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**KENDALL COUNTY**  
**PLANNING, BUILDING & ZONING COMMITTEE MEETING**  
111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560  
(630) 553-4141 Fax (630) 553-4179  
**AGENDA REVISED 5/6/2022**

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Monday, May 9, 2022 – 5:00 p.m.

CALL TO ORDER:

ROLL CALL: Elizabeth Flowers, Scott Gengler (Chairman), Judy Gilmour (Vice-Chair), Dan Koukol, and Robyn Vickers

APPROVAL OF AGENDA:

APPROVAL OF MINUTES: Approval of Minutes from April 11, 2022, Meeting (Pages 3-11)

PUBLIC COMMENT:

EXPENDITURE REPORT: Review of Expenditures from the Prior Month (Pages 12-15)

PETITION:

1. **Petition 22 – 09 – Kendall County Regional Planning Commission (Pages 16-40)**  
Request: Amendments to the Future Land Use Map in the Kendall County Land Resource Management Plan by Reclassifying the Subject Properties from Rural Residential to Mixed Use Business  
PINs: 04-02-400-002, 04-02-400-003, and 04-01-301-005 (South of the Railroad Tracks Only)  
Location: North and Southwest of 12565 Fox Road in Fox Township  
Purpose: Petitioner Wants to Expand the Mixed Use Business Area North to the Railroad Tracks

NEW BUSINESS:

1. Approval to Schedule a Second Planning, Building and Zoning Committee Meeting During the Month of May 2022
2. Approval of a Request by John and Laura Gay for an Extension to the Requirement to Install Vegetation and Berms as Required by Condition 2.B of Ordinance 2022-09 at 3601 Plainfield Road (PIN: 03-28-100-004) in Oswego Township (Pages 41-65)
3. Approval of a Request by Robert Velazquez for an Extension to the Requirement to Install Landscaping and Fencing as Required by Condition 2.J of Ordinance 2021-23 at 10744 Route 47 (PIN: 05-28-400-002) in Kendall Township (Pages 66-97)
4. Approval of a Request by James and Denise Maffeo for the Extension to the Requirement to Install Landscaping and Fencing as Required by Condition 4.B of Ordinance 2020-14 and Condition 2 of the Minor Amendment to an Existing Special Use Permit Granted on September 13, 2021 at 14339 County Line Road (PIN: 09-13-200-014) in Seward Township (Pages 98-123)

5. Approval to Authorize WBK Engineering, LLC to Investigate a Drainage Issue at 7405 Audrey Avenue (PIN: 05-02-201-006) in Kendall Township at an Amount not to Exceed \$2,200; Related Invoices to be Paid from the PBZ Consultant's Line Item 11001902-63630 (Pages 124-129)
6. Recommendation on Annual Facility Inspection Report for NPDES Permit for Stormwater Discharges from Separate Storm Sewer Systems (MS4) (Pages 130-160)
7. Discussion of Intergovernmental Agreement between Kendall County and Village of Plattville for Zoning Ordinance, Building Code, Stormwater Management Ordinance, and Subdivision Control Ordinance Enforcement within the Village of Plattville; Committee Could Amend Existing Agreement; Committee Could Approve a Recommendation Regarding the Agreement (Pages 161-172)
8. Recommendation on Authorizing the County Board Chairman to Sign and Submit an Illinois Grant Accountability and Transparency Notice of State Award for a Certified Local Government Grant for an Historic Structure Survey in Unincorporated Kendall and Bristol Townships; Grant Amount is \$29,750 and County's Match is \$12,750 for a Total Project Cost of \$42,500 (Pages 173-178)
9. Discussion of Plumbing Inspection Contract; Committee Could Forward the Contract to the State's Attorney's Office for Review (Pages 179-189)
10. Approval of a Certified Local Government Grant for an Historic Structure Survey in Unincorporated Kendall and Bristol Townships; Grant Amount is \$29,750 and County's Match is \$12,750 for a Total Project Cost of \$42,500; Committee Could Refer the Matter to the State's Attorney's Office

