – it will be difficult for customers exiting the commercial property to get out onto Eldamain Road. Then the future Board will be getting calls from constituents to put a traffic signal at this location; and having a traffic signal just 500' from another traffic signal on Route 34 would be a bad idea. Gryder discussed some other properties around the County, where they put in initial access points, and then reconstructed them later as traffic increased. He didn't think the changes on this particular property would need to be made for 20 years. Kellogg expressed his concern about the size of vehicles on Eldamain, and how it would be difficult for these vehicles to slow down for cars entering and exiting the site. He was also concerned about the property on the east side of Eldamain. Those owners will also likely want a full access to Eldamain if this access is approved. He also expressed his concern about the overall site plan for the entire southwest quadrant, and whether the access into this property would be a public street or private access. The developer indicated that access would be private and there would be no more access to Eldamain, other than what is being shown on the current plan.

Guest introduced themselves. Representatives from City of Plano, the property owner, the owner's engineer, and Gas N Wash were all present and are listed above. Mayor Rennels indicated that he had met with economic development. He stressed how important this development was to the City of Plano, and so access to the development was crucial. He provided a copy of the IGA between Kendall County and City of Plano from 2004 which states that full access would be allowed to the west side of Eldamain Road between Route 34 and Cummins Street. He believes the IGA is still binding. Kellogg pointed out that current boards can't be encumbered by previous boards. He also believes that the entire area has changed significantly since the original IGA was approved 18 years ago.

Committee members and the developer's engineer discussed specific geometrics of access elements, as well as some of the grade changes in the roadway. Cesich said she wanted to hear from Fran about the proposed access. Klaas asked if there was full access proposed on Route 34, and whether IDOT would allow it. Helfrich indicated that full access was contemplated near the northwest corner of the site; but wasn't sure about the current status. He discussed some of the history of this site over the past 18 years; and how things have changed significantly during the ups and downs in the economy. Now they have an opportunity to again develop the site, and they want the County to honor the original IGA.

DeBolt asked if the site plan was approved, how soon would Gas N Wash be built. Len McEnergy, owner of Gas N Wash, indicated that they are ready to go, and could have the project completed before the end of the year. He was also very interested in the full access because it maximizes the number of customers. He pointed to some of the other Gas N Wash locations recently constructed in nearby communities. He claimed that there were no traffic problems anywhere with his facilities. He suggested that when traffic numbers increase, you could simply put a median on Eldamain Road to prohibit full access. Kellogg asked if he would be willing to

agree to that stipulation about a median, and suggested 20,000 might be the correct number. DeBolt thought this would be many years down the road and a future board could decide what to do at that time. Gryder thought some type of sunset on the full access might be appropriate, when traffic numbers got to a certain point.

Cesich pointed out that Klaas had indicated the proposed northbound left turn lane did not meet IDOT standards. Klaas stated that the developer's engineer had moved the full access further north; and so the northbound left turn lane now appeared to meet IDOT standards. However, by moving it further north, it would then make a southbound left turn lane (for the east side of Eldamain) non-compliant. Klaas thought that, due to the limited amount of distance between Route 34 and Cummins, it would be difficult to meet all IDOT standards for necessary turn lanes for any full access to Eldamain. Gryder asked about the east side of Eldamain and possible future development. Klaas thought that any proposed development would bring in a considerable amount of fill to make it buildable; and would construct detention along the south side of the property, discharging to the Rob Roy Creek.

Cesich wondered if the developer based their decision to develop the southwest quadrant solely on the fact that the IGA offered full access to this site; and if the engineers had looked at the current conditions. Helfrich indicated that this site had sat for so long, and had multiple previous proposals for which the timing just didn't work out. The developer now believes the Gas N Wash is a good fit for the site. Helfrich showed the committee some previous plans from 15 years ago. He pointed out that access to Cummins Street was not and is not contemplated. Hertz indicated that there were limited access points to the Lakewood Subdivision; but people who live in the subdivision wouldn't have access to the development from Cummins because it's a boulevard.

DeBolt stated that he has been in several Gas N Wash's. They're clean and sharp, and have good eye appeal. They're going to produce a lot of tax dollars to the City of Plano. There is very little new growth to commercial buildings in Plano. He believes that Kendall County and City of Plano need that corner developed. Whatever it takes to get that done should be done. Kellogg interjected that as long as it was safe. Gengler asked how the full access intersection would work with all the turn lanes. Helfrich indicated that the roadway could be reconstructed at a future date, if necessary. Cesich asked Klaas what could be done to make him comfortable with the access to the site. Klaas indicated that he is not comfortable with any full access to the site, and he wasn't inclined to change his opinion. He stated that if the County Board chooses to allow a variance for full access, then he suggested the full access be placed near the midpoint between Route 34 and Cummins, so that both northbound and southbound left turn lanes would have the best chance of operating correctly. However, he also stated that there had been a lot of discussion about future installation of raised medians, and future reconfiguration of the roadway and turning lanes; which appears to indicate that the proposed access is flawed in the first place. He stated that just because you want something, doesn't justify poor policy. That was his position. Gryder stated that from a planning point of view, he really doesn't want all the traffic going in and out of Cummins Street, because that is more of a residential neighborhood. Klaas also pointed out that there were other conditions of the 2004 IGA that haven't been followed; specifically, the transfer of a part of Rock Creek Road from the County to the City. The County has spent over \$500,000 maintaining this roadway since 2009, when it was supposed to be transferred to the City. Mayor Rennels pointed out that the IGA calls for cooperation between the two parties. Cesich confirmed that we all want cooperation, and especially safety with this proposed development. Kellogg was very concerned about the number of people that we would

be pushing through one access point. He thought it would be fine for just the Gas N Wash; but he was more concerned about the bigger picture, when the entire site is developed. He didn't want to be short sighted.

DeBolt pointed out that there were multiple developments around the County where compromises were reached to facilitate commercial developments. He thought the developers have a good plan. He thought additional access on Route 34 would help the situation. He agreed that putting the full access right in the middle between Route 34 and Cummins was a good idea. He went on to say that the pandemic has really hurt Plano, and they are barely getting by. The sales taxes from this development would really help them out.

Motion Kellogg; second DeBolt to forward the matter to the Committee of the Whole in April. Kellogg suggested that if there were alternates to the proposed design, the developer should bring the best option to C.O.W. He also indicated that there should be coordination with the City of Yorkville to make sure there wouldn't be conflicts with their proposed developments. Motion carried unanimously.

Motion Kellogg; second DeBolt to recommend approval of an agreement between State of Illinois, Department of Transportation and Kendall County pertaining to the reconstruction of Illinois Route 71 between Ill. Rte. 126 and Orchard Road. Klaas described IDOT's proposed improvement to Route 71 and the proposed reconstruction of the traffic signal at Van Emmon Road. Kendall County will be required to pay approximately \$32,000 for construction and engineering of the new traffic signal and lighting. Motion approved unanimously.

Motion DeBolt; second Kellogg to recommend approval of a resolution for the appropriation of funds for replacement of traffic signal and roadway light at Van Emmon Road; in conjunction with the reconstruction of IL Route 71. Motion approved unanimously.

Motion Cesich; second Gengler to recommend approval of an intergovernmental agreement between Kendall County, Illinois, and the City of Yorkville, Illinois, relating to the reconstruction and maintenance of Fox Road from Fox Lawn Subdivision, east to Illinois Rte. 47. DeBolt asked if there was plans to bring sidewalk back into town from Fox Glen Subdivision to White Oak Subdivision. Klaas stated that it is not part of the current plan because there is not enough right-of-way. He thought that when the area developed, it would absolutely be a part of the development plans. He also indicated that City of Yorkville might have a trail plan to connect these subdivisions. Klaas added that the City of Yorkville will be paying 50% of the cost of the project over a period of 2 years. Motion approved unanimously.

Motion Cesich; second Gengler to recommend approval of an intergovernmental agreement between Kendall County, Illinois and the Village of Montgomery, Illinois relating to the construction and maintenance of an extension of Cannonball Trail at its intersection with Galena Road. Klaas explained the project, its geometrics, and the proposed sharing of engineering and construction costs. The north leg will turn into Montgomery's future Gordon Road. Motion approved unanimously.

Motion Cesich; second Gengler to recommend approval of a resolution appropriating funds for the payment of the county engineer's salary. Proposed raise is 2%. Motion approved unanimously.



Motion DeBolt; second Cesich to forward Highway Department bills for the month of March in the amount of \$195,284.45 to the Finance Committee for approval. By roll call vote, motion approved unanimously.

Klaas provided an update on the Eldamain Bridge construction. He stated that all the structural steel was in, and they are forming the deck. He thought the first concrete deck pour would be in April or May. He also indicated that construction of the bridge should be done by the end of calendar year 2022, and open to traffic. Committee discussed the possible naming of the bridge.

Motion Cesich; second Gengler, to adjourn the meeting at 4:40 P.M. Motion carried unanimously.

Respectfully submitted,



Francis C. Klaas, P.E.  
Kendall County Engineer

### **Action Items**

1. Agreement between State of Illinois, Department of Transportation and Kendall County pertaining to the reconstruction of Illinois Route 71 between Ill. Rte. 126 and Orchard Road
2. Resolution for the appropriation of funds for replacement of traffic signal and roadway light at Van Emmon Road; in conjunction with the reconstruction of IL Route 71
3. Intergovernmental agreement between Kendall County, Illinois, and the City of Yorkville, Illinois, relating to the reconstruction and maintenance of Fox Road from Fox Lawn Subdivision, east to Illinois Rte. 47
4. Intergovernmental agreement between Kendall County, Illinois and the Village of Montgomery, Illinois relating to the construction and maintenance of an extension of Cannonball Trail at its intersection with Galena Road
5. Resolution appropriating funds for the payment of the county engineer's salary

**COUNTY OF KENDALL, ILLINOIS**  
**ECONOMIC DEVELOPMENT COMMITTEE**  
**Meeting Minutes for Friday, February 25, 2022**

**Call to Order**

The meeting was called to order by Committee Chair Dan Koukol at 8:00a.m.

**Roll Call**

<b>Attendee</b>	<b>Status</b>	<b>Arrived</b>	<b>Left Meeting</b>
Amy Cesich	ABSENT		
Scott Gryder		8:12a.m.	
Matt Kellogg	Yes		
Dan Koukol	Here		
Robyn Vickers	ABSENT		

**Others Present:** Jennifer Karales, Financial Analyst, County Administrator Scott Koeppel, Plano Mayor Mike Rennels

**Chair Koukol stated he was unsure if there would be a quorum for the meeting, and therefore, asked Member DeBolt to be present. Member Koukol officially seated Member DeBolt on the committee for the meeting on February 25, 2022.**

**Approval of Agenda** – Member DeBolt made a motion to approve the agenda, second by Member Kellogg. **With three members present voting aye, the motion carried by a vote of 3-0.**

**Committee Business**

- *Plano Update – Mayor Mike Rennels* – Plano Mayor Mike Rennels briefed the committee on the proposed development of a Gas N’ Wash Convenience Store on the corner of Eldamain and Route 34 in Plano. Mayor Rennels stated that in discussion with Kendall County Engineer Fran Klaas, they could not come to an agreement about the need for full access to the facility at Cummins Road to allow traffic to enter and exit with left and right turns.

**There was consensus by the committee to forward the item to the Highway Committee meeting on March 8, 2022 to discuss the access questions.** Plano personnel and the Developers will be in attendance.

- *Discussion of Molto Properties Minooka Ridge Tax Abatement Application* – Scott Koeppel reviewed the application with the committee, stating that there would be two separate developments next to each other, one in 2022, and one in 2023 between Holt Road and Interstate 80 in Minooka by the Macy’s Warehouse. The unique thing about this project is that they don’t have an occupant yet, but are confident they will sell the building before they finish building. The developer will assist with payment for water, and sewer expansion and some work on Midpoint Road. Mr. Koeppel and Member Koukol are meeting with the Village of Minooka next week.

Koeppel said that next steps include meeting with the taxing districts which include the School District, Libraries, Kendall County, Fire Protection District, the Village of Minooka and Molto.

**Member Kellogg made a motion to approve w the three-year agreement with Molto Properties Ridge Tax Abatement, second by Member Gryder.**

### **Roll Call**

Member Koukol – Yes, Member Kellogg – Yes, Member DeBolt – Yes, Member Gryder – Yes. **With four members voting aye, the motion carried by a vote of 4-0.**

Mr. Koeppel was instructed to proceed with meeting the Minooka EDC Director Dan Duffy, and to assist in coordination of the meeting with taxing districts.

- *Discussion of Property Tax Abatement* – Mr. Koeppel reviewed the procedures for Property Tax Abatement, the Abatement Ordinance, and proposed changes to the Scoring Sheet, to add the Public Safety and Transportation Sales Tax component to the sheet. Mr. Koeppel suggested asking Planning, Building and Zoning to research the Transfer Tax for the County.

Member Koukol made a motion to forward the Property Tax Abatement to the State's Attorney's Office for legal review, second by Member Gryder. . **With four members voting aye, the motion carried by a vote of 4-0.**

- *Review of American Rescue Plan Act Small Business Grant Program Applications* – Ms. Karales briefed the committee on the twenty applications, the total amount for this group applications, and stated that there were over 400+ applications when the portal closed on February 23, 2022. Mr. Koeppel reminded the committee that an additional \$1,000,000 was approved by the Board in January for the Small Business Grant Program, for a total of \$2,000,000 available to qualifying small businesses in the county.

Member Koukol made a motion to forward the 20 applications to the March 3, 2022 Committee of the Whole meeting for discussion, second by Member Kellogg. **With four members present voting aye, the motion carried by a vote of 4-0.**

- *CPACE Discussion and Update* – There was consensus by the committee to ask CPACE to come to a future EDC meeting to provide Energy Efficient Updates to the committee. A date was not determined.
- *Review of American Rescue Plan Act Small Business Grant Program Applications* – Ms. Karales briefed the committee on the twenty-five applications, and one that did not qualify because the owner owned another business and was already given a grant.

Member Koukol made a motion to forward the next twenty- five applications totaling \$571,252 to the March 15, 2022 County Board meeting for final approval, second by

Member Kellogg. **With four members present voting aye, the motion carried by a vote of 4-0.**

Mr. Koeppel said the next twenty applications will go to the March 10, 2022 Committee of the Whole meeting for discussion, and then forwarded to the March 15, 2022 County Board meeting for approval.

**Committee Member Reports** – Mr. Gryder reported that Plainfield Village President John Argoudelis and Village Administrator Joshua Blakemore are onboard for the Industrial and Commercial development of Ridge and Johnson Roads, and the development of utilities in the southern portion of Kendall County.

Member Gryder also reported that Morris is interested in developing areas to the north of the City, and hope to attract larger industrial and commercial organizations along the Route 47 corridor.

Member Kellogg reported that the Finance Committee learned that the CPI/Tax Increase is 5 percent, and the EAV is even higher for the County. There will be more discussion on this issue at future Finance meetings.

**Public Comment** – None

**Executive Session** – Not needed

**Adjournment** - Member DeBolt made a motion to adjourn, second by Member Gryder. There being no objection, the Economic Development Committee meeting was adjourned at 9:30a.m. by a vote of 4-0.

Respectfully submitted,

Valarie McClain Administrative Assistant and  
Recording Secretary

**COUNTY OF KENDALL, ILLINOIS**  
**BUDGET & FINANCE COMMITTEE**  
**Meeting Minutes for Thursday, February 24, 2022**

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**Call to Order** – Committee Chair Matt Kellogg called the Budget and Finance Committee to order at 3:09p.m

**Roll Call**

<b>Attendee</b>	<b>Status</b>	<b>Arrived</b>	<b>Left Meeting</b>
Amy Cesich	ABSENT		
Brian DeBolt	Yes		
Scott Gengler	Here		
Scott Gryder	ABSENT		
Matt Kellogg	Yes		

**Others Present** – Latreese Caldwell, Levi Gotte, Jennifer Karales, Matt Kinsey, Scott Koeppel, Jacquie Purcell

**Approval of Agenda** - Member DeBolt made a motion to approve the agenda, second by Member Gengler. **With three members present voting aye, the motion carried.**

**Approval to Forward Claims** – Member DeBolt made a motion to forward the Claims to the County Board for approval, second by Member Gengler. **With three members present voting aye, the motion carried.**

**Department Head and Elected Official Reports** - None

**Items of Business**

- *Discussion of the CPI for 2022 payable 2023* – Chief Assessor Andy Nicoletti briefed the committee on the State report, and said that the Consumer Price Index (CPI) “Cost of living” or inflation percentage to use in computing the 2022 extensions (taxes payable in 2023) under PTELL is 5.0 percent. Nicoletti stated that the CPI change is calculated by subtracting the 2020 CPI from the 2021 CPI, and then dividing that amount by the 2020 CPI which resulted in 7.0 percent. The statute indicates the lesser of 5.0 percent or the actual percentage increase, in this case 5.0 percent is the lesser amount. Nicoletti also reported the EAV increase in 2021.

Mr. Nicoletti estimates there will be approximately \$74 million in new construction in 2022, including an increased number of single homes and government subsidized multi-family homes.

- *Discussion of Rubrik Cloud Solution ITB* – Mr. Koeppel explained that this is a hardware/software program that will provide Cloud storage and disaster recovery. Mr. Kinsey stated that the cost is \$40,000 which includes the licensing for 5 years.

Member Gengler made a motion to forward the five year contract to the State's Attorney's Office for legal review, second by Member DeBolt. **With three members present voting aye, the motion carried by a 3-0 vote.**

➤ *Discussion of Coroner Office New Positions:*

- *PT Administrative Position* – Coroner Jacquie Purcell briefed the committee on the increased amount of paperwork required for investigations due to their caseload increase of 77 percent in 2021. Ms. Purcell stated that one Deputy Coroner resigned and moved out of state, and the other three Deputy Coroners have full-time jobs, and assist the Coroner on a very limited schedule, and one of the Deputy Coroners is out on maternity leave.

Ms. Purcell reviewed the proposed plan to increase the current Administrative Assistant's hours from 10 to 15 per week on March 1, 2022 and then to 28 hours with an increase in pay on December 1, 2022 (FY2023). Ms. Purcell stated that the increase in hours will provide more office coverage, and assistance with the increase in additional paperwork required for each case. Discussion on the total salary plus IMRF costs of \$23,296 for the December 1, 2022 proposal, and what funds the Coroner planned to use to cover the increase in hours from March to November 2022. **There was consensus to approve the March 1, 2022 proposal, and to discuss the December 1, 2022 proposal at the March 10, 2022 Finance Committee meeting.**

- *FT Deputy Coroner Position* – Coroner Purcell reported that the Coroner's Office caseload has increased reviewed the proposal to hire a full-time Deputy Coroner on May 1, 2022, the 37.5 regular hours plus the \$35 per day on-call rate, the proposed salary increase on December 1, 2022 (FY2023), plus annual salary increases according to current countywide structure. Discussion on the salary, available funds, potentially using ARPA funds, the need for an additional full-time deputy to assist with the increasing County population, the increased caseload, and the additional work per case required to meet national standards. The committee asked the Coroner to forward the job description for their review now and to provide it for the next County Board meeting packet. **There was consensus to forward the FT Deputy Coroner Position request to the March 10, 2022 Finance Committee meeting for further discussion.**

➤ *Discussion and Approval of Resolution Establishing the Salary for the Kendall County Treasurer and Collector* - Ms. Caldwell provided information requested on the stipend for the Treasurer/Collector. Discussion on past salary increases, stipends, and proposed increase for this term. **There was consensus by the committee to forward the item for approval an annual increases of 2.5 percent for the next four years to the County Board for approval at the March 15, 2022 County Board meeting.**

➤ *Discussion and Approval of Resolution Establishing the Salary for the Kendall County Clerk and Recorder* - Ms. Caldwell provided information requested on the stipend for the County Clerk/Recorder. Discussion on past salary increases, stipends, and

proposed increase for this term. There was consensus by the committee to forward the item for approval an annual increases of 2.5 percent for the next four years to the County Board for approval at the March 15, 2022 County Board meeting.