OLD BUSINESS:

1. Update on Violations to the Building Code (Driveway and Parking Pad Installed Without a Permit), Violation of the Zoning Ordinance (Operating a Landscaping Business on A-1 Zoned Property Without a Special Use Permit), and Violations to the Kendall County Junk and Debris Ordinance at 1038 Harvey Road (PINs 03-12-100-004 and 03-12-100-013) in Oswego Township; Committee Could Direct Staff to Issue New, Additional Citations (Pages 190-199)
2. Update on Right-of-Way Dedication as Required by Condition 6 of Ordinance 2005-37 at 5681 Whitewillow Road (PIN: 09-31-100-005) in Seward Township (Pages 200-204)
3. Discussion of Intergovernmental Agreements with Townships Regarding Additional Code Enforcement (Pages 205-223)
4. Discussion of Having a Planning, Building and Zoning Committee Meeting in Boulder Hill in the Summer of 2022
5. Update on Requiring Applicants to the Kendall County Planning, Building and Zoning Department to be Debt Free or Current on an Approved Payment Plan to the County at the Time of Application Submittal; Committee Could Approve a Policy on This Matter (Page 224)

REVIEW VIOLATION REPORT (Pages 225-227):

REVIEW NON-VIOLATION REPORT (Page 228):

UPDATE FROM HISTORIC PRESERVATION COMMISSION:

REVIEW PERMIT REPORT (Pages 229-241):

REVIEW REVENUE REPORT (Page 242):

CORRESPONDENCE:

COMMENTS FROM THE PRESS:

EXECUTIVE SESSION:

ADJOURNMENT:

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

**KENDALL COUNTY PLANNING, BUILDING & ZONING COMMITTEE**

*Kendall County Office Building*

*Rooms 209 and 210*

*111 W. Fox Street, Yorkville, Illinois*

**6:30 p.m.**

**Meeting Minutes of April 11, 2022 – Unofficial until Approved**

**CALL TO ORDER**

The meeting was called to order by Chairman Gengler at 6:30 p.m.

**ROLL CALL**

Committee Members Present: Scott Gengler (Chairman), Judy Gilmour (Vice-Chairwoman), Dan Koukol (Arrived at 6:31 p.m.), and Robyn Vickers

Committee Members Absent: Elizabeth Flowers

Also Present: Matt Asselmeier (Senior Planner), Dan Kramer, Brian Watkins, Judd Lofchie, Miguel Angel Fernandez, and Jose Martinez

**APPROVAL OF AGENDA**

Member Gilmour made a motion, seconded by Member Vickers, to approve the agenda as presented. With a voice vote of three (3) ayes, the motion carried.

**APPROVAL OF MINUTES**

Member Vickers made a motion, seconded by Member Gilmour to approve the minutes of the March 7, 2022, meeting.

Member Koukol arrived at this time (6:31 p.m.).

With a voice vote of four (4) ayes, the motion carried.

**PUBLIC COMMENT**

None

**EXPENDITURE REPORT**

The Committee reviewed the expenditure report from March 2022.

**PETITIONS**

Petition 22-08 Jonathan A. Bieritz on Behalf of JB Architecture Group, Inc. and Eric and Lisa Weires (Property Owners)

Mr. Asselmeier summarized the request.

A five foot (5') public utility and drainage easement exists on the east and west lot lines of Lots 12 and 13 in the Grove Estates Subdivision (7327 and 7301 Fitkins Drive, Oswego) in Na-Au-Say Township.

Eric and Lisa Weires would like to merge the two (2) lots and construct a new house over the easements.

The application materials and the plat of vacation were provided.

The properties were approximately one point five (1.5) acres and the vacation area was approximately five hundredths (0.05) of an acre.

The property was zoned RPD-2 and was wooded.

Fitkins Drive is a local road maintained by Na-Au-Say Township.

There were no trails, floodplains, or wetlands on the property.

The adjacent land uses are wooded lots.

The adjacent properties were zoned RPD-2.

The Future Land Use Map calls for the area to be Rural Residential (max 0.65 du/acre).

The zoning districts within one half (1/2) mile are A-1 and RPD-2.

Na-Au-Say Township was emailed information on March 22, 2022.

The Village of Oswego was emailed information on March 22, 2022.

The Oswego Fire Protection District was emailed information on March 22, 2022. Mr. Asselmeier read an email from the Oswego Fire Protection District expressing no objections to the request.

ZPAC reviewed the proposal at their meeting on April 5, 2022. It was clarified that no existing utilities were located inside the easements. ZPAC recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with four (4) members absent. The minutes of the meeting were provided.

Staff requested that the Petitioners provide information stating that none of the utilities were in opposition to the request. The Petitioners provided emails from Comcast and Comed stating these utilities had no opposition to the requested vacation. These emails were provided.

The homeowners' association submitted an email, which was provided, stating they were not in opposition to this request.

WBK Engineering submitted a letter expressing no objections to the request. This letter was provided.

Staff recommended approval of the requested vacation with the following conditions:

1. Lots 12 and 13 of Grove Estates Subdivision shall not be sold as individual lots upon the successful recording of the plat of vacation. Within ninety (90) days of the effective date of this ordinance, the Petitioners shall submit a parcel consolidation request to Kendall County.
2. This vacation shall become effective upon the successful recording of the plat of vacation in the timeframe outlined in Section 7.06.H of the Kendall County Subdivision Control Ordinance unless an extension is granted by the Kendall County Board.

Member Koukol made motion, seconded by Member Gilmour, to recommend approval of the proposal.

With a voice vote of four (4) ayes, the motion carried.

The proposal goes to the County Board on April 19, 2022, on the consent agenda.

### **NEW BUSINESS**

Request from Lee Legler Construction & Electric, Inc. and Sherry and Sean Smith for a Refund of an Unused Building Permit for a Generator in the Amount of One Hundred Ten Dollars (\$110) at 6217 Legacy Circle, Yorkville (PIN: 05-12-277-007) in Kendall Township

Mr. Asselmeier summarized the request. The property owner did not want to install the generator and the County had not expended any funds on this project.

Member Gilmour made motion, seconded by Member Vickers, to approve the refund.

With a voice vote of four (4) ayes, the motion carried.

Request from Brian Watkins on Behalf of Peaceful Pathways Montessori School for an Extension of the Requirement Contained in Condition 2 of Ordinance 2014-21 for Paving the Gravel Driveway at 8250 Route 71, Yorkville (PIN: 05-03-200-027) in Kendall Township

Mr. Asselmeier provided an email from Attorney Dan Kramer requesting an extension.

Brian Watkins stated that he thought the requirement had not been included in the special use permit. He was agreeable to paving the handicapped parking space during the summer of 2022.

Attorney Dan Kramer discussed the finances of the organization and suggested giving the Petitioner one (1) year to pave the handicapped space and decide whether or not to pursue an amendment to the special use permit.

Member Koukol made motion, seconded by Member Gilmour, to approve granting an extension until April 30, 2023.

With a voice vote of four (4) ayes, the motion carried.

Request for Guidance Regarding Violations to the Building Code (Driveway and Parking Pad Installed Without a Permit), Violation of the Zoning Ordinance (Operating a Landscaping Business on A-1 Zoned Property Without a Special Use Permit), and Violations to the Kendall County Junk and Debris Ordinance at 1038 Harvey Road (PINs 03-12-100-004 and 03-12-100-013) in Oswego Township; Committee Could Direct Staff to Issue New, Additional Citations

Mr. Asselmeier summarized the request.

On January 13, 2020, after a several month long investigation, the Planning, Building and Zoning Committee voted to forward alleged violations of various ordinances that occurred at the subject property to the Kendall County State's Attorney's Office for prosecution. Thirteen (13) months later in February 2021, the court fined the property owners Thirty-Two Thousand Dollars (\$32,000). Since that time, collection of the fines has not occurred because the property owners filed a motion to vacate the fine and the court was conducting a discovery of assets to determine if the property owners had the means to pay the fines.