- *Discussion and Approval of Resolution Establishing the Salary for the Kendall County Sheriff* - Ms. Caldwell provided information requested on the stipend for the County Sheriff. Discussion on past salary increases, stipends, and proposed increase for this term. There was consensus by the committee to forward the item for approval an annual increases of 2.5 percent for the next four years to the County Board for approval at the March 15, 2022 County Board meeting.

**Public Comment** – None

**Questions from the Media** – None

**Action Items for County Board**

- *Approval of Claims*
- *Discussion and Approval of Resolution Establishing the Salary for the Kendall County Treasurer and Collector*
- *Discussion and Approval of Resolution Establishing the Salary for the Kendall County Clerk and Recorder*
- *Discussion and Approval of Resolution Establishing the Salary for the Kendall County Sheriff*

**Items for Committee of the Whole Meeting** - None

**Executive Session** – Not needed

**Adjournment** – Member DeBolt made a motion to adjourn the Budget and Finance Committee meeting, Member Gengler seconded the motion. **With three members present voting aye, the meeting was adjourned at 4:07p.m. by a vote of 3-0.**

Respectfully submitted,

Valarie McClain  
Administrative Assistant and Recording Clerk



# Kendall County Agenda Briefing

**Committee:** Planning, Building and Zoning

**Meeting Date:** March 7, 2022

**Amount:** N/A

**Budget:** N/A

**Issue:** Petition 22-03 Request from Executive Pastor Sean Mabey on Behalf of Grace Bible Church of Shorewood and Chief Andrew Doyle on Behalf of the Troy Fire Protection District for a Special Use Permit for a Governmental Building or Facility (Fire Station) and the Revocation of a Special Use Permit for a Church Granted by Ordinance 2004-24 at 748 Jones Road (PIN: 09-12-300-017) in Seward Township

## **Background and Discussion:**

Petitioners wish to operate a fire station at the subject property. Petitioners also request that the existing special use permit for a church be revoked. The property is zoned A-1.

The record for the Petition can be found here,  
<https://www.co.kendall.il.us/home/showpublisheddocument/22269/637818193889935222>.

The draft ordinance is attached.

## **Committee Action:**

ZPAC-Approval with Conditions (7-0-3), RPC-Approval with Conditions (8-0-1), ZBA-Approval with Condition (5-0-2), Seward Township Planning Commission-Approval (4-0), Village of Shorewood-Requests Annexation Agreement, City of Joliet-Requests Escrow for Improvements to Jones Road, PBZ Committee-Approval (5-0)

## **Staff Recommendation:**

Approval with Conditions

**Prepared by:** Matthew H. Asselmeier, AICP, CFM

**Department:** Planning, Building and Zoning Department

**Date:** March 7, 2022



**ORDINANCE NUMBER 2022-\_\_\_\_\_**

**GRANTING A SPECIAL USE PERMIT FOR A GOVERNMENTAL BUILDING OR FACILITY  
(FIRE STATION) AND THE REVOCATION OF A SPECIAL USE PERMIT FOR A CHURCH  
GRANTED BY ORDINANCE 2004-04 AT 748 JONES ROAD AND IDENTIFIED BY PARCEL  
IDENTIFICATION NUMBER 09-12-300-017 IN SEWARD TOWNSHIP**

WHEREAS, Section 13:08 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue and revoke special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted and revoked; and

WHEREAS, Section 7:01.D.22 of the Kendall County Zoning Ordinance permits the placement of governmental buildings and facilities as a special use in the A-1 Agricultural Zoning District; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 25.0 +/- acres located at 748 Jones Road (PIN: 09-12-300-017), in Seward Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property”; and

WHEREAS, on July 20, 2004, the Kendall County Board approved Ordinance 2004-24 which granted a special use for the operation of a church with conditions at the subject property; and

WHEREAS, the subject property is owned by Grace Bible Church as represented by Executive Pastor Sean Mabee; and

WHEREAS, the Troy Fire Protection District, as represented by Fire Chief Andrew Doyle, has expressed interest in purchasing the property; and

WHEREAS, Grace Bible Church and Troy Fire Protection District shall hereinafter be referred to as “Petitioner”; and

WHEREAS, on or about December 21, 2021, Petitioner’s representative filed a petition for a special use permit for the placement of a governmental building or facility, specifically a fire station, and the revocation of a special use permit for a church granted by Ordinance 2004-24 at the subject property; and

WHEREAS, following due and proper notice by publication in the Kendall County Record on January 6, 2022, the Kendall County Zoning Board of Appeals initiated a public hearing on January 31, 2022, at 7:00 p.m., in the County Board Room of the Kendall County Office Building at 111 W. Fox Street in Yorkville, and continued the public hearing to February 28, 2022, at 7:00 p.m., at the same location, at which the Petitioner’s representative presented evidence, testimony, and exhibits in support of the requested special use permit and zero members of the public testified in favor or in opposition to the request; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their findings of fact and recommended approval of the special use permit with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated February 28, 2022, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has

reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of approval of the requested special use permit; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, the special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a special use permit for the placement of a governmental building or facility, specifically a fire station, on the subject property subject to the following conditions:
  - A. The special use permit granted by Ordinance 2004-24 is hereby revoked and Ordinance 2004-24 is repealed in its entirety.
  - B. The site shall be developed substantially in accordance with the plat of survey attached hereto as Exhibit C and site plan attached hereto as Exhibit D. The exact size of the retention pond expansion shall be determined by the stormwater management permit related to that expansion. The pond expansion must occur within two (2) years of the issuance of the special use permit. The Kendall County Planning, Building and Zoning Committee may extend this deadline upon request by the property owner.
  - C. The vegetation presently shown on the plat of survey attached hereto as Exhibit C and site plan attached hereto as Exhibit D shall remain in substantially the same locations as shown on these documents with the exception that the vegetation around the concrete apron, training pad area, and pond extension may be removed.
  - D. The berms shown on the site plan attached hereto as Exhibit D shall be a minimum of five feet (5') in height. Evergreen type vegetation shall be planted on top of the berms. The berms and evergreens must be installed within two (2) years of the issuance of the special use permit. The Kendall County Planning, Building and Zoning Committee may extend this deadline upon request by the property owner.
  - E. Damaged or dead plantings related to the landscaping of the property shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
  - F. The fire station, four thousand five hundred (4,500) square foot training building, and fire tower, shall be developed substantially in accordance with the elevations attached hereto as Exhibit E.
  - G. Any new structures constructed or installed related to the use allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.

- H. The training tower shown on the site plan attached hereto as Exhibit D shall be approximately sixty feet (60') in length, thirty feet (30') in width, and forty feet (40') in height.
- I. The storage area shown on the site plan attached hereto as Exhibit D shall be an open area for outdoor storage approximately sixteen feet (16') in length and forty feet (40') in width. The maximum height of materials stored in this area shall be eight feet (8').
- J. The fire investigation area shown on the site plan attached hereto as Exhibit D shall be an open area used for trainings and shall be approximately sixteen feet (16') in length, twenty feet (20') in width, and eight feet (8') in height.
- K. The SCBA trailer shown on the site plan attached hereto as Exhibit D shall be approximately eight feet (8') in width and fifty-three feet (53') in length. The trailer shall be approximately fourteen feet (14') in height.
- L. The eastern driveway shall be concrete from Jones Road to the vehicle turnaround around area as shown on the site plan attached hereto as Exhibit D. The remainder of the eastern driveway shall be asphalt.
- M. The parking area shall be maintained in substantially the same location as shown on the site plan attached hereto as Exhibit D with approximately three hundred (300) parking spaces. The property owners shall ensure that handicapped parking spaces required by the Americans with Disabilities Act are provided. Per the site plan attached hereto as Exhibit D, seven (7) handicapped accessible parking spaces with applicable signage shall be provided for the three hundred (300) spaced parking lot.
- N. The fence around the western portion of the parking lot shall be chain link with slats added. The maximum height of the fence shall be six feet (6').
- O. One (1) free standing sign may be installed in substantially the location shown on the site plan attached hereto as Exhibit D. The sign shall be a maximum ten feet (10') in length and a maximum five feet (5') in height. The sign may be lit from dusk until dawn. However, the lighting output of the sign shall be set to a maximum of fifty percent (50%) of capabilities between 10:00 p.m. and dawn.
- P. Wall signage on the building shall be installed in substantially the locations and sizes as shown on the renderings attached hereto as Exhibit E. These signs may be back lit.
- Q. The trash enclosure shall be placed in substantially the location shown on the site plan attached hereto as Exhibit D and shall be large enough to hold one (1) four (4) yard dumpster and one (1) four (4) yard recycling dumpster. The enclosure shall be screened per the requirements of the Kendall County Zoning Ordinance.
- R. No burning, other than burning normally allowed on A-1 zoned property, may occur outdoors at the subject property.
- S. Emergency dispatch horns, strobes, and speakers shall not broadcast or be used outdoors at the subject property between the hours of 10:00 p.m. and 8:00 a.m.
- T. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment, vehicles, and materials parked and stored on the subject property and shall promptly clean up the site if leaks occur.
- U. None of the vehicles or equipment parked or stored on the subject property related to the use allowed by the special use permit shall be considered agricultural vehicles or agricultural

equipment.

- V. The operators of the use allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
  - W. Within one (1) year of the approval of this special use permit ordinance, the owners of the subject property shall submit an escrow payment to the City of Joliet for improvements to Jones Road. The Kendall County Planning, Building and Zoning Committee may extend the deadline for payment of the escrow funds.
  - X. Within one (1) year of the approval of this special use permit ordinance, the owners of the subject property shall enter into an annexation agreement with the Village of Shorewood. The Kendall County Planning, Building and Zoning Committee may extend the deadline for the creation of the annexation agreement.
  - Y. The property owner and operator of the use allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of use.
  - Z. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
  - AA. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
- 3. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.
  - 4. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this special use permit.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 15<sup>th</sup> day of March, 2022.

Attest:

---

Kendall County Clerk  
Debbie Gillette

---

Kendall County Board Chairman  
Scott R. Gryder

Exhibit A

Legal Description

The North 1555.70 Feet of the East 700.00 Feet of the West 2036.77 Feet of the Southwest Quarter of Section 12, Township 35 North, Range 8 East of the Third Principal Meridian in Kendall County, Illinois

## Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on February 28, 2022, by a vote of five (5) in favor and zero (0) in opposition. Members Thompson and Whitfield were absent.

### FINDINGS OF FACT-SPECIAL USE PERMIT

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **Provided the site is developed in accordance with the submitted site plan and provided that conditions are included in the special use permit to mitigate outside noise, odor, and lighting, the proposed use should not be detrimental or endanger the public health, safety, morals, comfort, or general welfare. Placing a fire station at this location, with trained first responders, should enhance the public safety of the area.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **Appropriate restrictions should be placed in the special use permit to regulate outside noise, odors, and lighting. It is acknowledged that a fire station could produce noise, particularly sirens, at any point in time. Landscaping is incorporated in the controlling site plan for the property. Presently, very few houses are located within a half mile of the property. The neighboring property owners should not suffer loss in property values caused by the placement of this use.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **Provided the City of Joliet and Seward Township have no concerns regarding the use of Jones Road for the purposes of a fire station, adequate roads are provided. Adequate utilities are onsite or will be upgraded. Drainage issues shall be addressed as part of the stormwater management permit for the property.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. **This is true; no variances are needed.***

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **True, the proposal is consistent with the goals and objectives included in the Public Safety section found on pages 4-10 and 4-11 of the Kendall County Land Resource Management Plan.***

### RECOMMENDATION

Approval subject to the following conditions and restrictions:

1. The special use permit granted by Ordinance 2004-24 is hereby revoked and Ordinance 2004-24 is repealed in its entirety.
2. The site shall be developed substantially in accordance with the submitted plat of survey and site plan. The exact size of the retention pond expansion shall be determined by the stormwater management permit related to that expansion. The pond expansion must occur within two (2) years of the issuance of the special use permit. The Kendall County Planning, Building and Zoning Committee may extend this deadline upon request by the property owner.

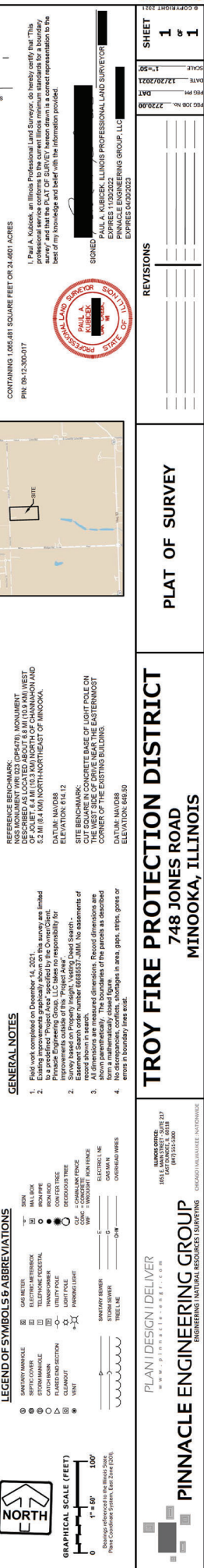
3. The vegetation presently shown on the submitted plat of survey and site plan shall remain in substantially the same locations as shown on these documents with the exception that the vegetation around the concrete apron, training pad area, and pond extension may be removed.
4. The berms shown on the site plan shall be a minimum of five feet (5') in height. Evergreen type vegetation shall be planted on top of the berms. The berms and evergreens must be installed within two (2) years of the issuance of the special use permit. The Kendall County Planning, Building and Zoning Committee may extend this deadline upon request by the property owner.
5. Damaged or dead plantings related to the landscaping of the property shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
6. The fire station, four thousand five hundred (4,500) square foot training building, and fire tower, shall be developed substantially in accordance with the elevations.
7. Any new structures constructed or installed related to the use allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
8. The training tower shown on the site plan shall be approximately sixty feet (60') in length, thirty feet (30') in width, and forty feet (40') in height.
9. The storage area shown on the site plan shall be an open area for outdoor storage approximately sixteen feet (16') in length and forty feet (40') in width. The maximum height of materials stored in this area shall be eight feet (8').
10. The fire investigation area shown on the site plan shall be an open area used for trainings and shall be approximately sixteen feet (16') in length, twenty feet (20') in width, and eight feet (8') in height.
11. The SCBA trailer shown on the site plan shall be approximately eight feet (8') in width and fifty-three feet (53') in length. The trailer shall be approximately fourteen feet (14') in height.
12. The eastern driveway shall be concrete from Jones Road to the vehicle turnaround around area as shown on the site plan. The remainder of the eastern driveway shall be asphalt.
13. The parking area shall be maintained in substantially the same location as shown on the site plan with approximately three hundred (300) parking spaces. The property owners shall ensure that handicapped parking spaces required by the Americans with Disabilities Act are provided. Per the site plan, seven (7) handicapped accessible parking spaces with applicable signage shall be provided for the three hundred (300) spaced parking lot.
14. The fence around the western portion of the parking lot shall be chain link with slats added. The maximum height of the fence shall be six feet (6').
15. One (1) free standing sign may be installed in substantially the location shown on the site plan. The sign shall be a maximum ten feet (10') in length and a maximum five feet (5') in height. The sign may be lit from dusk until dawn. However, the lighting output of the sign shall be set to a maximum of fifty percent (50%) of capabilities between 10:00 p.m. and dawn.
16. Wall signage on the building shall be installed in the substantially the locations and sizes as shown on the renderings. These signs may be back lit.
17. The trash enclosure shall be placed in substantially the location shown on the site plan and shall be large enough to hold one (1) four (4) yard dumpster and one (1) four (4) yard recycling dumpster. The enclosure shall be screened per the requirements of the Kendall County Zoning Ordinance.
18. No burning, other than burning normally allowed on A-1 zoned property, may occur outdoors at the subject property.
19. Emergency dispatch horns, strobes, and speakers shall not broadcast or be used outdoors at the subject property between the hours of 10:00 p.m. and 8:00 a.m.
20. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment, vehicles, and materials parked and stored on the subject property and



shall promptly clean up the site if leaks occur.

21. None of the vehicles or equipment parked or stored on the subject property related to the use allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
22. The operators of the use allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
23. Within one (1) year of the approval of this special use permit ordinance, the owners of the subject property shall submit an escrow payment to the City of Joliet for improvements to Jones Road. The Kendall County Planning, Building and Zoning Committee may extend the deadline for payment of the escrow funds.
24. Within one (1) year of the approval of this special use permit ordinance, the owners of the subject property shall enter into an annexation agreement with the Village of Shorewood. The Kendall County Planning, Building and Zoning Committee may extend the deadline for the creation of the annexation agreement.
25. The property owner and operator of the use allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of use.
26. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
27. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
28. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.







# FIRE STATION No.3

748 JONES ROAD, MINOOKA, IL 60447

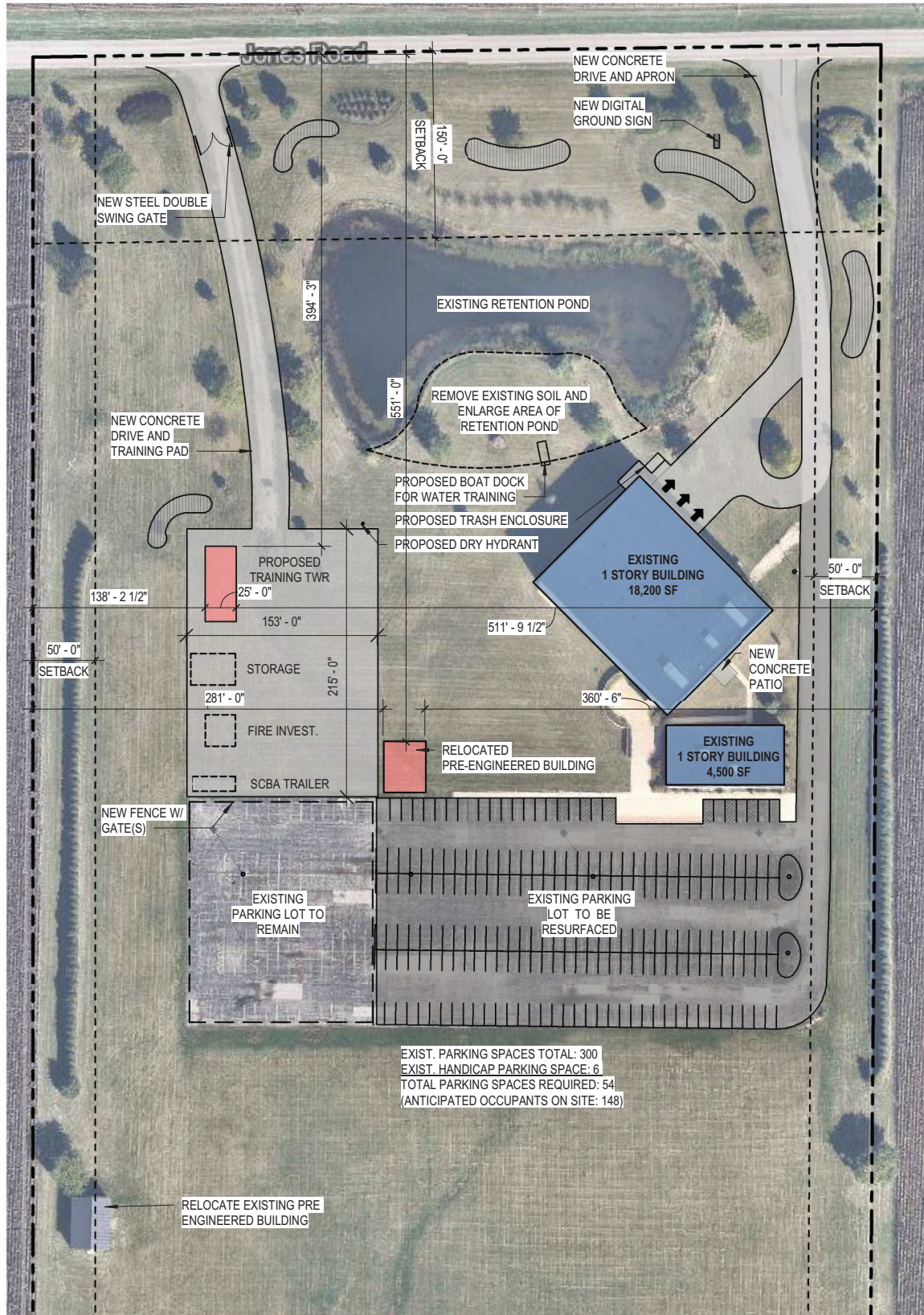
Exhibit D

TROY FIRE PROTECTION DISTRICT

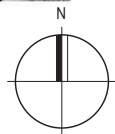
Job No. 22-3327.01

Published 12/06/21

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NEW TURF BERMS.  
TREES TO BE PLANTED AT TOP OF BERM.