The County was also hoping that the property owners would submit the necessary applications for a special use permit and variances at the subject property. On December 9, 2021, the

necessary applications were completed and submitted to the County. The application requested a special use permit for a landscaping business, a variance to allow a driveway within five feet (5') of the southern property line, and a variance to allow a landscaping business on a non-State, County, or Collector Road as identified in the Kendall County Land Resource Management Plan.

In January 2022, the Kendall County Regional Planning Commission did not have a quorum at their meeting. In February 2022, the Kendall County Regional Planning Commission requested the property owners submit either approval of the access location of the southern driveway from the Village of Oswego or a plat of survey showing the access point and southern driveway were at least five feet (5') north of the southern property line. The Village of Oswego was the access permitting authority for this portion of Harvey Road. Neither the Petitioners nor their Attorney attended the March Kendall County Regional Planning Commission meeting and the item remained tabled.

On April 1, 2022, the Planning, Building and Zoning Department inspected the subject property; related pictures were provided. The property owners appear to be operating a landscaping business, junk and debris appears visible, and new gravel appears on the driveway. No permit was obtained to install the driveway.

The property owners have applied for and received a permit for the existing deck around their swimming pool and they moved two (2) accessory structures out of the required setback on the northern portion of the property.

Information related to the special use permit and variance applications can be found here, <https://www.co.kendall.il.us/home/showpublisheddocument/22267/637842239153300000>.

In light of the Planning, Building and Zoning Department's Policy for Code Enforcement in Cases Where Applicants Are Pursuing Legislative and Administrative Remedies dated January 25, 2022, the Department requests guidance on how to proceed with this matter. In particular, the Department requests guidance on the following:

1. Should new, additional citations be issued at this property for illegal operation of a landscaping business without a special use permit, illegal placement of a driveway and parking pad without a permit, and junk and debris violations.
2. If the new, additional citations are issued, should the Department give the property owner a thirty (30) day warning notice to remedy the issues.

Attorney Judd Lofchie explained that the property owners originally hired a different attorney. They thought their original attorney was handling the situation. The property owners were attempting to get into compliance by securing the applicable special use permit, variances, permits, and moving structures out of the setback.

Discussion occurred regarding the size of the property.

Discussion occurred regarding the location of the southern driveway in relation to the southern property line.

Discussion occurred regarding the County's special use permit and variance procedures. Assuming no other delays occurred, the proposal would be back at Planning, Building and Zoning Committee on May 9, 2022.

The consensus of the Committee was not to pursue new, additional violations related to the special use permit or driveway at this time.

Chairman Gengler made motion, seconded by Member Gilmour, to require the property owners to cleanup and organize the junk and debris on the property within ten (10) days from April 12, 2022. With a voice vote of four (4) ayes, the motion carried.

**OLD BUSINESS**

None

**REVIEW VIOLATION REPORT**

The Committee reviewed the violation report.

**REVIEW NON-VIOLATION REPORT**

The Committee reviewed the non-violation report.

**UPDATE FOR HISTORIC PRESERVATION COMMISSION**

*Recommendation for a Proclamation Declaring May Historic Preservation Month in Kendall County*  
Mr. Asselmeier provided a proposed proclamation. He noted that the Historic Preservation Commission had not yet reviewed the proclamation.

The proposal goes to the Historic Preservation Commission on April 18, 2022.

**REVIEW PERMIT REPORT**

The Committee reviewed the report.

**REVIEW REVENUE REPORT**

The Committee reviewed the report.

**CORRESPONDENCE**

None

**COMMENTS FROM THE PRESS**

None

**EXECUTIVE SESSION**

Member Vickers made a motion, seconded by Member Koukol, to enter into executive session for the purposes of reviewing minutes of meetings lawfully closed under the Illinois Open Meetings Act (5 ILCS 120/2(c)(21)).

The votes were as follows:

Yeas (4): Gengler, Gilmour, Koukol, and Vickers

Nays (0): None

Abstain (0): None

Absent (1): Flowers

The motion carried.

The Committee recessed at 7:51 p.m.

Chairman Gengler called the Committee back to order at 7:53 p.m.

**ROLL CALL**

Committee Members Present: Scott Gengler (Chairman), Judy Gilmour (Vice-Chairwoman), Dan Koukol, and Robyn Vickers

Committee Members Absent: Elizabeth Flowers

Also Present: Matt Asselmeier (Senior Planner)

**NEW BUSINESS**

Approval to Release Executive Session Minutes of April 11, 2022

Member Vickers made a motion, seconded by Member Gilmour, to recommend approval of the release of the Executive Session Minutes of April 11, 2022.

With a voice vote of four (4) ayes, the motion carried.

The proposal goes to the County Board on April 19, 2022, on the consent agenda.

**ADJOURNMENT**

Member Vickers made a motion, seconded by Member Gilmour, to adjourn. With a voice vote of four (4) ayes, the motion carried.

Chairman Gengler adjourned the meeting at 7:54 p.m.

Minutes prepared by Matthew H. Asselmeier, AICP, CFM Senior Planner

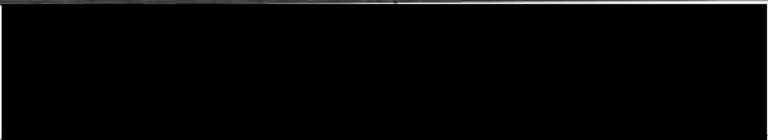
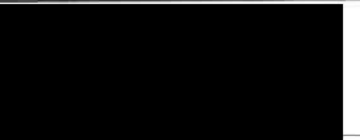
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**KENDALL COUNTY  
PLANNING, BUILDING, & ZONING COMMITTEE  
APRIL 11, 2022**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
Jodd Lafchie		

## Matt Asselmeier

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**From:** Alec Keenum <akeenum@oswegofire.com>  
**Sent:** Tuesday, April 5, 2022 2:34 PM  
**To:** Matt Asselmeier  
**Subject:** [External]RE: Kendall County Zoning Petition 22-08

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Matt,

The Oswego Fire Protection has no questions or comments regarding this petition.

Regards,

Capt. Alec J Keenum  
Fire Marshal  
Oswego Fire Protection District

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**From:** Matt Asselmeier <masselmeier@co.kendall.il.us>  
**Sent:** Tuesday, April 5, 2022 1:36 PM  
**To:** Alec Keenum <akeenum@oswegofire.com>; FireChief <firechief@oswegofire.com>; Rod Zinner <rzenner@oswegoil.org> <rzenner@oswegoil.org>; Brad Blocker <bblocker@currancontracting.com> <bblocker@currancontracting.com>; Rebecca Wheeler <r\_wheeler03@hotmail.com> <r\_wheeler03@hotmail.com>; Pam Wynne <pswynne626@gmail.com>; ttouchette@oswegoil.org  
**Cc:** Scott Koeppel <skoeppel@co.kendall.il.us>; Scott Gengler <sgengler@co.kendall.il.us>  
**Subject:** Kendall County Zoning Petition 22-08

To All:

The Kendall County Planning, Building and Zoning Committee will meet on Monday, April 11, 2022, at 6:30 a.m., in the County Boardroom, at 111 W. Fox Street, Yorkville, to review the following Petition.

- Petition 22 – 08 – Jonathan A. Bieritz on Behalf of JB Architecture Group, Inc. and Eric and Lisa Weires (Property Owners)**  
**Request:** Plat of Vacation of the Five Foot Drainage and Utility Easements Located on East Property Line of Lot 12 and the West Property Line of 13 in Grove Estates Subdivision  
**PINs:** 06-08-150-001 and 06-08-150-002  
**Location:** 7327 and 7301 Fitkins Drive, Oswego in Na-Au-Say Township  
**Purpose:** Petitioners Want to Construct a House Over the Easements; Property is Zoned RPD-2

Petition information is attached.

If you have any questions or comments regarding this Petition, please let me know.