SCALE: 1" = 80'

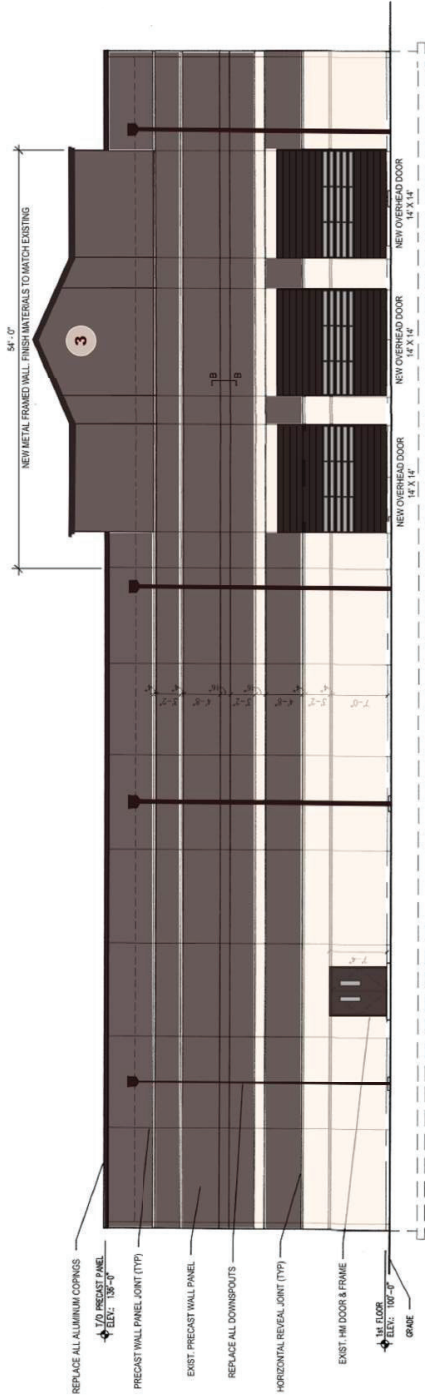
## PROPOSED SITE PLAN

**fgma**

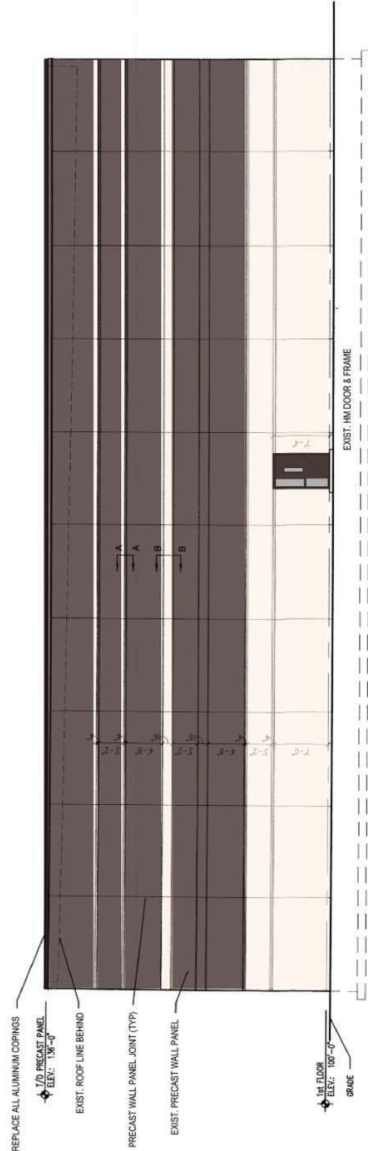
# FIRE STATION No.3

748 JONES ROAD, MINOOKA, IL 60447

Exhibit E, Page 1



MAIN BUILDING - NORTH ELEVATION  
SCALE: 1/16" = 1' - 0"



MAIN BUILDING - EAST ELEVATION  
SCALE: 1/16" = 1' - 0"



## PROPOSED ELEVATIONS

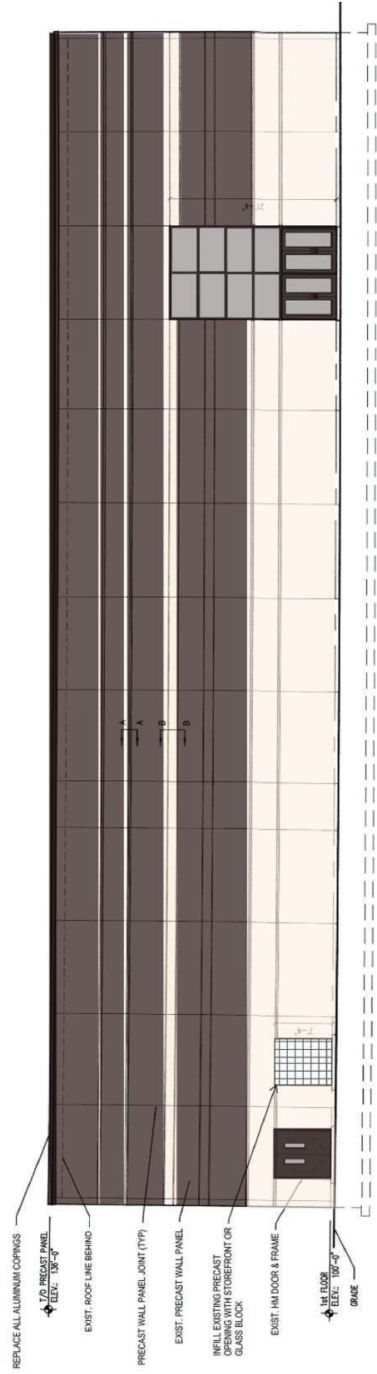
TROY FIRE PROTECTION DISTRICT  
Job No. 22-3327.01  
Published 12/06/21  
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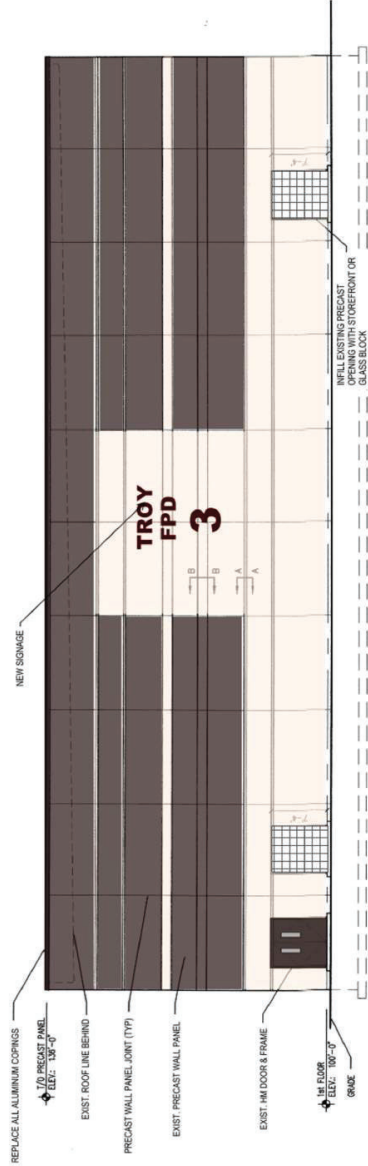


# FIRE STATION No.3

748 JONES ROAD, MINOOKA, IL 60447



MAIN BUILDING - SOUTH ELEVATION  
SCALE: 1/16" = 1' - 0"



MAIN BUILDING - WEST ELEVATION  
SCALE: 1/16" = 1' - 0"

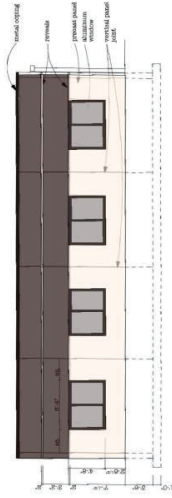
## PROPOSED ELEVATIONS

TROY FIRE PROTECTION DISTRICT  
Job No. 22-3327.01  
Published 12/06/21  
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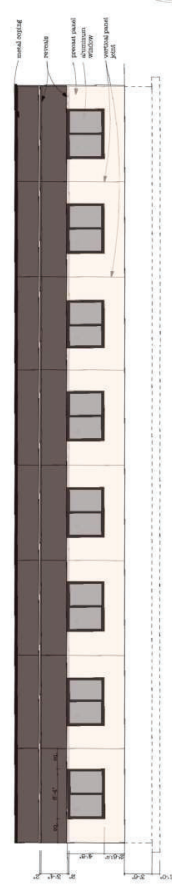
# FIRE STATION No.3

748 JONES ROAD, MINOOKA, IL 60447

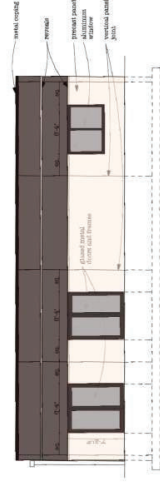
Exhibit E, Page 3



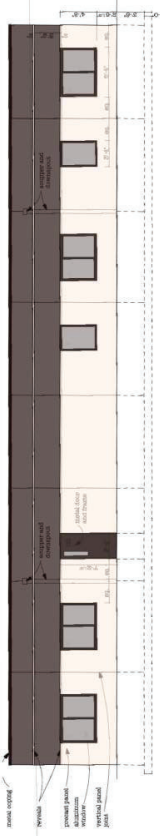
SMALL BUILDING - SOUTH ELEVATION  
SCALE: 1/16" = 1' - 0"



SMALL BUILDING - WEST ELEVATION  
SCALE: 1/16" = 1' - 0"



SMALL BUILDING - NORTH ELEVATION  
SCALE: 1/16" = 1' - 0"



SMALL BUILDING - EAST ELEVATION  
SCALE: 1/16" = 1' - 0"

## PROPOSED ELEVATIONS

TROY FIRE PROTECTION DISTRICT  
Job No. 22-3327.01  
Published 12/06/21  
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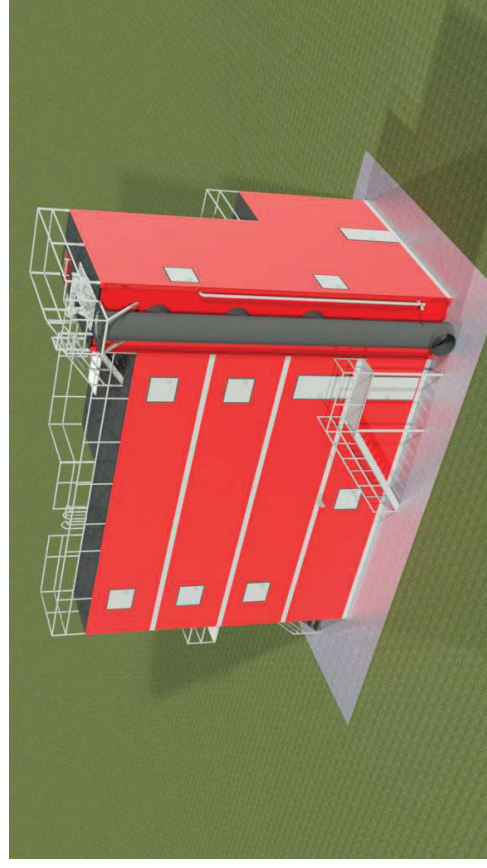
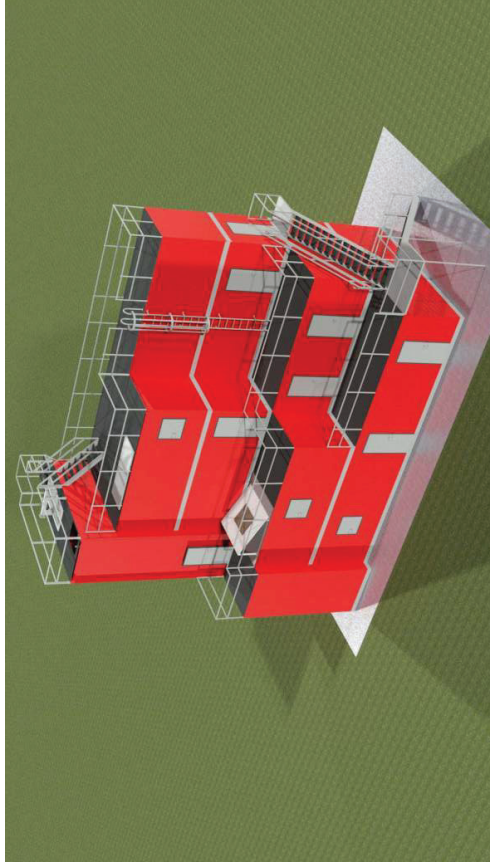


# FIRE STATION No.3

748 JONES ROAD, MINOOKA, IL 60447



Exhibit E, Page 4



## PROPOSED TRAINING TOWER

TROY FIRE PROTECTION DISTRICT | Published 12/06/21  
Job No. 22-3327.01 | ©2021 FGM Architects Inc.

fgma



# Kendall County Agenda Briefing

**Committee:** Planning, Building and Zoning

**Meeting Date:** March 7, 2022

**Amount:** N/A

**Budget:** N/A

**Issue:** Petition 22-04 Request from Request from John and Laura Gay for a Major Amendment to an Existing Special Use Permit for a Kennel Granted by Ordinance 2019-33 by Changing the Site Plan at 3601 Plainfield Road (PIN: 03-28-100-004) in Oswego Township

## Background and Discussion:

Petitioners wish to amend the special use permit for a kennel at the subject property in the following ways:

1. Shifting the building orientation; the proposed building size remains the same.
2. Shifting the access for the special use slightly southeast to provide separation between the residence and business.
3. Moving the parking area from the northwest side of the building to the southwest side of the building; the number of parking spaces remains unchanged.
4. Modifying the emergency access road to include a one hundred percent (100%) concrete surface area and hammerhead turnaround.

The record for the Petition can be found here,  
<https://www.co.kendall.il.us/home/showpublisheddocument/22271/637818194336459048>

The existing, approved site plan and draft ordinance with the new, proposed site plan are attached.

## Committee Action:

ZPAC-Approval with Conditions (7-0-3), RPC-Approval with Conditions (8-0-1), ZBA-Approval with Conditions (5-0-2), Oswego Township-No Comments, Oswego Fire Protection District-Approval, Village of Oswego-No Comments, PBZ Committee-Approval (5-0)

## Staff Recommendation:

Approval with Conditions

**Prepared by:** Matthew H. Asselmeier, AICP, CFM

**Department:** Planning, Building and Zoning Department

**Date:** March 7, 2022

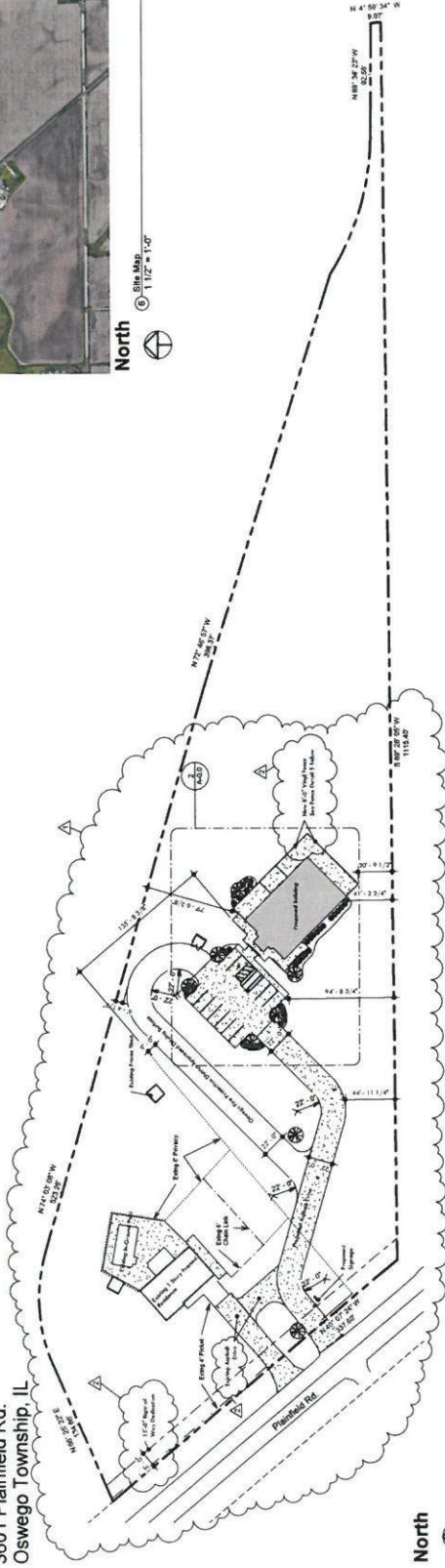


# Proposed Building The Pets Home Pet Resort and Spa

3601 Plainfield Rd.  
Oswego Township, IL



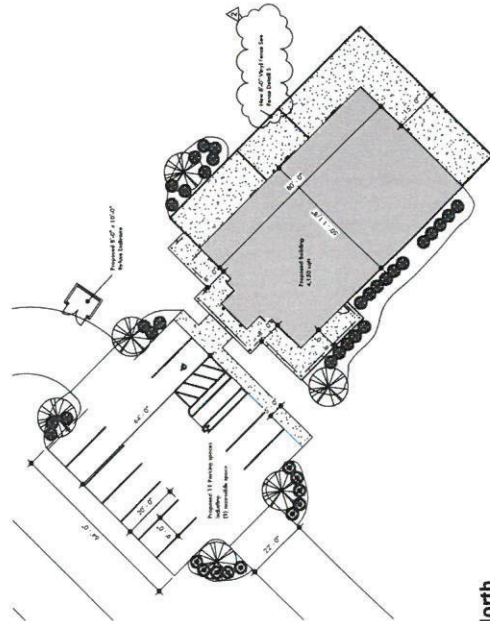
North  
① Site Map  
1" = 1/2"



North

① Schematic Site Plan  
1" = 50'-0"

Existing Picket  
Existing Privacy  
Existing Chainlink



North

② Schematic Site Plan - Calculated  
1" = 20'-0"

Site Data

Parcel Type

Parcel Area

Parcel Area

Parcel Area

Parcel Area

Parcel Area

Parcel Area

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Architectural Studio, Ltd.