Thanks,

**KENDALL COUNTY PLANNING, BUILDING & ZONING COMMITTEE**  
***Kendall County Kendall County Office Building***  
***Rooms 209 & 210***  
***111 W. Fox Street, Yorkville, Illinois***  
**6:30 p.m.**  
**Executive Session Minutes of April 11, 2022**

**CALL TO ORDER**

The executive session was called to order by Chairman Scott Gengler at 7:52 p.m.

**ROLL CALL**

Committee Members Present: Scott Gengler (Chairman), Judy Gilmour (Vice-Chairwoman), Dan Koukol, and Robyn Vickers

Committee Members Absent: Elizabeth Flowers

Also Present: Matt Asselmeier (Senior Planner)

The purpose of this executive session was to review minutes of meetings lawfully closed under the Illinois Open Meetings Act (5 ILCS 120/2(c)(21)).

The Committee reviewed the minutes from the following meetings:

December 19, 2016

August 7, 2017

The consensus of the Committee was to release the minutes of April 11, 2022. The other minutes shall remain confidential for personnel reasons.

Motion by Member Vickers, seconded by Member Gilmour, to adjourn executive session.

The votes were as follows:

Yeas (4): Gengler, Gilmour, Koukol, and Vickers

Nays (0): None

Abstain (0): None

Absent (1): Flowers

Chairman Gengler adjourned the executive session at 7:53 p.m.

Minutes prepared by Matthew H. Asselmeier, AICP, CFM Senior Planner



CLERK: pherber BATCH: 2409 INVOICE PO NEW INVOICES  
 CHECK RUN NET AMOUNT EXCEEDS PO BY PO BALANCE CHK/WIRE

PENDING UNPAID INVOICES

1153 00000 KENDALL CO HIGHW MARCH 2022 041522 203.92 .00 .00 203.92 1099:  
 CASH 000008 2022/05 INV 04/07/2022 SEP-CHK: N DISC: .00  
 ACCT 1Y210 DEPT 19 DUE 04/07/2022 DESC:PBZ TRUCK FUEL  
 CONDITIONS THAT PREVENT POSTING INVOICE 1153/26649

\* Invoice must be approved or voided to post.  
 1165 00000 KENDALL COUNTRY R 338 041522 201.00 .00 .00 201.00 1099:  
 CASH 000008 2022/05 INV 04/07/2022 SEP-CHK: N DISC: .00  
 ACCT 1Y210 DEPT 19 DUE 04/07/2022 DESC:MARCH 2022 RECORDINGS  
 CONDITIONS THAT PREVENT POSTING INVOICE 1165/26646

\* Invoice must be approved or voided to post.  
 1665 00000 SHAW MEDIA 032210101009 041522 120.90 .00 .00 120.90 1099:  
 CASH 000008 2022/05 INV 04/07/2022 SEP-CHK: N DISC: .00  
 ACCT 1Y210 DEPT 19 DUE 04/07/2022 DESC:PETITION #22-06 LEGAL  
 CONDITIONS THAT PREVENT POSTING INVOICE 1665/26652

\* Invoice must be approved or voided to post.  
 1665 00000 SHAW MEDIA LEGAL 1971121 041522 124.62 .00 .00 124.62 1099:  
 CASH 000008 2022/05 INV 04/07/2022 SEP-CHK: N DISC: .00  
 ACCT 1Y210 DEPT 19 DUE 04/07/2022 DESC:PET# 22-09 LEGAL  
 CONDITIONS THAT PREVENT POSTING INVOICE 1665/26654

\* Invoice must be approved or voided to post.  
 1849 00001 VERIZON 9902310684 041522 25.04 .00 .00 25.04 1099:  
 CASH 000008 2022/05 INV 04/07/2022 SEP-CHK: N DISC: .00  
 ACCT 1Y210 DEPT 19 DUE 04/07/2022 DESC:ZONING CELL PHONE  
 CONDITIONS THAT PREVENT POSTING INVOICE 1849/26647

\* Invoice must be approved or voided to post.  
 11001902 62070  
 CVD19 -PBZ -EQUIP -