14411 Oakley Ave  
Oak Brook, IL 60452  
Tel: 708.533.4000  
Fax: 708.533.4001

**Notes to Fire Inspection Bureau:**

The following items are required:

1. Fire Department Connection (FDC) Shortage
2. Fire Department Connection (FDC) Shortage
3. Fire Department Connection (FDC) Shortage
4. Fire Department Connection (FDC) Shortage
5. Fire Department Connection (FDC) Shortage
6. Fire Department Connection (FDC) Shortage
7. Fire Department Connection (FDC) Shortage

Scott A. Shaw  
Professional Engineer  
No. 001-000000  
November 10, 2018

John and Laura Gay  
The Pets Home Pet  
Resort and Spa  
Site Plan

Project Number: 2018-071  
Date: 11-13-2018  
Drawn by: SAS  
Checked by: [Signature]  
Scale: As Indicated



**ORDINANCE NUMBER 2022-\_\_\_\_\_**

**GRANTING A MAJOR AMENDMENT TO AN EXISTING SPECIAL USE PERMIT FOR A  
KENNEL GRANTED BY ORDINANCE 2019-33 BY CHANGING THE SITE PLAN AT 3601  
PLAINFIELD ROAD AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 03-28-100-  
004 IN OSWEGO TOWNSHIP**

WHEREAS, Section 13.08 of the Kendall County Zoning Ordinance permits the Kendall County Board to grant major amendments to existing special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted and amended; and

WHEREAS, Section 7.01.D.29 of the Kendall County Zoning Ordinance permits the operation of kennels as a special use with certain restrictions in the A-1 Agricultural Zoning District; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 5.0 acres located at 3601 Plainfield Road (PIN: 03-28-100-004) in Oswego Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

WHEREAS, on November 19, 2019, the Kendall County Board approved Ordinance 2019-33 which granted a special use permit for a kennel with conditions and applicable variances at the subject property; and

WHEREAS, conditions 2.A and 2.E of Ordinance 2019-33 required the subject property be developed substantially in accordance with an attached site plan; and

WHEREAS, the subject property is currently owned by John and Laura Gay and shall hereinafter be referred to as “Petitioner”; and

WHEREAS, on or about December 21, 2021, Petitioner’s representative filed a petition for a major amendment to an existing special use permit by deleting the site plan attached to Ordinance 2019-33 and replacing the site plan with a new, proposed site plan; and

WHEREAS, following due and proper notice by publication in the Kendall County Record on January 6, 2022, the Kendall County Zoning Board of Appeals initiated a public hearing on January 31, 2022, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, and continued the public hearing to February 28, 2022, at 7:00 p.m., at the same location, at which the Petitioner’s attorney presented evidence, testimony, and exhibits in support of the requested major amendment to an existing special use permit and zero members of the public testified in favor or in opposition to the request; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended approval of the major amendment to an existing special use permit with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated February 28, 2022, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall

County Board a recommendation of approval of the requested major amendment to an existing special use permit with conditions; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a major amendment to an existing special use permit allowing the operation of a kennel on the subject property subject to the following conditions:
  - A. The site plan, security plan, landscaping plan, and lighting plan referenced as Exhibit C in Ordinance 2019-33 is replaced with the site plan attached hereto as Exhibit C, elevations attached hereto as Exhibit D, and landscaping plan attached hereto Exhibit E.
  - B. The vegetation and berm outlined in the landscaping plan attached hereto as Exhibit E shall be installed in the quantities outlined and described in the landscaping plan and shall be installed by June 1, 2022. The Planning, Building and Zoning Committee may extend this deadline upon the request of the property owner. Damaged or dead vegetation shall be replaced on a timeframe approved by the Planning, Building and Zoning Department.
  - C. The remaining conditions and restrictions contained in Ordinance 2019-33 shall remain effective.
  - D. Failure to comply with one or more of the above conditions or restrictions or the conditions and restrictions contained in Ordinance 2019-33 could result in the amendment or revocation of the special use permit.
  - E. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
3. This special use permit and major amendment to an existing special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.
4. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this special use permit.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 15<sup>th</sup> day of March, 2022.

State of Illinois  
County of Kendall

Zoning Petition  
#22-04

Attest:

---

Kendall County Clerk  
Debbie Gillette

---

Kendall County Board Chairman  
Scott R. Gryder

Exhibit A

LEGAL DESCRIPTION

THAT PART OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, THENCE EASTERLY ALONG THE SOUTH LINE OF SAID NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, 1902.46 FEET TO A POINT IN THE EASTERLY RIGHT OF WAY OF PLAINFIELD ROAD FOR A POINT OF BEGINNING; THENCE NORTHWESTERLY ALONG THE EASTERLY RIGHT OF WAY LINE OF PLAINFIELD ROAD WHICH FORMS AN ANGLE OF 129 DEGREES 35 MINUTES 20 SECONDS TO THE LEFT FROM A PROLONGATION OF THE LAST DESCRIBED LINE, 354.51 FEET TO A POINT IN THE CENTER LINE OF MORGAN CREEK; THENCE NORTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK WHICH FORMS AN ANGLE OF 71 DEGREES 58 MINUTES 30 SECONDS WITH THE LAST DESCRIBED LINE, MEASURED FROM SOUTHEAST TO NORTHEAST, 131.19 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK BEING A CURVE TO THE RIGHT HAVING A RADIUS OF 150.00 FEET FOR AN ARC DISTANCE OF 100.42 FEET TO A POINT OF TANGENCY; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK, 933.39 FEET TO A POINT OF CURVATURE ; THENCE EASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK BEING A CURVE TO THE LEFT HAVING A RADIUS OF 753.23 FEET FOR AN ARC DISTANCE OF 149.51 FEET TO A POINT OF TANGENCY; THENCE EASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK 73.03 FEET; THENCE SOUTHERLY ALONG A LINE WHICH FORMS AN ANGLE OF 95 DEGREES 25 MINUTES 11 SECONDS MEASURED FROM WEST TO SOUTH WITH THE LAST DESCRIBED LINE, 20.00 FEET TO A POINT IN SAID SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, THENCE WESTERLY ALONG THE SAID SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, 1107.30 FEET TO THE POINT OF BEGINNING, ALL IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

## Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on February 28, 2022, by a vote of five (5) in favor and zero (0) in opposition. Members Thompson and Whitfield were absent.

### FINDINGS OF FACT-MAJOR AMENDMENT TO SPECIAL USE PERMIT

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Provided the Oswego Fire Protection District approves the new turnaround area and the Kendall County Highway Department approves the new access point, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. The immediately adjacent properties are also zoned A-1. There are no existing structures on adjacent properties within one hundred feet (100') of the property line. Taking into account the residential properties to the west and southwest of the property, the proposed kennel location will be situated on the east end of the property, thereby well-exceeding the two hundred fifty foot (250') setback requirement from any residential district set forth in the Zoning Ordinance. In addition, the Petitioners have a waste management plan and have considered the impact of noise on surrounding properties. A six foot (6') tall fencing is planned around the outdoor play area. The Petitioners intend to follow the Kendall County Zoning Ordinance as it relates to having all pets inside by dusk.*

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. As noted in the previous finding, the proposed special use will be setback further than the required setback for residentially zoned properties. The Petitioners plan to install a fence and appropriate lighting. The Petitioners agreed to have animals indoors by sunset. The proposed of hours of operation will also prevent injury to neighboring land uses.*

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. This is true. An existing curb cut is already located off of Plainfield Road at the subject property. The Petitioners will have to secure applicable permits related stormwater, drainage, well, septic systems, and the new driveway access.*

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. Kendall County previously granted a variance regarding distance to non-residentially zoned or use properties through Ordinance 2019-33 at this property. No variances are necessary for the proposed amendment and the special use would otherwise conform to the applicable regulations of the district.*

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 6-34 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents" through the encouragement ". . . of locally owned businesses."*

## RECOMMENDATION

Approval subject to the following conditions and restrictions:

1. The site plan, security plan, landscaping plan, and lighting plan referenced as Exhibit C in Ordinance 2019-33 is replaced with the submitted site plan, elevations, and landscaping plan.
2. The vegetation and berm outlined in the landscaping plan shall be installed in the quantities outlined and described in the landscaping plan and shall be installed by June 1, 2022. The Planning, Building and Zoning Committee may extend this deadline upon the request of the property owner. Damaged or dead vegetation shall be replaced on a timeframe approved by the Planning, Building and Zoning Department.
3. The remaining conditions and restrictions contained in Ordinance 2019-33 shall remain effective.
4. Failure to comply with one or more of the above conditions or restrictions or the conditions and restrictions contained in Ordinance 2019-33 could result in the amendment or revocation of the special use permit.
5. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
6. This special use permit and major amendment to an existing special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.







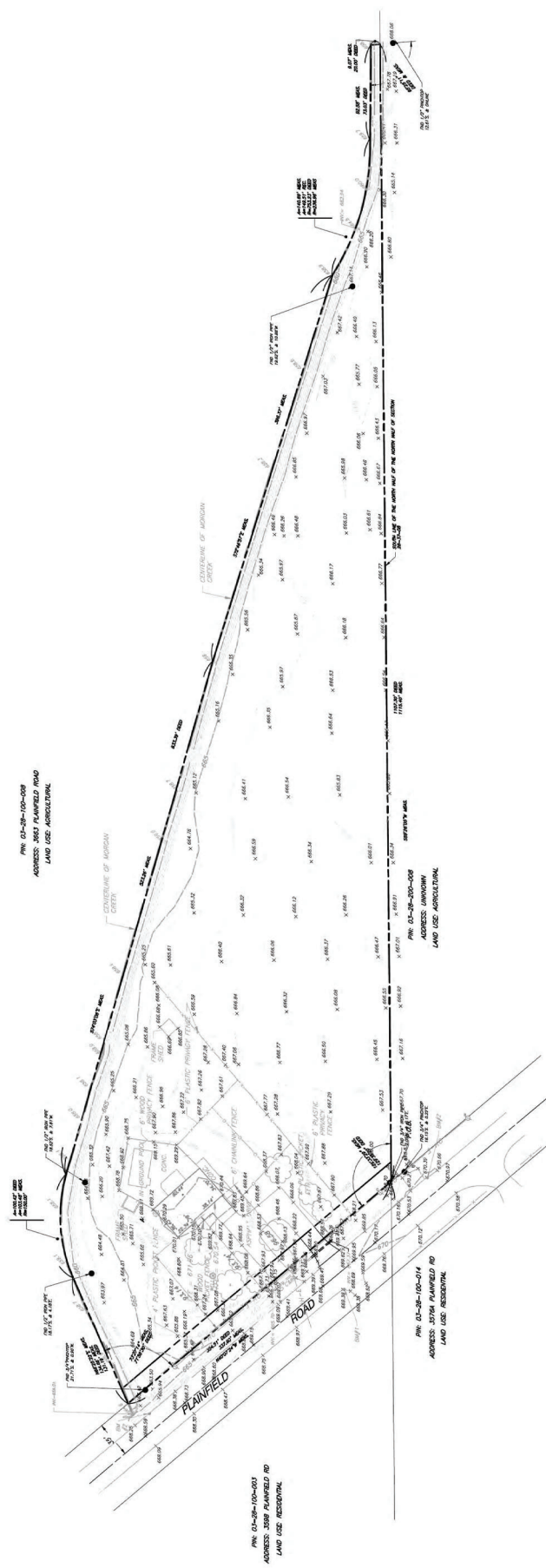








**Civil & Environmental Consultants, Inc.**  
1230 East Dietl Road, Suite 200 - Naperville, IL 60563  
630-963-6026 • 877-963-6026  
www.cedinc.com

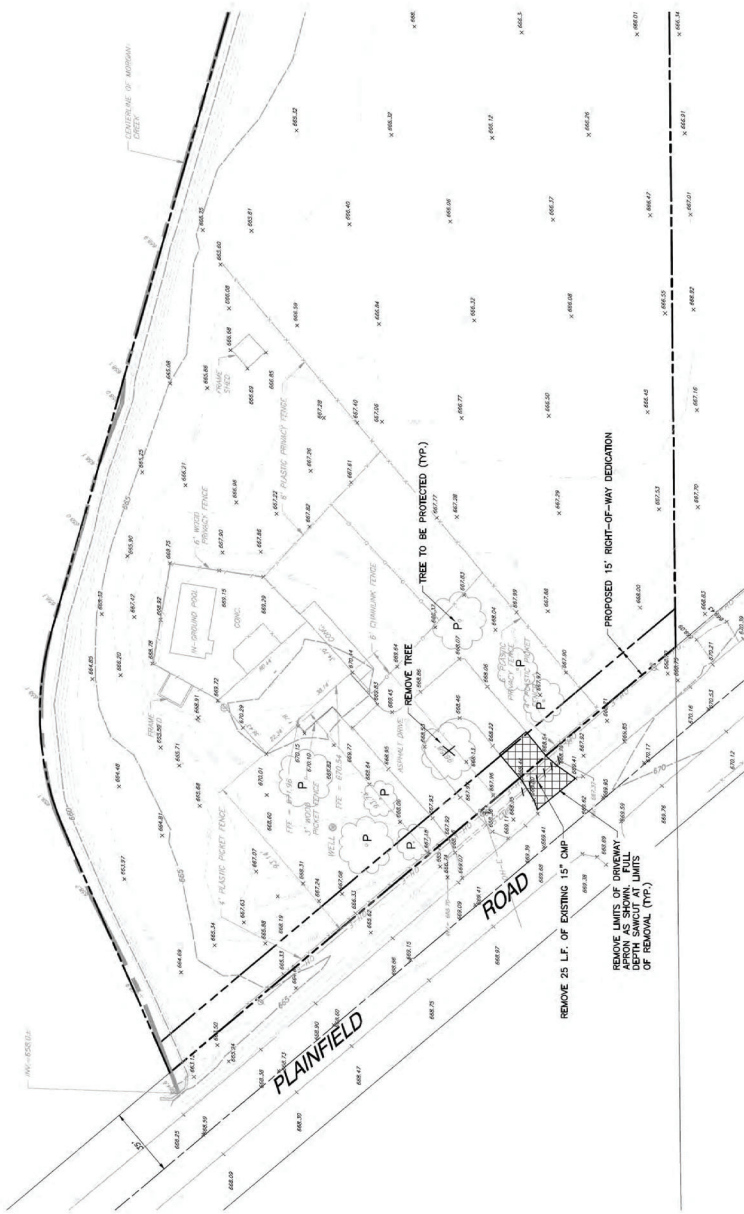
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**REFERENCE:**

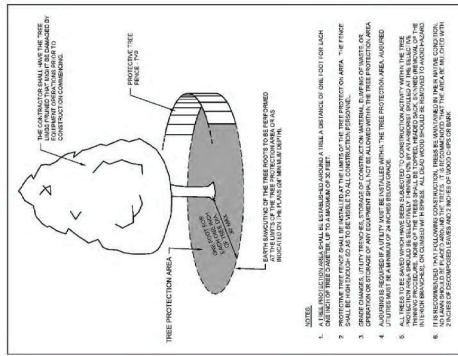
1. SURVEY IS BASED UPON FIELD OBSERVATIONS MADE ON 08/23/2019, BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
2. THE BEARINGS SHOWN HEREON ARE BASED UPON ILLINOIS STATE PLANE EAST ZONE VERTICAL CURVE OF THE NEW GPS TRIANGLE WRT NETWORK (ECCO 13A, NAD 83 DATUM).
3. UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON FIELD OBSERVATIONS.



Exhibit C, Page 5



DEMOLITION LEGEND	
	BITUMINOUS PAVEMENT REMOVAL
	C&P REMOVAL
	INDICATES NON-CONSERVE AREA STRUCTURE, OR TREE TO BE REMOVED
	TREES TO BE PROTECTED WITH FENCING
	TREES TO BE REMOVED



- DEMOLITION PLAN NOTES:**
1. ALL PAVEMENTS, UTILITIES, TREES, ETC. WITHIN THE SUBJECT PROPERTY SHALL BE REMOVED TO THE LIMITS SHOWN. REMOVAL ITEMS ARE TO BE REMOVED TO THE LIMITS SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY.
  2. TRENCES, WHEN PROPOSED PAVED OR BUILDING PAD AREAS, RESULTING FROM THE REMOVAL OF EXISTING UTILITIES SHALL BE BACKFILLED IN ACCORDANCE WITH THE DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY.
  3. ALL TREES AND BRUSH SCHEDULED FOR REMOVAL SHALL BE COMPLETELY REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY.
  4. EXISTING UTILITY LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY.
  5. ALL DEBRIS FROM DEMOLITION SHALL BE HAUL OFF SITE AND DISPOSED OF BY LEGAL MEANS.
  6. ALL WORK SHALL BE DONE IN GENERAL ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS CONTAINED IN THE COUNTY "SOIL EROSION AND SEDIMENTATION CONTROL" MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY.
  7. DURING DEMOLITION OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OF SILT TRAPS. CONCRETE TRUCKS SHALL NOT BE PERMITTED TO ENTER THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PROPERTY.
  8. ALL ADJACENT STREETS SHOULD BE KEPT CLEAR OF MUD/DEBRIS. THE CONTRACTOR SHALL INSPECT THE STREETS DAILY AND CLEAN THEM AS NECESSARY.

SCALE IN FEET  
0 10 20 30 40 50 60 70 80 90 100

C300  
SHEET 5 OF 10

DEMOLITION PLAN

LINDBLAD CONSTRUCTION CO. OF JOLIET, INC  
3601 PLAINFIELD ROAD  
OSWEGO, ILLINOIS 60543

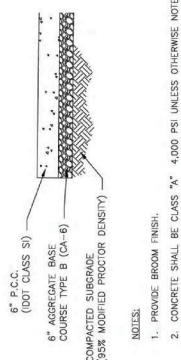
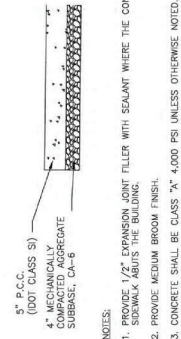
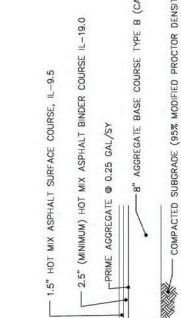
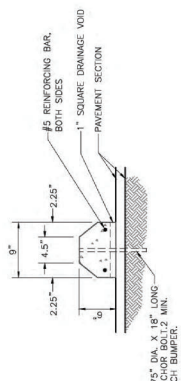
Civil & Environmental Consultants, Inc.  
1230 East Ditch Road, Suite 200 - Naperville, IL 60563  
630-963-6026 • 677-963-6026  
WWW.CECILIO.COM



REVISION RECORD

NO.	DATE	DESCRIPTION
1	01/18/2022	ISSUED FOR PERMIT
2	01/18/2022	ISSUED FOR PERMIT
3	01/18/2022	ISSUED FOR PERMIT
4	01/18/2022	ISSUED FOR PERMIT
5	01/18/2022	ISSUED FOR PERMIT
6	01/18/2022	ISSUED FOR PERMIT
7	01/18/2022	ISSUED FOR PERMIT
8	01/18/2022	ISSUED FOR PERMIT
9	01/18/2022	ISSUED FOR PERMIT
10	01/18/2022	ISSUED FOR PERMIT





GROSS BOUNDARY: 207.561 S.F. (4.73 AC) 151.035 S.F. (3.45 AC) 262.719 S.F. (6.03 AC)	03-30-2008 197,828 S.F. 4.5% 10,075 S.F. 6.2% 31,644 S.F.	03-30-2008 65,571 S.F. (1.51 AC) 10,390 S.F. 15.9% 11,990 S.F.	10 SPACES 10 SPACES 11 SPACES TOTAL	3,326 S.F.
P.U.I. EXISTING SEVERIOUS AREA EXISTING MODERATE AREA AGGRAVATED (PROPOSED)	DISTURBED AREA PARKING REQUIRED (THROUGH SPECIAL USE APPLICATION)	10 SPACES 10 SPACES 11 SPACES TOTAL	3,326 S.F.	3,326 S.F.

DIMENSION PLAN NOTES:

GROSS BOUNDARY: 207.561 S.F. (4.73 AC) 151.035 S.F. (3.45 AC) 262.719 S.F. (6.03 AC)	03-30-2008 197,828 S.F. 4.5% 10,075 S.F. 6.2% 31,644 S.F.	03-30-2008 65,571 S.F. (1.51 AC) 10,390 S.F. 15.9% 11,990 S.F.	10 SPACES 10 SPACES 11 SPACES TOTAL	3,326 S.F.
P.U.I. EXISTING SEVERIOUS AREA EXISTING MODERATE AREA AGGRAVATED (PROPOSED)	DISTURBED AREA PARKING REQUIRED (THROUGH SPECIAL USE APPLICATION)	10 SPACES 10 SPACES 11 SPACES TOTAL	3,326 S.F.	3,326 S.F.

# OF HANDICAP SPACES REQUIRED PER # OF OFF STREET PARKING SPACES REQUIRED	ACCESSIBLE PRNG. SPACES REQUIRED, MIN. # OF
1 TO 20	1
21 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2% OF TOTAL NUMBER
OVER 1000	20 PLUS 1 FOR EACH 100 OVER 1000.

NOTES FOR HANDICAP PARKING STALLS:

1. SIGNS SHALL BE VERTICALLY MOUNTED ON A POST OR A WALL AT THE FRONT CENTER OF THE PARKING SPACE MORE THAN THE (5) FEET HORIZONTALLY FROM THE FRONT CURB. THE SIGN SHALL BE MOUNTED TO THE FRONT FROM THE FINISHED GRADE TO THE BOTTOM OF THE SIGN.
2. UNMOUNTED PARKING SIGNS SHALL ALSO EXHIBIT THE WORDS "PARKING ONLY".
3. PARKING SPACES DESIGNED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A BLUE SIGN. THE SIGN FOR A PARTICULAR BUILDING, SHALL BE LOCATED ON THE SHORTEST POSSIBLE ACCESSIBLE ENTRANCE OF THE BUILDING.
4. IN SEPARATE PARKING STRUCTURES OR LOTS THAT DO NOT SERVE A PARTICULAR BUILDING, PARKING SPACES FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED ON THE SHORTEST POSSIBLE CIRCULATORY ROUTE TO THE NEAREST PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.

**ACCESSIBLE PARKING**  
**STALL SIGNAGE**

**\$250 FINE**

**VAN  
ACCESSIBLE**

**P.C.C. PAVEMENT/ TRASH ENCLOSURE SLAB SECTION**

**P.C.C. SIDEWALK/ SLAB SECTION**

### MA PAVEMENT SECTION

## ONCRETE WHEEL STOP

SCALE IN FEET



0 30 60

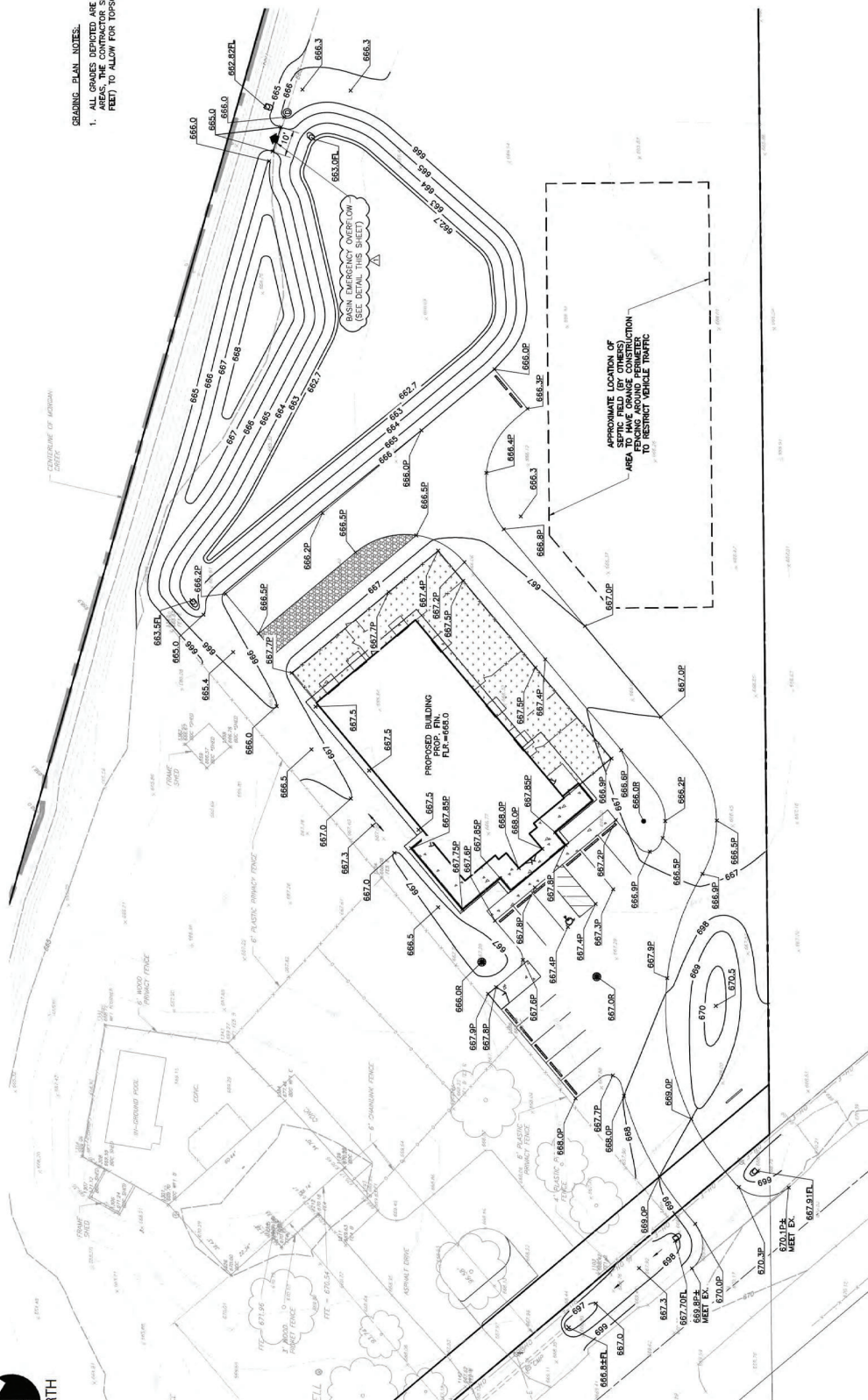
**C400**

**Civil & Environmental Consultants, Inc.**  
1230 East Diehl Road, Suite 200 - Naperville, IL 60563  
630-963-6026 • 877-963-6026

LINDBLAD CONSTRUCTION CO. OF JOILET, INC  
THE PETS HOME PET RESORT & SPA  
3601 PLAINFIELD ROAD  
OSWEGO, ILLINOIS 60543

### DIMENSION PLAN

ING NO.:  
**C400**

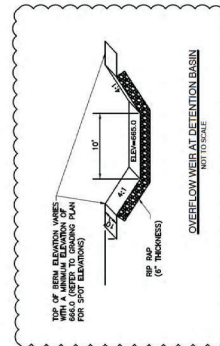


EXISTING IMPERVIOUS CONDITIONS

EXISTING IMPERVIOUS CONDITIONS

PROPOSED IMPERVIOLIS CONDITIONS

IMPERVIOUS AREA CALCULATIONS	
	IMPERVIOUS AREA (SF)
EXISTING	10,073
PROPOSED	32,329
NET INCREASE	22,166
<p>PROPOSED AGGREGATE IMPERVIOUS AREA IS GREATER THAN 32,000 S.F. AND THE DISTURBED AREA IS GREATER THAN 45,000 S.F. THEREFORE, STORMWATER DETENTION IS REQUIRED PER THE KENDALL COUNTY STORMWATER MANAGEMENT</p>	



OVERFLOW WEIR AT DETENTION BASIN

NOT TO SCALE

A horizontal scale bar labeled "SCALE IN FEET". It has markings for 0, 20, and 40 feet. The bar is divided into alternating black and white segments.











**NYLOPLAST 10" INLINE DRAIN 2710AG...X**

**NYLOPLAST 10" INLINE DRAIN 2710AG...X**

1. NYLOPLAST 10" INLINE DRAIN 2710AG...X  
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3. NYLOPLAST 10" INLINE DRAIN 2710AG...X  
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6. NYLOPLAST 10" INLINE DRAIN 2710AG...X  
7. NYLOPLAST 10" INLINE DRAIN 2710AG...X  
8. NYLOPLAST 10" INLINE DRAIN 2710AG...X  
9. NYLOPLAST 10" INLINE DRAIN 2710AG...X  
10. NYLOPLAST 10" INLINE DRAIN 2710AG...X

**FLARED END SECTIONS**

PE THREADED ROD #/W/ NUTS AND SPACERS

**PE THREADED ROD #/W/ NUTS AND SPACERS**

PART #	PIPE SIZE	A	B	H	L	W
1210NP	12 in	6.50 in	10.00 in	25.00 in	25.00 in	25.00 in
1510NP	15 in	8.50 in	12.50 in	35.00 in	35.00 in	35.00 in
1810NP	18 in	10.50 in	15.00 in	45.00 in	45.00 in	45.00 in
2110NP	21 in	12.50 in	17.50 in	55.00 in	55.00 in	55.00 in
2410NP	24 in	14.50 in	20.00 in	65.00 in	65.00 in	65.00 in
2710NP	27 in	16.50 in	22.50 in	75.00 in	75.00 in	75.00 in
3015NP	30 in	18.50 in	25.00 in	85.00 in	85.00 in	85.00 in
3615NP	36 in	22.50 in	30.00 in	100.00 in	100.00 in	100.00 in

**NYLOPLAST 10" INLINE DRAIN 2710AG...X**

**NYLOPLAST 10" INLINE DRAIN 2710AG...X**

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6. NYLOPLAST 10" INLINE DRAIN 2710AG...X  
7. NYLOPLAST 10" INLINE DRAIN 2710AG...X  
8. NYLOPLAST 10" INLINE DRAIN 2710AG...X  
9. NYLOPLAST 10" INLINE DRAIN 2710AG...X  
10. NYLOPLAST 10" INLINE DRAIN 2710AG...X

**SILT FENCE PLAN**

**SILT FENCE PLAN**

1. SILT FENCE PLAN  
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**INLET TYPE A**

**INLET TYPE A**

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10. INLET TYPE A

**PIPE OUTLET TO FLAT AREA**

**PIPE OUTLET TO FLAT AREA**

1. PIPE OUTLET TO FLAT AREA  
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10. PIPE OUTLET TO FLAT AREA

**R-3340 Series Round Beehive Grite**

**R-3340 Series Round Beehive Grite**

1. R-3340 Series Round Beehive Grite  
2. R-3340 Series Round Beehive Grite  
3. R-3340 Series Round Beehive Grite  
4. R-3340 Series Round Beehive Grite  
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7. R-3340 Series Round Beehive Grite  
8. R-3340 Series Round Beehive Grite  
9. R-3340 Series Round Beehive Grite  
10. R-3340 Series Round Beehive Grite

**R-1772 Manhole Frame, Solid Lid**

**R-1772 Manhole Frame, Solid Lid**

1. R-1772 Manhole Frame, Solid Lid  
2. R-1772 Manhole Frame, Solid Lid  
3. R-1772 Manhole Frame, Solid Lid  
4. R-1772 Manhole Frame, Solid Lid  
5. R-1772 Manhole Frame, Solid Lid  
6. R-1772 Manhole Frame, Solid Lid  
7. R-1772 Manhole Frame, Solid Lid  
8. R-1772 Manhole Frame, Solid Lid  
9. R-1772 Manhole Frame, Solid Lid  
10. R-1772 Manhole Frame, Solid Lid



A0.00

Exterior Rendering

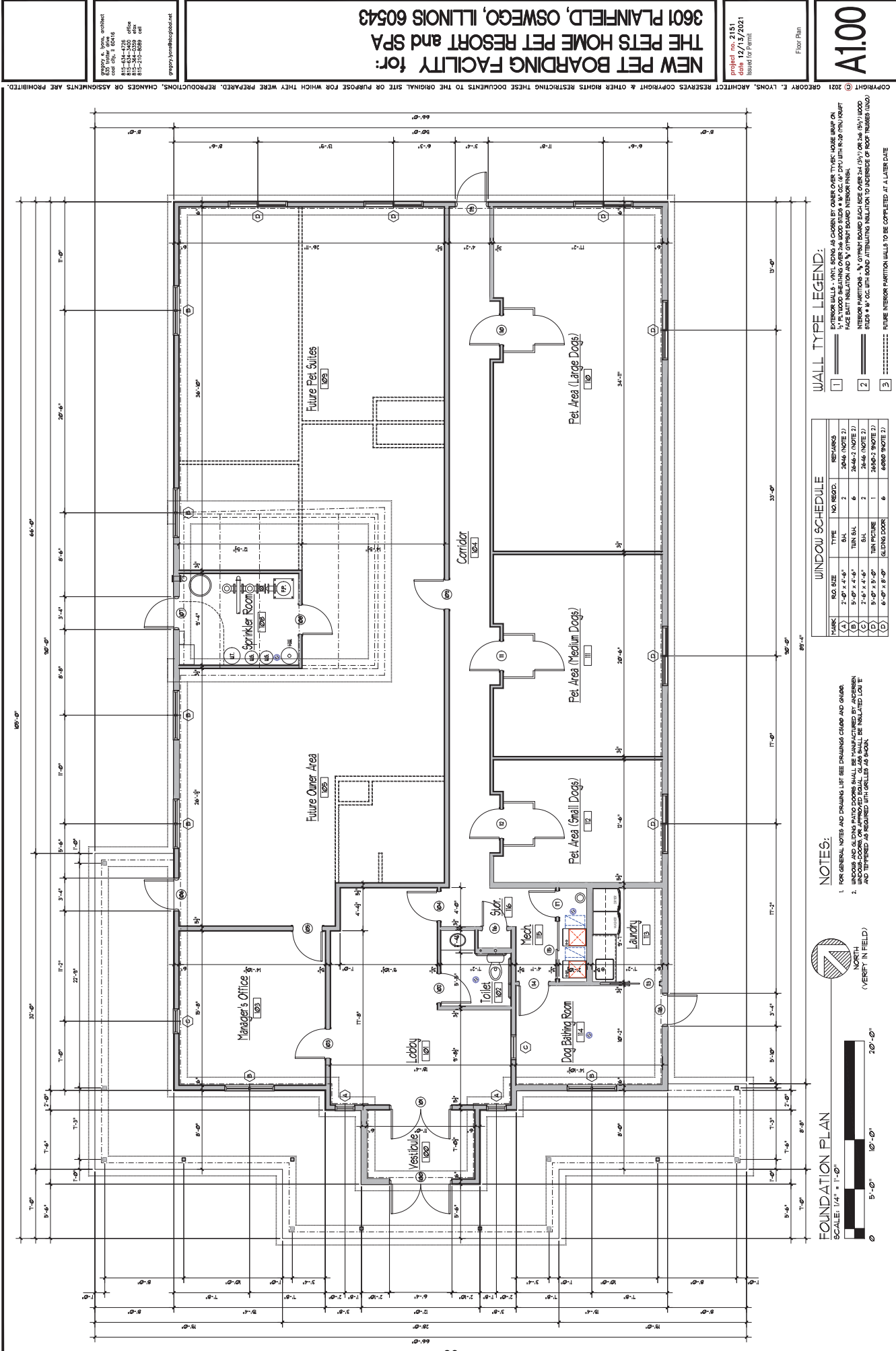
Project No. 2151  
Date 12/15/2021  
Issued for Permit

NEW PET BOARDING FACILITY for:  
THE PETS HOME PET RESORT and SPA  
3601 PLAINFIELD, OSWEGO, ILLINOIS 60543

Gregory E. Lyons, Architect  
1800 N. 1st St., Suite 200  
Oswego, IL 60543  
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Fax: 815-434-4729  
Cell: 815-215-8888  
Email: greg@gregoryelyons.com



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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



NOTES:

- 1. FOR GENERAL NOTES AND DRAWING LIST SEE DRAWING CADD AND GADD.
- 2. WINDOWS AND GLASS PARTS DOORS SHALL BE MANUFACTURED BY ANDERSEN AND REFERRED AS REQUIRED WITH GRILLS AS SUCH.

WINDOW SCHEDULE

MARK	W.O. SIZE	TYPE	NO. REQ'D.	REMARKS
(A)	2'-0" x 4'-6"	SH	2	2046-2 (NOTE 2)
(B)	5'-0" x 4'-6"	TWIN SH	6	2046-2 (NOTE 2)
(C)	2'-0" x 4'-6"	SH	2	2046-2 (NOTE 2)
(D)	5'-0" x 8'-0"	TWIN PICTURE	1	2046-2 (NOTE 2)
(E)	6'-0" x 8'-0"	GLASS DOOR	6	2046-2 (NOTE 2)

WALL TYPE LEGEND:

- 1 EXTERIOR WALLS - VENT. BOND AS ORDER BY OWNER OVER TYPER-HOUSE BUMP ON EXTERIOR WALLS. 1/2" OC. EPS INS. 1/2" GYPSUM BOARD VENEER INS. FACE BATT INSULATION AND 1/2" GYPSUM BOARD VENEER INS.
- 2 INTERIOR PARTITIONS - 1/2" GYPSUM BOARD EACH SIDE OVER 1/2" (3/4") OR 3/4" (1") WOOD STUDS + 1/2" OC. EPS BOND ATTENUATING INSULATION TO INSIDE OF ROOF TRUSSES (W.G.)
- 3 FUTURE INTERIOR PARTITION WALLS TO BE COMPLETED AT A LATER DATE