04/07/2022 08:36 | Kendall County  
 pherber | PBZ 04072022

1P  
 | apravent  
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CLERK: pherber BATCH: 2409 INVOICE NEW INVOICES  
 VENDOR REMIT NAME PO CHECK RUN NET AMOUNT EXCEEDS PO BY PO BALANCE CHK/WIRE

1849 00001 VERIZON 9902310684 1 041522 84.58 .00 .00  
 CASH 000008 2022/05 INV 04/07/2022 SEP-CHK: N DISC: .00  
 ACCT 1Y210 DEPT 19 DUE 04/07/2022 DESC:PBZ CELLPHONES  
 CONDITIONS THAT PREVENT POSTING INVOICE 1849/26648  
 \* Invoice must be approved or voided to post.

1928 00000 WBK ENGINEERING, 22917 041522 645.00 .00 .00  
 CASH 000008 2022/05 INV 04/07/2022 SEP-CHK: N DISC: .00  
 ACCT 1Y210 DEPT 19 DUE 04/07/2022 DESC:REVIEW SERVICES 1-31 TO 3-26-2022  
 CONDITIONS THAT PREVENT POSTING INVOICE 1928/26650  
 \* Invoice must be approved or voided to post.

1928 00000 WBK ENGINEERING, 22931 041522 537.50 .00 .00  
 CASH 000008 2022/05 INV 04/07/2022 SEP-CHK: N DISC: .00  
 ACCT 1Y210 DEPT 19 DUE 04/07/2022 DESC:Plastics Building Addition  
 CONDITIONS THAT PREVENT POSTING INVOICE 1928/26651  
 \* Invoice must be approved or voided to post.

1969 00000 RANDY ERICKSON MARCH 2022 041522 2,400.00 .00 .00  
 CASH 000008 2022/05 INV 04/07/2022 SEP-CHK: N DISC: .00  
 ACCT 1Y210 DEPT 19 DUE 04/07/2022 DESC:MARCH 2022 PLUMBING INSPECTIONS  
 CONDITIONS THAT PREVENT POSTING INVOICE 1969/26645  
 \* Invoice must be approved or voided to post.

9 PENDING UNPAID INVOICES TOTAL 4,342.56  
 0 INVOICE(S) REPORT POST TOTAL .00  
 REPORT TOTALS .00



CLERK: pherber BATCH: 2451 NEW INVOICES  
 VENDOR REMIT NAME INVOICE PO CHECK RUN NET AMOUNT EXCEEDS PO BY PO BALANCE CHK/WIRE

PENDING UNPAID INVOICES

1241 00000 LEE LEGLER CONST BP#23-2022-027 043022 110.00 .00 .00  
 CASH 000008 2022/05 INV 04/25/2022 SEP-CHK: N DISC: .00 11001902 63850 110.00 1099:  
 ACCT 1Y210 DEPT 19 DUE 04/25/2022 DESC:PERMIT REFUND - SMITH

CONDITIONS THAT PREVENT POSTING INVOICE 1241/27224

\* Invoice must be approved or voided to post.

1508 00000 PARADISE CAR WAS 224474 043022 27.00 .00 .00  
 CASH 000008 2022/05 INV 04/25/2022 SEP-CHK: N DISC: .00 11001902 62170 27.00 1099:  
 ACCT 1Y210 DEPT 19 DUE 04/25/2022 DESC:PBZ TRUCK WASH

CONDITIONS THAT PREVENT POSTING INVOICE 1508/27226

\* Invoice must be approved or voided to post.

2063 00000 RUNCO OFFICE SUP 864712 043022 104.47 .00 .00  
 CASH 000008 2022/05 INV 04/25/2022 SEP-CHK: N DISC: .00 11001902 62000 104.47 1099:  
 ACCT 1Y210 DEPT 19 DUE 04/25/2022 DESC:OFFICE SUPPLIES

CONDITIONS THAT PREVENT POSTING INVOICE 2063/27225

\* Invoice must be approved or voided to post.