A100

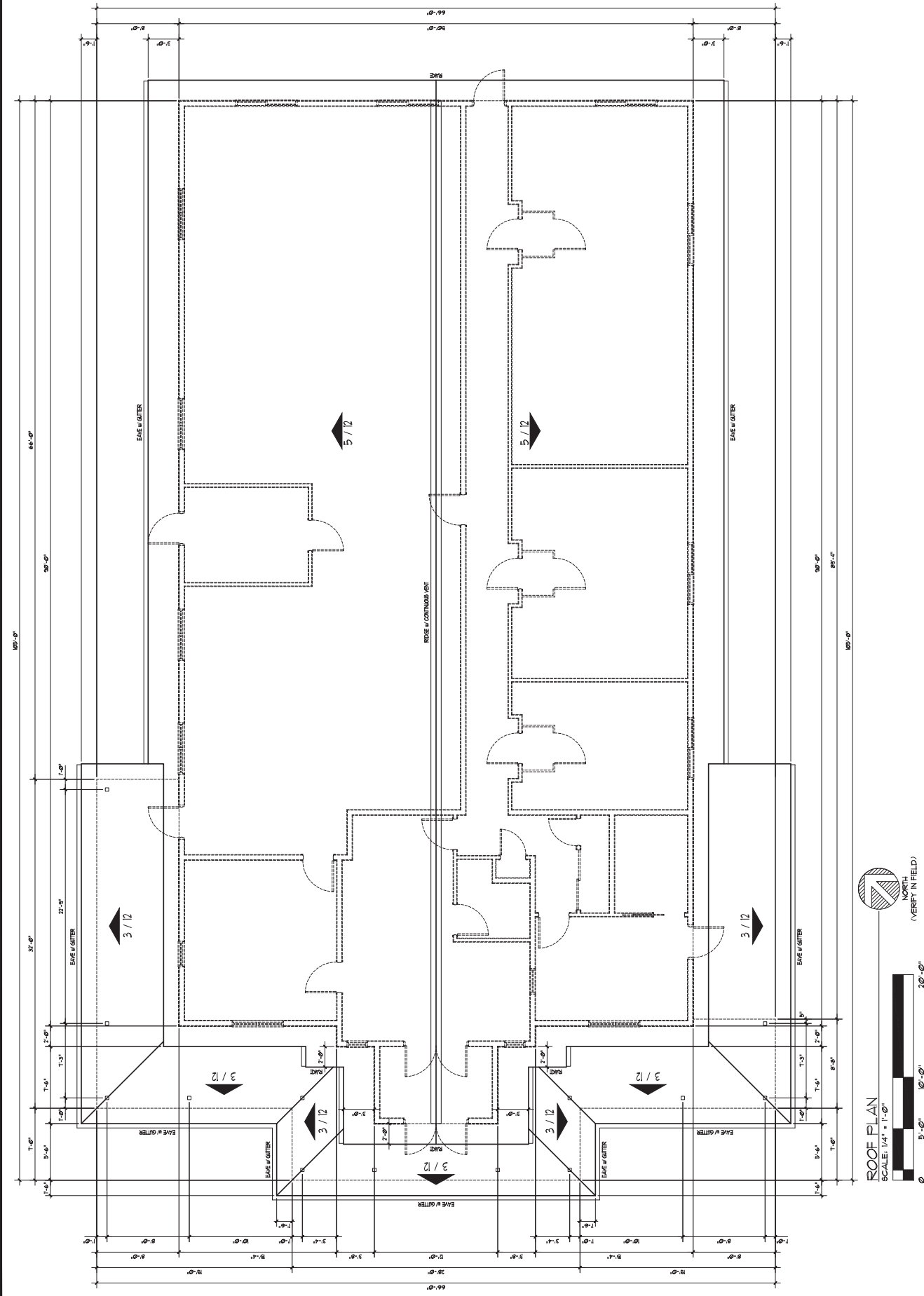
Floor Plan

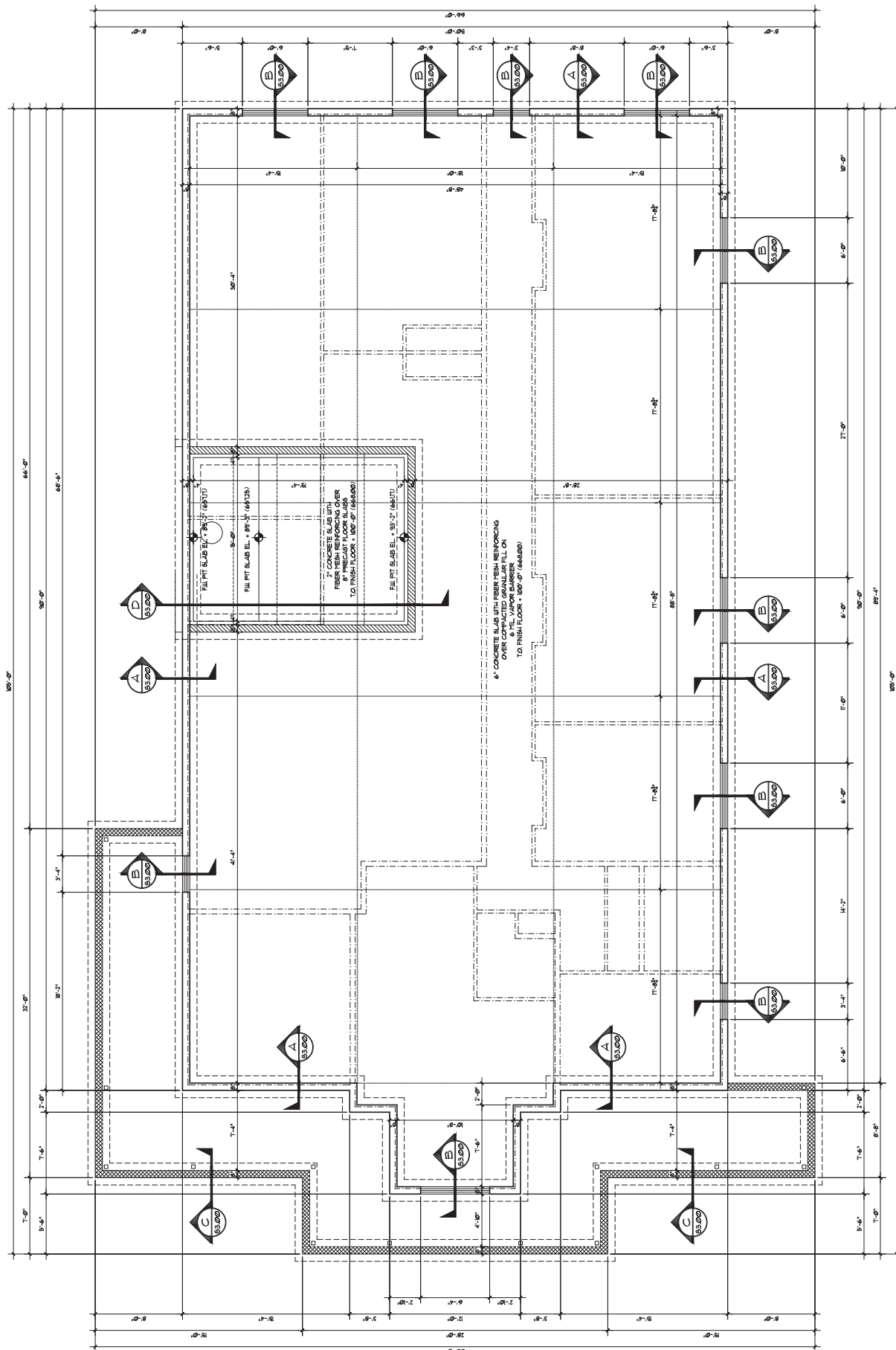
Project No. 2151  
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NEW PET BOARDING FACILITY for:  
THE PETS HOME PET RESORT and SPA  
3601 PLAINFIELD, OSWEGO, ILLINOIS 60543

Gregory E. Lyons, Architect  
605 North 1st Street  
Oswego, IL 60543  
815-434-4228 office  
815-434-4339 cell  
815-210-8888 fax  
gregory@gregoryel.com

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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

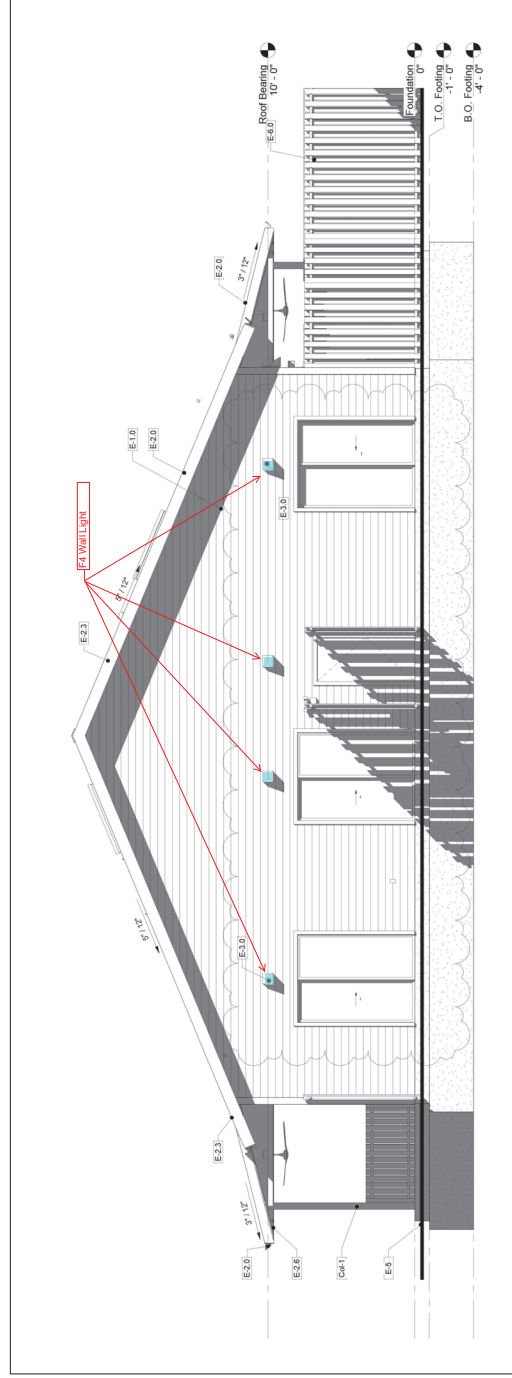
 NORTH  
(VERIFY IN FIELD)

KEY MARK	KEY DESCRIPTION
E-0-1	4M INJECTED BOOD POY IN SPINION THROUGH THE EASE AND CAP CON.
E-0-2	HATCHES BOARD - VINYL LIP (DOWN INSIDE REEL)
E-0-3	REEL - VINYL LIP (DOWN INSIDE REEL)
E-0-4	20" X 20" FALGEE BOARD (HATCH)
E-0-5	VINYL 20" X 20" BOARD (HATCH)
E-0-6	PREPARED ALUMINUM (HATCH AND DOWNPOUT) (WHITE)
E-0-7	CONCEALED METAL ALUMINUM
E-0-8	30-40 YEAR CORRUPTE ALUMINUM RANGLES (HATCHER GREEN)
E-0-9	CONCEALED RESEAL AND COAL ON VINYL (HATCH)
E-0-10	VINYL 20" X 20" BOARD (HATCH)
E-0-11	EXTERIOR LIGHT FIXTURE
E-0-12	FINISH GRADE - SEE CIVIL DRAWINGS FOR GRADING PLAN
E-0-13	VINYL PREPACTURE (WHITE)
E-0-14	WHITE PVC FENCE (OPTIONAL)

FRONT ELEVATION (Reversed)

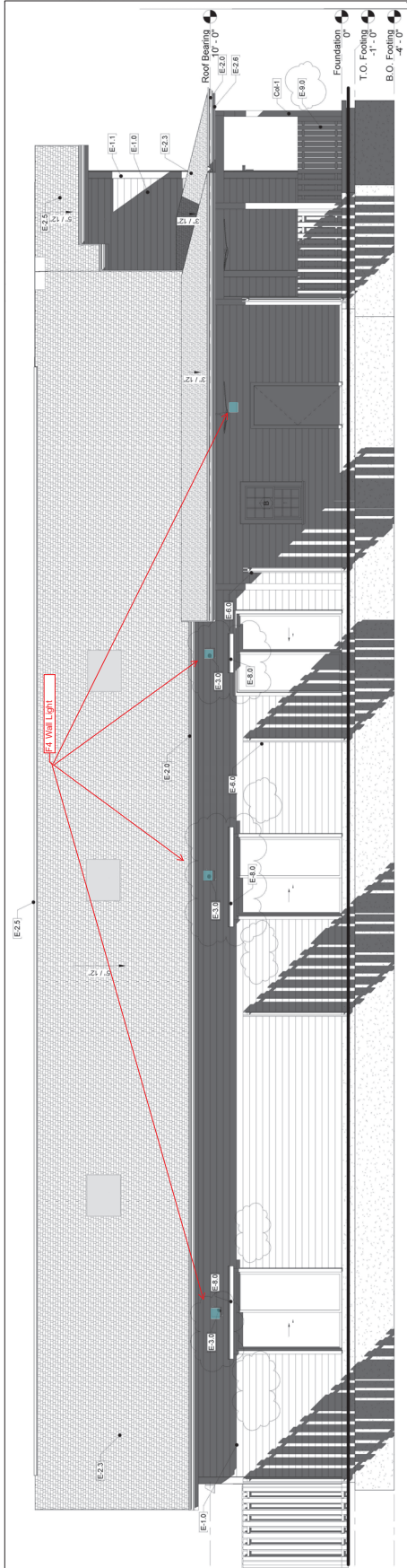
SCALE: 1/4" = 1'-0"

NOTES:



REAR ELEVATION (Reversed)

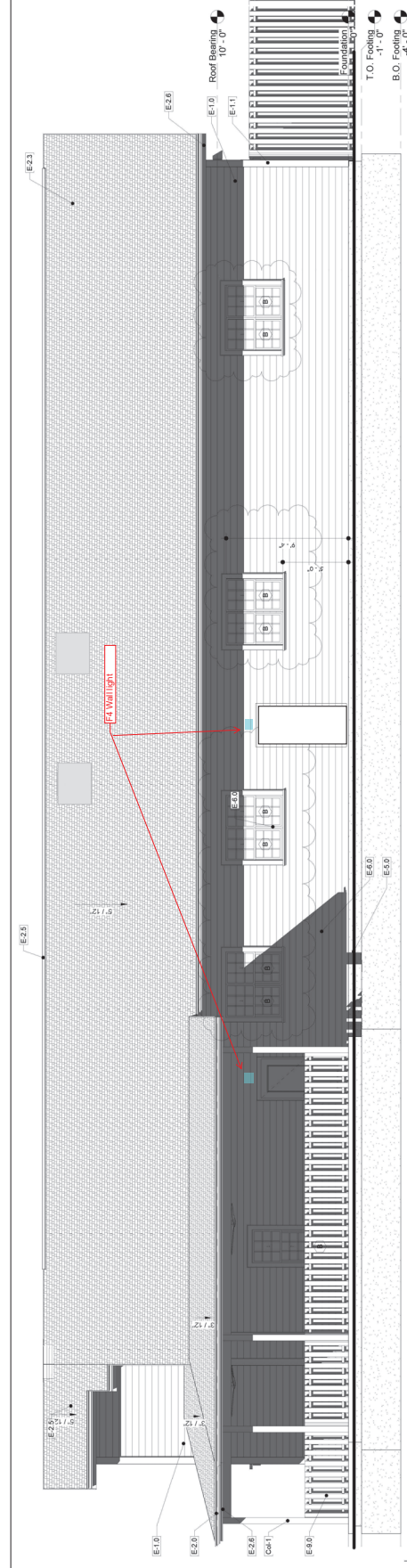




RIGHT ELEVATION (Reversed)  
SCALE: 1/4" = 1'-0"

NOTES:

1. FOR GENERAL NOTES AND DRAWING LIST SEE DRAWING C100 AND G100.
2. FOR ELEVATION KEYNOTE LEGEND SEE DRAWING A200.



LEFT ELEVATION (Reversed)  
SCALE: 1/4" = 1'-0"

NEW PET BOARDING FACILITY for:  
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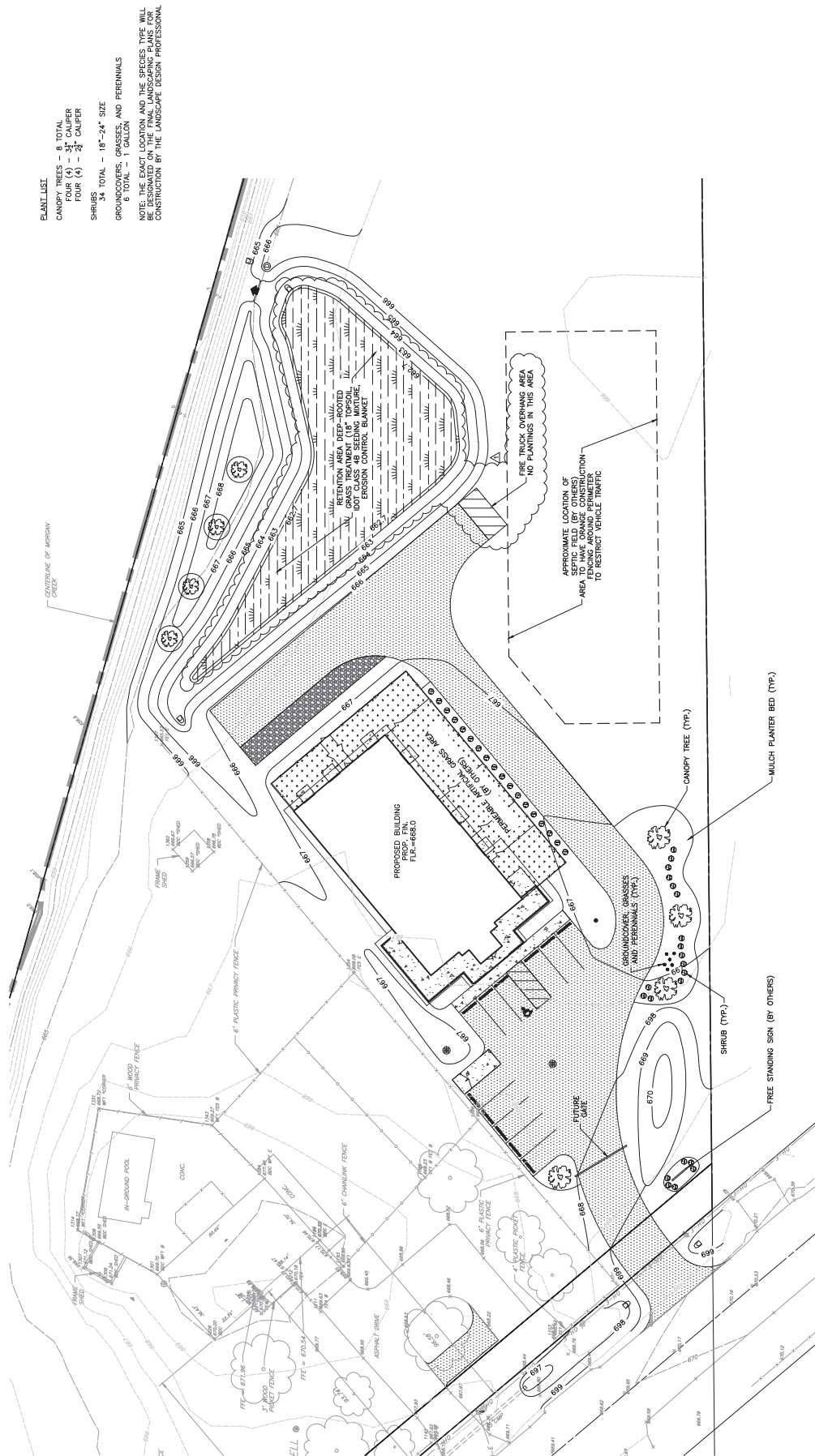
Project No. 2151  
12/13/2021  
Issued for Permit

Exterior Elevations

A2.01

Gregory E. Lyons, Architect  
1001 N. 1st St., Suite 100  
Oswego, IL 60543  
815-534-4250 office  
815-534-5000 cell  
815-210-8080 fax

gregory@gregoryel.com



FY-2021 Rebuild Illinois Capital Plan					
IDOT Transit Rebuild Round II Awards					
Selected Projects and Funding Amount					
Agency	Project Description	Project Type	Rural/Urban	State Funding Amount	IDOT District
Greater Peoria MTD Urban	New Facility Construction and Renovation	Facility	Urban	\$8,000,000	4
Rockford Mass Transit District	520 Mulberry Street Transit Facility Rehabilitation/Renovation and Expansion Project	Facility	Urban	\$16,000,000	2
St. Clair County Transit District	St. Clair County Transit Public Safety Center	Facility	Urban	\$9,975,000	8
City of DeKalb	Transit Maintenance and Operations Facility	Facility	Urban	\$12,000,000	3
Springfield Mass Transit District	Maintenance South Building Remodel	Facility	Urban	\$500,000	6
Rock Island County Metro MTD	On Street Chargers at Centre Station, District Station, East Pointe & OMC	Equipment	Urban	\$5,000,000	2
Madison County Mass Transit District	Collinsville Park and Ride	Facility	Urban	\$3,250,000	8
Bloomington-Normal Public Transit System	Electric Buses	Vehicles	Urban	\$8,000,000	5
City of Decatur	Busport Construction	Facility	Urban	\$1,000,000	7
Champaign-Urbana Mass Transit District	Solar Array Expansion Phase 2	Other	Urban	\$2,109,000	5
River Valley Metro Mass Transit District	Bus Replacement	Vehicles	Urban	\$3,500,000	3
Rock Island County Metro MTD	Centre Station Renovations, Vestibule, Sliding Doors & Mechanical Upgrades - HVAC	Facility	Urban	\$2,500,000	2
Springfield Mass Transit District	Intergovernmental Multi-Modal Transportation Center	Facility	Urban	\$920,000	6
Greater Peoria MTD Urban	Transit Center Site Improvements	Other	Urban	\$3,000,000	4
Madison County Mass Transit District	MCT Base Facility Improvements Phase 3	Facility	Urban	\$3,100,000	8
City of Decatur	Hybrid Buses	Vehicles	Urban	\$2,760,000	7
Bloomington-Normal Public Transit System	In-ground Maintenance Lifts	Facility	Urban	\$360,000	5
Jackson County MTD	Carbondale Depot Project	Facility	Rural	\$1,662,599	9
Lee County	Building Expansion	Facility	Rural	\$2,676,020	2
CRIS Rural Mass Transit District	CRIS Administrative and Operations Facility	Facility	Rural	\$3,066,088	5
McLean County	Chenoa Facility Upgrade	Facility	Rural	\$900,000	5
City of Quincy	Downtown Transfer Station Relocation	Facility	Rural	\$1,249,440	6
Kankakee County	Vehicle Storage Facility	Facility	Rural	\$700,000	3
South Central IL Mass Transit District	Transfer Station Improvements	Facility	Rural	\$500,000	8,9
DeKalb County	Administration Expansion	Facility	Rural	\$1,000,000	3
Grundy County	GTS Transit Center Building	Facility	Rural	\$2,563,400	3
City of Macomb	Bus Pads	Equipment	Rural	\$240,000	4
Shawnee Transit District	Phone System	Technology	Rural	\$85,000	9
Jo Davies County	Building, Security, and Safety Updates	Other	Rural	\$155,700	2
Kendall County	Multi-use Facility	Facility	Rural	\$4,000,000	3
Monroe Randolph Transit District	Replacement Vehicles	Vehicles	Rural	\$580,000	8
Warren County	Dispatch Software Updte	Technology	Rural	\$58,000	4
Henry County	Rolling Stock	Vehicles	Rural	\$212,000	2
Rides Mass Transit District	Fueling Canopies and tanks	Equipment	Rural	\$746,500	9



FY-2021 Rebuild Illinois Capital Plan					
IDOT Transit Rebuild Round II Awards					
Selected Projects and Funding Amount					
Agency	Project Description	Project Type	Rural/Urban	State Funding Amount	IDOT District
Coles County	VFS Expansion	Facility	Rural	\$1,500,000	7
Macoupin County	Dispatch Building	Facility	Rural	\$575,821	6
City of Freeport	Camera Project	Technology	Rural	\$65,000	2
Tazewell County	Vehicle Replacement	Vehicles	Rural	\$189,891	4
Champaign County	CCARTS Vehicle Replacement	Vehicles	Rural	\$134,000	5
City of Galesburg	Dispatching Upgrade	Technology	Rural	\$100,000	4
Piatt County	New Parking Garage	Facility	Rural	\$800,000	5
Carroll County, Illinois	Garage	Facility	Rural	\$536,000	2
Rock Island/Mercer County	Replacement & Expansion Vehicles	Vehicles	Rural	\$124,000	2
Jackson County MTD	Murphysboro Depot Project	Facility	Rural	\$1,543,000	9
Lee County	Replacement Vehicles	Vehicles	Rural	\$591,190	2
McLean County	Chenoa Bus Storage	Facility	Rural	\$400,000	5
Kankakee County	Replacement Vehicles	Vehicles	Rural	\$360,000	3
City of Macomb	Macomb Technology Project	Technology	Rural	\$67,000	4
South Central IL Mass Transit District	Website Design/Update	Technology	Rural	\$51,000	8,9
Shawnee Mass Transit District	New Bus Tablets	Technology	Rural	\$28,000	9
Monroe Randolph Transit District	Transit Facility	Facility	Rural	\$2,000,000	8
	Total Program Award Amount			\$111,433,649	

**County of Kendall, Illinois**  
**Resolution \_\_\_\_\_**

**RESOLUTION AUTHORIZING EXECUTION AND AMENDMENT OF  
SECTION 5311 GRANT AGREEMENT**

WHEREAS, the provision of public transit service is essential to the transportation of persons in the non-urbanized area; and

WHEREAS, 49 U.S.C. § 5311 ("Section 5311"), makes funds available to the State of Illinois to help offset certain operating deficits and administrative expenses of a system providing public transit service in non-urbanized areas; and

WHEREAS, the State of Illinois, acting by and through the Illinois Department of Transportation, is authorized by 30 ILCS 740/3-1 et seq. to provide the Section 5311 grant; and

WHEREAS, grants for said funds will impose certain obligations upon the recipient, including the provision by it of the local share of funds necessary to cover costs not covered by funds provided under Section 5311; and

WHEREAS, the Kendall County Board has the authority to delegate certain powers and duties to county officers, and, pursuant to 55 ILCS 5/5-1087, the Kendall County Board may impose additional duties, powers and functions upon county officers; and

**NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BOARD OF  
KENDALL COUNTY:**

Section 1. That Kendall County finds that the Kendall Area Transit project is consistent with official plans for developing the community.

Section 2. That an application be made to the Office of Intermodal Project Implementation, Department of Transportation, State of Illinois, for a financial assistance grant under Section 5311 for fiscal year 2023 for the purpose of offsetting a portion of the Public Transportation Program operating deficits of Kendall County.

Section 3. That while participating in said operating assistance program, Kendall County will provide all required local matching funds.

Section 4. That the Kendall County Board Chairman or County Administrator of the County of Kendall is hereby authorized and directed to execute and file on behalf of Kendall County such application.

Section 5. That the Kendall County Board acknowledges the Acceptance of Special Warranty, and understands as a condition of receipt of funds under 49 U.S.C. 5311 funds, that 49 U.S.C. 5311(b) requires fair and equitable arrangement must be made to protect the interest of employees affected by assistance.

Section 6. That the Kendall County Board Chairman or County Administrator of the County of Kendall is authorized to furnish such additional information as may be required by the Office of Intermodal Project Implementation and the Federal Transit Administration in connection with the aforesaid application for said grant.

Section 7. That the Kendall County Board Chairman or the County Administrator of the County of Kendall is hereby authorized and directed to execute and file on behalf of Kendall County a Section 5311 Grant Agreement ("Agreement") with the Illinois Department of Transportation, and amend such Agreement, if necessary, in order to obtain grant assistance under the provisions of Section 5311 for fiscal year 2023.

Section 8. That the Kendall County Board Chairman or the County Administrator of Kendall County is authorized to furnish such additional 2023 information as may be required by the Office of intermodal Project Implementation and the Federal Transit Administration in connection with the aforesaid application for said grant.

Section 9. That the Kendall County Board Chairman or the County Administrator of the County of Kendall is hereby authorized to provide such information and to file such documents as may be required to perform the Agreement and to receive the grant for fiscal year 2023.

PRESENTED and ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2022.

Approved:

Attest:

---

Scott R. Gryder  
County Board Chairman

---

Debbie Gillette  
County Clerk and Recorder



**COUNTY OF KENDALL, ILLINOIS**  
**Public Transportation Applicant Ordinance**

**ORDINANCE NUMBER: \_\_\_\_\_**

**AN ORDINANCE TO PROVIDE PUBLIC TRANSPORTATION  
IN KENDALL COUNTY, ILLINOIS**

WHEREAS, public transportation is an essential public purpose for which public funds may be expended under Article 13, Section 7 of the Illinois Constitution; and

WHEREAS, Kendall County wishes to provide public transportation for its citizens and become eligible for grants from the State of Illinois or any department or agency thereof, from any unit of local government, from the Federal government or any department or agency thereof; and

WHEREAS, Illinois Compiled Statutes 740/2-1 et seq. authorizes a county to provide for public transportation within the (county or counties) limits; and

WHEREAS, the Kendall County Board has the authority to delegate certain powers and duties to county officers, and, pursuant to 55 ILCS 5/5-1087, the Kendall County Board may impose additional duties, powers and functions upon county officers; and

**NOW, THEREFORE, BE IT ORDAINED BY THE KENDALL COUNTY  
BOARD CHAIRMAN AND KENDALL COUNTY THAT:**

Section 1. Kendall County shall hereby provide public transportation within the county or counties limits.

Section 2. The Clerk/Secretary to the governing board of Kendall County shall file a certified copy of this Ordinance, within sixty days after passage of this ordinance.

Section 3. This Ordinance shall be in full force and effect from and after its passage and approval, as required by law.

Section 4. That the Kendall County Board Chairman or County Administrator of the County of Kendall is hereby authorized and directed to execute and file on behalf of Kendall County a Grant Application to the Illinois Department of Transportation.

Section 5. That the Kendall County Board Chairman or County Administrator of the County of Kendall is hereby authorized and directed to execute and file on behalf of Kendall County all required Grant Agreements with the Illinois Department of Transportation.

PASSED by the Kendall County Board Chairman and the Kendall County Board on this \_\_\_\_ day of \_\_\_\_\_, and deposited and filed in the Office of the County Clerk on that date.

Elected Board Members: \_\_\_\_\_

Members Present at Vote: \_\_\_\_\_

Members Voting "Aye": \_\_\_\_\_

Members Voting "Nay": \_\_\_\_\_

Members Abstaining: \_\_\_\_\_

Signature of:

Date

\_\_\_\_\_  
Scott R. Gryder, County Board Chairman

Attest:

\_\_\_\_\_  
Debbie Gillette, County Clerk and Recorder



# County of Kendall, Illinois

ORDINANCE NO. \_\_\_\_\_

## **ORDINANCE ABATING THE TAXES LEVIED FOR THE YEAR 2021 PAYABLE 2022 TO PAY DEBT SERVICE ON GENERAL OBLIGATION BONDS (ALTERNATE REVENUE SOURCE) SERIES 2016, 2017, 2019A AND 2019B OF THE COUNTY OF KENDALL, ILLINOIS**

WHEREAS, the County Board (the “*Board*”) of The County of Kendall, Illinois (the “*County*”), by ordinance adopted:

Ordinance 16-05 (the “*Bond Ordinance*”) on the 5<sup>th</sup> day of April, 2016 which did provide for the issuance of not to exceed \$5,210,000 General Obligation Refunding Bonds (Alternate Revenue Source), **Series 2016** (the “*Bonds*”), and the levy of a direct annual tax sufficient to pay debt service on the Bonds; also

Ordinance 17-12 (the “*Bond Ordinance*”) on the 15<sup>th</sup> day of August, 2017 which did provide for the issuance of \$18,000,000 General Obligation Refunding Bonds (Alternate Revenue Source), Series 2017 (the “*Bonds*”) along with Supplemental Ordinance 17-21 (the “*Bond Ordinance*”) on the 3<sup>rd</sup> day of October, 2017 which did provide for the issuance of General Obligation Refunding Bonds (Alternate Revenue Source), **Series 2017** (the “*Bonds*”), and the levy of a direct annual tax sufficient to pay debt service on the Bonds; also

Ordinance 19-20 (the “*Bond Ordinance*”) on the 6<sup>th</sup> day of August, 2019 which did provide for the issuance of \$3,340,000 General Obligation Refunding Bonds (Alternate Revenue Source), **Series 2019A** and the issuance of \$3,020,000 General Obligation Refunding Bonds (Alternate Revenue Source), **Series 2019B** (the “*Bonds*”), and the levy of a direct annual tax sufficient to pay debt service on the Bonds; and

WHEREAS, on:

The 5<sup>th</sup> day of April, 2016, a duly certified copy of Bond Ordinance 16-05 was filed in the office of the County Clerk of the County (the “*County Clerk*”); also

The 3<sup>rd</sup> day of October, 2017, a duly certified copy of Bond Ordinance 17-21 was filed in the office of the County Clerk of the County (the “*County Clerk*”); also

The 6<sup>th</sup> day of August, 2019, a duly certified copy of Bond Ordinance 19-20 was filed in the office of the County Clerk of the County (the “*County Clerk*”); and

WHEREAS, the County has Pledged Revenues (as defined in the Bond Ordinances) available for the purpose of paying debt service on the Bonds heretofore imposed by the 2021 levy; and



WHEREAS, the Pledged Revenues are hereby directed to be deposited into the “Debt Service Fund” established pursuant to the Bond Ordinances for the purpose of paying the debt service on the Bonds; and

WHEREAS, it is necessary and in the best interests of the County that the taxes heretofore levied for the year 2021 payable 2022 to pay the debt service on the Bonds be abated:

NOW, THEREFORE, Be It Ordained by the County Board of The County of Kendall, Illinois, as follows:

*Section 1. Abatement of Tax for the Bonds.* The tax heretofore levied for the year 2021 payable 2022 in Bond Ordinances 16-05 \$1,082,100; 17-21 \$2,027,500 and 19-20 \$1,178,360 shall be abated in its entirety.

*Section 2. Filing of Ordinance.* Forthwith upon the adoption of this ordinance, the Clerk of the Board shall file a certified copy hereof with the County Clerk and it shall be the duty of the County Clerk to abate said taxes levied for the year 2021 payable 2022 in accordance with the provisions hereof.

*Section 3. Effective Date.* This ordinance shall be in full force and effect forthwith upon its adoption.

Adopted this 15<sup>th</sup> day of March, 2022, by roll call vote as follows:

Ayes:

Nays:

Absent:

---

Chairman of the  
County Board of  
County of Kendall, Illinois

ATTEST:

---

County Clerk  
County of Kendall, Illinois

(SEAL)

**COUNTY OF KENDALL**

**RESOLUTION 2022-\_\_\_\_\_**

**RESOLUTION ESTABLISHING THE SALARY FOR  
THE KENDALL COUNTY TREASURER AND COLLECTOR**

WHEREAS, 50 ILCS 145/2 requires the salary of elected officers for local governments to be established at least 180 days prior to the start of their term; and

WHEREAS, 55 ILCS 5/5-1010 requires the County Board to establish the salary of County officers prior to the election of the officers whose salary is being established; and

NOW, THEREFORE, BE IT RESOLVED that the annual salary for the elected Kendall County Treasurer shall be as follows:

Effective December 1, 2022	\$ 108,145
Effective December 1, 2023	\$ 110,848
Effective December 1, 2024	\$ 113,619
Effective December 1, 2025	\$ 116,460

BE IT FURTHER RESOLVED that the County Clerk be directed to transmit copies of this resolution to the Office of the County Treasurer and the County Administrator.

Approved and adopted by the County Board of Kendall County, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Scott R. Gryder, Chairman  
County Board

Attest:

\_\_\_\_\_  
Debbie Gillette  
County Clerk

**COUNTY OF KENDALL**

**RESOLUTION 2022-\_\_\_\_\_**

**RESOLUTION ESTABLISHING THE SALARY FOR  
THE KENDALL COUNTY CLERK AND RECORDER**

WHEREAS, 50 ILCS 145/2 requires the salary of elected officers for local governments to be established at least 180 days prior to the start of their term; and

WHEREAS, 55 ILCS 5/5-1010 requires the County Board to establish the salary of County officers prior to the election of the officers whose salary is being established; and

NOW, THEREFORE, BE IT RESOLVED that the annual salary for the elected Kendall County Clerk and Recorder shall be as follows:

Effective December 1, 2022	\$ 108,145
Effective December 1, 2023	\$ 110,848
Effective December 1, 2024	\$ 113,619
Effective December 1, 2025	\$ 116,460

BE IT FURTHER RESOLVED that the County Clerk be directed to transmit copies of this resolution to the Office of the County Clerk and Recorder and the County Administrator.

Approved and adopted by the County Board of Kendall County, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Scott R. Gryder, Chairman  
County Board

Attest:

\_\_\_\_\_  
Debbie Gillette  
County Clerk

**COUNTY OF KENDALL**

**RESOLUTION 2022-\_\_\_\_\_**

**RESOLUTION ESTABLISHING THE SALARY FOR  
THE KENDALL COUNTY SHERIFF**

WHEREAS, 50 ILCS 145/2 requires the salary of elected officers for local governments to be established at least 180 days prior to the start of their term; and

WHEREAS, 55 ILCS 5/5-1010 requires the County Board to establish the salary of County officers prior to the election of the officers whose salary is being established; and

NOW, THEREFORE, BE IT RESOLVED that the annual salary for the elected Kendall County Sheriff shall be as follows:

Effective December 1, 2022	\$ 135,116
Effective December 1, 2023	\$ 138,493
Effective December 1, 2024	\$ 141,956
Effective December 1, 2025	\$ 145,505

BE IT FURTHER RESOLVED that the County Clerk be directed to transmit copies of this resolution to the Office of the County Sheriff and the County Administrator.

Approved and adopted by the County Board of Kendall County, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Scott R. Gryder, Chairman  
County Board

Attest:

\_\_\_\_\_  
Debbie Gillette  
County Clerk

<b>Kendall County Clerk</b>				
<b>Revenue Report</b>		<b>2/1/22-2/28/22</b>	<b>2/1/21-2/28/21</b>	<b>2/1/20-2/29/20</b>
<b>Line Item</b>	<b>Fund</b>			
CLKFEE	County Clerk Fees	\$793.00	\$1,202.00	\$704.50
MARFEE	County Clerk Fees - Marriage License	\$1,050.00	\$600.00	\$870.00
CIVFEE	County Clerk Fees - Civil Union	\$0.00	\$0.00	\$0.00
ASSUME	County Clerk Fees - Assumed Name	\$60.00	\$45.00	\$45.00
CRTCOP	County Clerk Fees - Certified Copy	\$1,418.00	\$1,090.00	\$1,817.00
NOTARY	County Clerk Fees - Notary	\$175.00	\$440.00	\$235.00
MISINC	County Clerk Fees - Misc	\$65.00	\$125.00	\$75.00
	County Clerk Fees - Misc Total	\$1,718.00	\$1,700.00	\$2,172.00
RECREE	County Clerk Fees - Recording	\$28,097.00	\$40,330.00	\$24,920.00
	Total County Clerk Fees	\$31,658.00	\$43,832.00	\$28,666.50
CTYREV	County Revenue	\$39,289.50	\$46,895.50	\$22,806.50
DCSTOR	Doc Storage	\$16,534.00	\$23,792.00	\$14,573.50
GISMAP	GIS Mapping	\$52,470.00	\$75,300.00	\$46,230.00
GISRCD	GIS Recording	\$3,498.00	\$5,020.00	\$3,082.00
INTRST	Interest	\$28.99	\$77.45	\$17.38
RECMIS	Recorder's Misc	\$4,630.75	\$5,735.25	\$3,478.00
RHSP	RHSP/Housing Surcharge	\$14,274.00	\$21,636.00	\$12,681.00
TAXCRT	Tax Certificate Fee	\$1,160.00	\$1,640.00	\$1,160.00
TAXFEE	Tax Sale Fees	\$510.00	\$645.00	\$1,147.30
PSTFEE	Postage Fees	\$373.83	\$400.14	\$795.50
CK # 19418	To KC Treasurer	\$164,427.07	\$224,973.34	\$134,637.68
Death Certificate Surcharge sent from Clerk's office \$1036.00 ck # 19416				
Dom Viol Fund sent from Clerk's office \$175.00 ck 19417				

# Office of Jill Ferko

Kendall County Treasurer & Collector  
111 W. Fox Street Yorkville, IL 60560

## **Kendall County General Fund**

### QUICK ANALYSIS OF MAJOR REVENUES AND TOTAL EXPENDITURES FOR THREE MONTHS ENDED 02/28/2022

<b><u>REVENUES*</u></b>	<b><u>Annual Budget</u></b>	<b><u>2022 YTD Actual</u></b>	<b><u>2022 YTD% %</u></b>	<b><u>2021 YTD Actual</u></b>	<b><u>2021 YTD %</u></b>
Personal Property Repl. Tax	\$465,000	\$268,421	57.72%	\$80,755	20.71%
State Income Tax	\$2,574,336	\$782,632	30.40%	\$713,880	31.04%
Local Use Tax	\$950,000	\$91,734	9.66%	\$299,608	33.29%
State Sales Tax	\$583,000	\$74,533	12.78%	\$133,880	25.26%
County Clerk Fees	\$350,000	\$79,941	22.84%	\$146,455	45.06%
Circuit Clerk Fees	\$1,250,000	\$192,501	15.40%	\$281,258	23.05%
Fines & Foreits/St Atty.	\$275,000	\$39,931	14.52%	\$58,058	21.11%
Building and Zoning	\$75,000	\$22,940	30.59%	\$16,132	23.72%
Interest Income	\$40,000	\$7,141	17.85%	\$5,232	5.23%
Health Insurance - Empl. Ded.	\$1,588,649	\$268,091	16.88%	\$130,528	8.89%
1/4 Cent Sales Tax	\$3,228,750	\$370,665	11.48%	\$821,675	26.72%
County Real Estate Transf Tax	\$450,000	\$119,142	26.48%	\$132,162	29.37%
Federal Inmate Revenue	\$1,898,000	\$334,560	17.63%	\$533,200	26.09%
Sheriff Fees	\$115,000	\$20,559	17.88%	\$25,039	17.88%
<b>TOTALS</b>	<b>\$13,842,735</b>	<b>\$2,672,790</b>	<b>19.31%</b>	<b>\$3,377,860</b>	<b>25.43%</b>
<b>Public Safety Sales Tax</b>	<b>\$5,512,500</b>	<b>\$678,668</b>	<b>12.31%</b>	<b>\$1,416,470</b>	<b>26.98%</b>
<b>Transportation Sales Tax</b>	<b>\$6,000,000</b>	<b>\$678,668</b>	<b>11.31%</b>	<b>\$1,416,470</b>	<b>26.98%</b>

\*Includes major revenue line items excluding real estate taxes which are to be collected later. To be on Budget after 3 months the revenue and expense should at 25.00%

## **EXPENDITURES**

All General Fund Offices/Categories

<b>\$30,023,573</b>	<b>\$4,651,877</b>	<b>15.49%</b>	<b>\$6,940,314</b>	<b>22.37%</b>
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## Kendall County Circuit Clerk Report

**January Update:** In the month of February, the Circuit Clerks Office is implementing changes to state law, manual of recordkeeping changes, and other changes mandated by the Supreme Court of Illinois. We continue to fill vacancies in the office. With almost 1/2 of the staff being new since 12/1/2020.

		JAN	FEB
AD	Adoption	1	2
CA	Court Administration	1	0
CC	Contempt of Court	2	1
CF	Criminal Felony	54	29
CH	Chancery	1	1
CL	Civil Law Violation	1	0
CM	Criminal Misdemeanor	18	26
CV	Conservation Violation	1	0
DC	Dissolution with Children	22	16
DN	Dissolution without Children	13	6
DT	DUI	24	22
DV	Domestic Violence	18	13
ED	Eminent Domain	0	0
EV	Eviction	24	18
FA	Family	12	24
FC	Foreclosure	12	18
GC	Government Corporation	0	0
GR	Guardianship	9	2
JV	Juvenile	0	0
JA	Juvenile Abuse/Neglect	5	6
JD	Juvenile Delinquency	8	19
LA	Law	6	13
LM	Law Magistrate	24	11
MH	Mental Health	2	1
MR	Misc. Remedy	7	6
MT	Major Traffic	105	104
MX	Misc. Criminal	20	9
OP	Order of Protection	20	33
OV	Ordinance Violation	2	0
PR	Probate	13	6
SC	Small Claims	114	63
TR	Traffic	276	273
TX	Tax	6	6
QC	Quasi-Criminal	0	0
WI	Wills	22	19
XX	Misc	2	1
		<b>845</b>	<b>748</b>
<b>2021 Cases*</b>		<b>683</b>	<b>675</b>

**Office of the Kendall County Coroner**

**Monthly Report  
February 2022**

February 23, 2022 - Chief Deputy Gotte provided orientation for the Oswego Police Department intern.

February 24, 2022 - Chief Deputy Gotte provided mock law enforcement interviews at IVVC.

February 28, 2022 - Coroner Purcell provided a presentation to the Oswego High School Law Enforcement class.

Deaths Report to the M.E.		Deaths Investigations	
February 2022	31	February 2022	10
YTD	77	YTD	21

MEI Scene Investigations		Postmortem Examinations	
February 2022	4	February 2022	0
YTD	11	YTD	5

Manner of Death						
	Natural	Accident	Suicide	Homicide	Indeterminate	Pending
February 2022	29	0	2	0	0	0
YTD	69	1	4	0	0	3

Cremation Permits Issued	
February 2022	19
YTD	43

Case Number	MOD	COD	DOB	DOD	Autopsy	Scene
2022-0047	Natural	Cardiac	04-11-1936	02-01-2022	None	No
2022-0048	Suicide	Asphyxia-Strangulation-Hanging	11-09-1968	02-01-2022	None	Yes
2022-0049	Natural	Pulmonary	10-28-1969	02-02-2022	None	No
2022-0050	Natural	Cardiac	10-12-1936	02-02-2022	None	No
2022-0051	Natural	Neoplasm	08-11-1955	02-02-2022	None	No
2022-0052	Natural	Neoplasm	12-13-1937	02-02-2022	None	No
2022-0053	Natural	Pulmonary	05-30-1945	02-04-2022	None	No
2022-0054	Natural	Neoplasm	09-07-1935	02-05-2022	None	No
2022-0055	Natural	Dementia-Alzheimers	09-08-1928	02-08-2022	None	No
2022-0056	Natural	Dementia-Alzheimers	10-01-1938	02-08-2022	None	No
2022-0057	Natural	Nervous System	02-25-1943	02-09-2022	None	No
2022-0058	Natural	Cardiac	02-26-1935	02-10-2022	None	No
2022-0059	Natural	Cardiac-ASCVD-IHD and Hypertension	02-24-1934	02-11-2022	None	Yes
2022-0060	Natural	Dementia-Alzheimers	12-05-1936	02-12-2022	None	No
2022-0061	Natural	Pulmonary	10-11-1929	02-13-2022	None	No
2022-0062	Natural	Pulmonary-COPD	05-03-1935	02-14-2022	None	No
2022-0063	Natural	Cardiac	10-25-1931	02-17-2022	None	No
2022-0064	Natural	Cardiac	03-15-1932	02-17-2022	None	No
2022-0065	Natural	Nervous System- Stroke	08-25-1947	02-17-2022	None	No
2022-0066	Suicide	Gun-Handgun	01-02-1980	02-18-2022	None	Yes
2022-0067	Natural	Dementia-NOS	07-15-1936	02-21-2022	None	No
2022-0068	Natural	Neoplasm	02-10-1946	02-22-2022	None	No
2022-0069	Natural	Renal Disease	08-01-1929	02-22-2022	None	No
2022-0070	Natural	Neoplasm	03-24-1961	02-23-2022	None	No
2022-0071	Natural	Neoplasm	09-07-1950	02-23-2022	None	No
2022-0072	Natural	Nervous System- Stroke	08-27-1927	02-23-2022	None	No
2022-0073	Natural	Dementia-Alzheimers	03-06-1933	02-24-2022	None	No
2022-0074	Natural	Neoplasm	04-22-1953	02-26-2022	None	No
2022-0075	Natural	Neoplasm	08-04-1933	02-26-2022	None	Yes
2022-0076	Natural	Neoplasm	06-03-1941	02-27-2022	None	No
2022-0077	Natural	Neoplasm	10-27-1952	02-28-2022	None	No



**Kendall County Coroner's Office  
Job Description  
Deputy Coroner (ARPA)**

**Job Title:** Deputy Coroner ( Temporary) **ARPA Funded through December 2024**  
**Status:** FLSA Non-Exempt  
**Office:** Coroner's Office  
**Reports to:** County Coroner, Chief Deputy Coroner  
**Effective Date:** March 15, 2022

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**Position Summary:**

Under the supervision of the Chief Deputy Coroner, perform investigations for deaths occurring within the borders of Kendall County to determine cause and manner of death. Coordinates with organ-donor agencies to facilitate tissue donation. Performs community education and outreach functions on behalf of the office. Works closely with first responders, next-of-kin and others involved in the death investigation process.

**Position Term:**

This position is funded by grant monies Kendall County has received from the American Rescue Plan Act. Such grant funds are currently scheduled to end December 2024. In the event the grant funds are terminated in December 2024 or anytime earlier, this position may be eliminated. This grant funding in no way alters the "at will" employment status of this position.

**Essential Duties and Responsibilities:**

This list of duties and responsibilities is illustrative only, and is not a comprehensive listing of all duties and responsibilities performed by positions in this class.

- Receive notifications of deaths via telephone, SMS messaging and/or other electronic means.
- Conducts death investigations, both by telephone and in person, to determine cause and manner of death.
- Directs the recovery, transportation, and processing of bodies and related evidence.
- Documents circumstances surrounding reported deaths utilizing notes, photographs, measurements, written narratives, or other means as appropriate.
- Performs official identification of decedents in accordance with office policy.
- Performs death notifications to next-of-kin in accordance with office policy.
- Coordinates with organ-donor agencies to facilitate request for organ and tissue donations.
- Orders x-rays, toxicological studies, and autopsies as deemed necessary.
- Makes follow-up investigations of deaths with persons associated with the decedent or allied agencies.

- Obtains and reviews medical histories and records from private physicians or healthcare agencies.
- Testifies in administrative and criminal proceedings.
- Provides public education or other presentations to outside groups or agencies.
- Coordinates community programs involving the Coroner's Office.
- Maintains regular attendance and punctuality.
- All other duties as assigned by the Coroner and/or the Coroner's designees.

### **Supervisory Responsibilities:**

This job has no supervisory responsibilities.

### **Qualifications:**

To perform this job successfully, an individual must be able to perform all essential duties satisfactorily. The requirements listed below are representative of the knowledge, skill and/or ability required for the position.

- **Residency:**
  - Employee must reside within the specified residency boundaries (Appendix A) unless prior waiver has been granted by the Coroner.
- **Education and Experience:**
  - Have reached their 21<sup>st</sup> birthday by the date of hire.
  - High school diploma or general education degree (GED).
  - An associate's degree or completion of 60-semester units from an accredited college or university in medical, law enforcement, legal or related field. This requirement may be substituted by work-related experience on a year-per-year basis.
  - A combination of the following:
    - One year of experience as a full-time (or equivalent part-time experience) Medical Examiner Investigator or Deputy Coroner in a Coroner or Medical Examiner's facility; OR
    - Two years of work experience in a related field.
- **Language Skills:**
  - Ability to read and interpret documents such as governmental regulations, written reports/documents, correspondence, and procedure manuals.
  - Ability to write routine reports and correspondence.
  - Ability to speak effectively with the public and employees, outside entities, law enforcement and fire personnel, and others in both one-on-one and group settings.
  - Ability to communicate effectively in writing and over the phone.
  - Requires good knowledge of the English language, spelling and grammar.
- **Mathematical Skills:**
  - Ability to add, subtract, multiply and divide in all units of measure, using whole numbers, common fractions and decimals.
- **Reasoning Ability:**
  - Ability to apply common sense understanding to carry out instructions furnished in written, oral, or diagram form.
  - Ability to deal with problems involving several concrete variables in standardized situations.

- **Other Skills, Knowledge and Abilities:**
  - Ability to work non-standard hours, such as on-call or on rotating shift to ensure 24/7 coverage (including nights, weekends, and holidays).
  - Ability to take a reasonable amount of on-call time each month, as determined by the Coroner.
  - Ability to establish and maintain cooperative work relationships with a variety of individuals and agencies.
  - Ability to communicate clearly and concisely, both oral and in writing.
  - Ability to concentrate on more than one task at a time, and to make independent decisions.
  - Ability to work under stressful conditions while exercising emotional control.
  - Ability to interact considerately with next-of-kin, witnesses, and others involved in the deaths being investigated
  - Ability to pass a background investigation with no prior convictions of domestic violence, any felony, or crime of moral turpitude.
- **Certificates, Licenses, Registrations:**
  - A valid Illinois Driver's License (by date of hire) and a good driving record.
  - Ability to obtain an Illinois Firearm Owner's Identification (FOID) card.
  - Current registry certification from the American Board of Medicolegal Death Investigators (ABMDI) or ability to obtain certification within 18 months of hire.

#### **Physical Demands:**

- Must frequently be able to sit and stand for extended periods of time.
- Must be able to frequently bend, stoop, stretch, twist, reach, kneel, crawl, squat, climb and balance.
- Must frequently be able to walk and possibly run on uneven ground and rough terrain.
- Must frequently be able to lift, carry, drag or push an average body weight of 100-200 pounds or more, both alone and with assistance.
- Must occasionally be able to climb ladders or stairs, climb up to and down from higher levels using unconventional methods.
- Must be able to use hands and fingers to handle, feel and operate equipment.
- Must be able to talk and hear in person and via use of telephone.
- Specific vision abilities required by this job include close vision, depth perception and distance vision.

#### **Work Environment:**

- While performing assigned job duties, employee may be exposed to catastrophic death scenes, autopsies, or other graphic locations.
- Will be required to work in both indoor and outdoor work areas and may be subjected to all weather elements.
- Will be required to work in all lighting conditions, including but not limited to, daylight and night/low light, with and without artificial light available.
- The noise level in the work environment varies from quiet to noisy.
- May be exposed to dust, fumes, odors, smoke, gases and chemicals.
- May be exposed to blood borne pathogens or other infectious or contagious diseases.



- May be exposed to stressful situations while working with law enforcement, first responders, medical professionals, and the general public, and under emergency circumstances.
- Will be required to operate a motor vehicle to travel to and from work locations.
- Will be required to qualify annually with and carry firearms in accordance to the requirements set forth in 50 ILCS 710 (Peace Officer and Probation Officer Firearm Training Act).
- May be required to provide own transportation to travel to and from meeting, training, conferences, etc.
- Must be able to perform all assigned job duties during normal business hours and outside of normal business hours.

**By signing my name below, I hereby affirm that I received a copy of this job description.**

---

**Employee Receipt Acknowledgement & Signature**

---

**Date**

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**Signature of Supervisor**

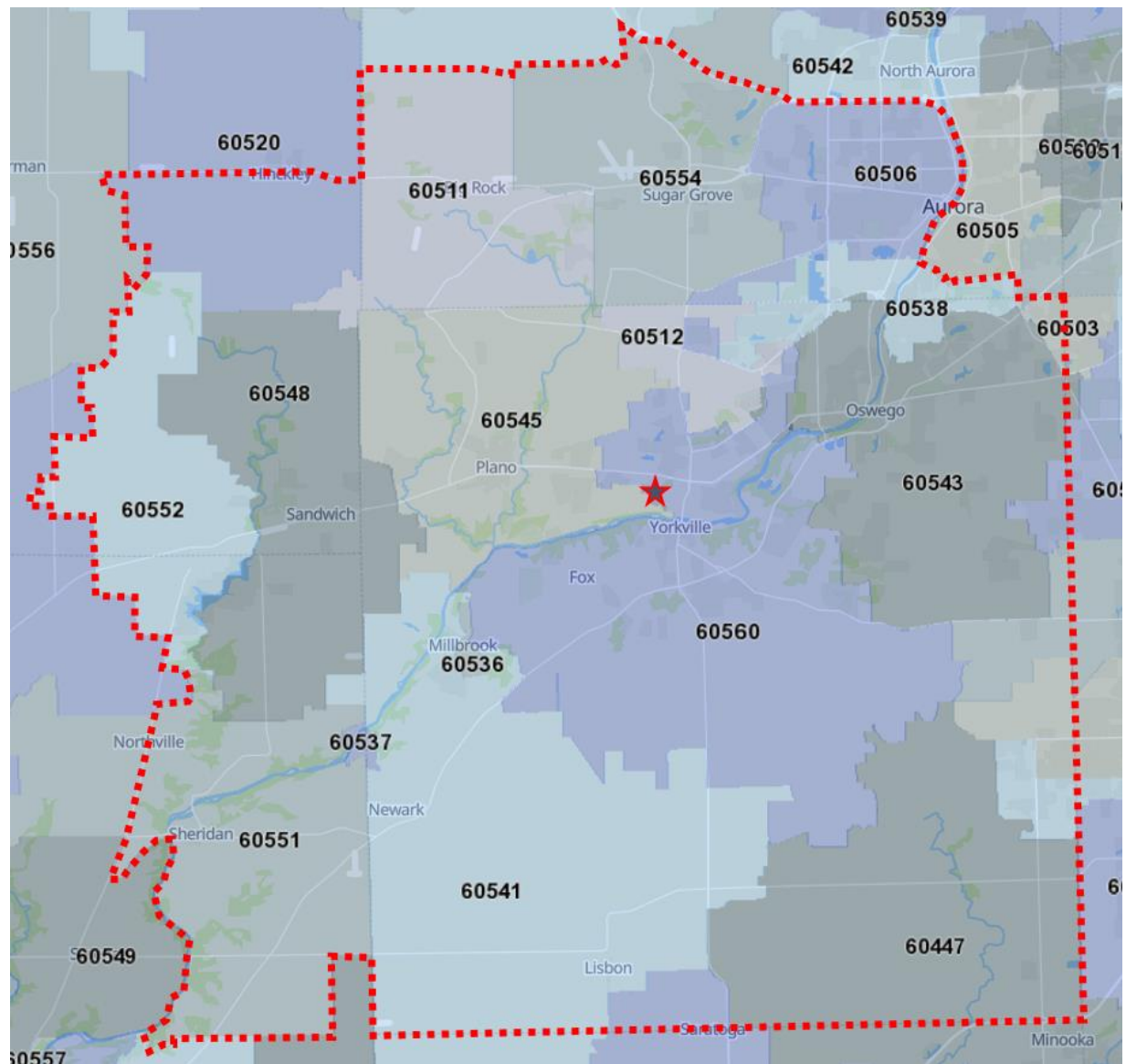
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**Date**

**cc:    personnel file, employee**

## **Appendix A**

### **Residency Boundaries (Field Personnel)**



- **DeKalb County**
  - 60511, 60520 (south of US-30), 60548, 60552
- **Kane County**
  - 60506, 60538, 60554 (south of I-88), 60511
- **Kendall County**
  - All zip Codes
- **LaSalle County**
  - 60548, 60552, 60537, 60551 (east of 2351<sup>st</sup> Rd.)



## **F/T Deputy Coroner (ARPA) Salary Estimate**

Estimation assumes a start date of April 4, 2022 through November 30, 2022 (**FY2022**)

Pay Rate: \$21/Hour + \$35/Call Day (Annual Salary \$40,950 + \$4,200 (est.) Call Pay = \$45,150 Annual Compensation)

Hours: 7.5/Day | 37.5/Week | 1,297.5/Remaining in FY (34 Weeks & 3 Days)

- Salary Estimate
  - $\$27,247.5$  (Regular Hourly) +  $\$2,800$  (Call @ 10 days /month x 8 months) =  $\$30,047.50$
- IMRF
  - $30,047.50 \times .0697 = \$2,094.31$
- FICA
  - $30,047.50 \times .0765 = \$2,298.63$
- Insurance Cost (Worst Case - BCBS HSA \$1500 Family + Family Dental)
  - $1742.78 \times 8 \text{ months} = 13,942.24$
  - $76.75 \times 8 \text{ months} = \$614.00$
- Estimated Employer Cost (**FY2022**)
  - |                    |                   |
|--------------------|-------------------|
| \$30,047.50        | Pay               |
| \$ 2,094.31        | IMRF              |
| \$ 2,298.63        | FICA              |
| \$13,942.24        | Health Insurance  |
| + \$ 614.00        | Dental Insurance  |
| <b>\$48,996.68</b> | <b>Total Cost</b> |

# KENDALL COUNTY *Facilities Management*

*Inter-Office Correspondence*



March 9, 2022

Finance Meeting

Historic Courthouse Windows

Details:

Over the years, we have been replacing the windows at the Historic Courthouse.

For the Capital Project Year 2022 I budgeted \$96,475.00 to replace the remaining four windows that require a lift to install. In the bid, I asked for unit pricing so if the pricing came in more than budget we could still replace at least three of the windows as we have been doing for the past several years.

Bid results had only one bid from the contractor that has been installing windows over the years. Total bid for the four windows came in at \$126,000.00 or \$31,500.00 per window.

Reviewing the results with FM Committee members, we would like to acquire the additional funds to do all four windows this year. So we would need an additional \$30,000.00 for this project. By doing all four windows this year, we would not need to have a lift for the one remaining window on the upper floor if done in 2023. In addition, the need to budget an additional \$35,000.00 in the 2023 budget to replace the remaining upper floor window would not be needed to be done.

In addition to this, we would like to request to be able to replace the three remaining old style wood frame windows on the lower level North side of the facility. The cost to replace those windows is \$6,300.00. To do this we could put off painting the upper area soffits until 2023. The approved budget for painting the soffits is \$15,000.00.

If approved this would complete the window replacements of the old style windows in the facility. The rest of the windows are a more modern style that can be replaced as needed.

Summary

Project	Approved Budget	Cost	Funds Needed
Replace 4 Upper Windows	\$96,475.00	\$126,000.00	\$29,525.00
Replace 3 Lower Level Windows			\$6,300.00

  
James K. Smiley  
KCFM Director