0 INVOICE(S)	REPORT POST TOTAL	REPORT TOTALS
3 PENDING UNPAID INVOICES	TOTAL	241.47
	REPORT POST TOTAL	.00
	REPORT TOTALS	.00

04/26/2022 10:28  
pherber

Kendall County  
PBZ PIMBG INSPECTIONS 04262022

1  
apinvent



CLERK: pherber BATCH: 2468 INVOICE PO CHECK RUN NET AMOUNT EXCEEDS PO BY PO BALANCE CHK/WIRE

PENDING UNPAID INVOICES

1969 00000 RANDY ERICKSON April 2022 043022 900.00 .00 .00  
CASH 000008 2022/05 INV 04/26/2022 SEP-CHK: N DISC: .00  
ACCT 1X210 / DEPT 19 DUE 04/26/2022 DESC:APRIL 2022 PLUMBING INSPECTIONS 11001902 63610 900.00 1099.7  
CONDITIONS THAT PREVENT POSTING INVOICE 1969/27322

\* Invoice must be approved or voided to post.

1 PENDING UNPAID INVOICES TOTAL 900.00

0 INVOICE(S) REPORT POST TOTAL .00

REPORT TOTALS .00



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## DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

### MEMORANDUM

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**To:** Kendall County Planning, Building and Zoning Committee

**From:** Matthew H. Asselmeier, AICP, CFM Senior Planner

**Date:** 5/3/2022

**Subject:** Potential Changes to the Future Land Use Map Along the Eldamain Road Corridor

In October 2020, the Kendall County Comprehensive Land Plan and Ordinance Committee initiated discussions regarding changing the Future Land Use Map for properties located along the Eldamain Road Corridor south of the Fox River, in light of the funding for the Eldamain Road Bridge and the abandonment of the centerline for the Prairie Parkway. In particular, the Committee discussed possible commercial and/or manufacturing investment in this area.

The Kendall County Future Land Use Map currently calls for this area to be Rural Residential (Max Density 0.65 DU/Acre) and Mixed Use Business. A copy of the existing Future Land Use Map is attached.

The Yorkville Future Land Use Map currently calls for this area to be Estate Residential. The Millbrook Future Land Use Map currently calls for this area to be Business Park Office and Commercial with Industrial near the former Prairie Parkway alignment. The Plano Future Land Use Map currently calls for the area in their planning jurisdiction to be Estate Residential (0-0.8 DU/Acre). Copies of all of the Future Land Use Maps for this area are attached.

Following meetings with property owners in the area in October and December 2021, the Committee decided to limit changes to three (3) properties along the railroad tracks west of Fox Road. Letters to impacted property owners were mailed in mid-December 2021, mid-February 2022, and mid-March 2022.

At their meeting on February 23, 2022, the Comprehensive Land and Ordinance Committee voted to forward the proposal to the Kendall County Regional Planning Commission.

At their meeting on March 24, 2022, the Kendall County Regional Planning Commission voted to initiate the amendment to the Future Land Use Map.

A copy of the updated map is attached.

Petition information will be sent to Fox Township, the Village of Millbrook, and the United City of Yorkville on March 29, 2022. Yorkville will be reviewing this proposal in May and June.

ZPAC reviewed the proposal at their meeting on April 5, 2022. Mr. Klaas felt that no commercial or industrial development would occur on the subject properties unless they were annexed into a municipality. Discussion also occurred regarding the boundary agreements of the municipalities in the area. ZPAC recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with four (4) members absent. The minutes of the meeting are attached.

The Kendall County Regional Planning Commission held a public hearing on this proposal on April 27, 2022. No members of the public testified at the public hearing. The Kendall County Regional Planning Commission recommended approval of the proposal by a vote of seven (7) in favor and zero (0) in opposition with two (2) members absent. The minutes of the hearing are attached.



The Kendall County Zoning Board of Appeals reviewed this proposal at their meeting on May 2, 2022. No members of the public spoke at the meeting regarding this Petition. The Kendall County Zoning Board of Appeals recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting are attached.

The draft resolution is attached.

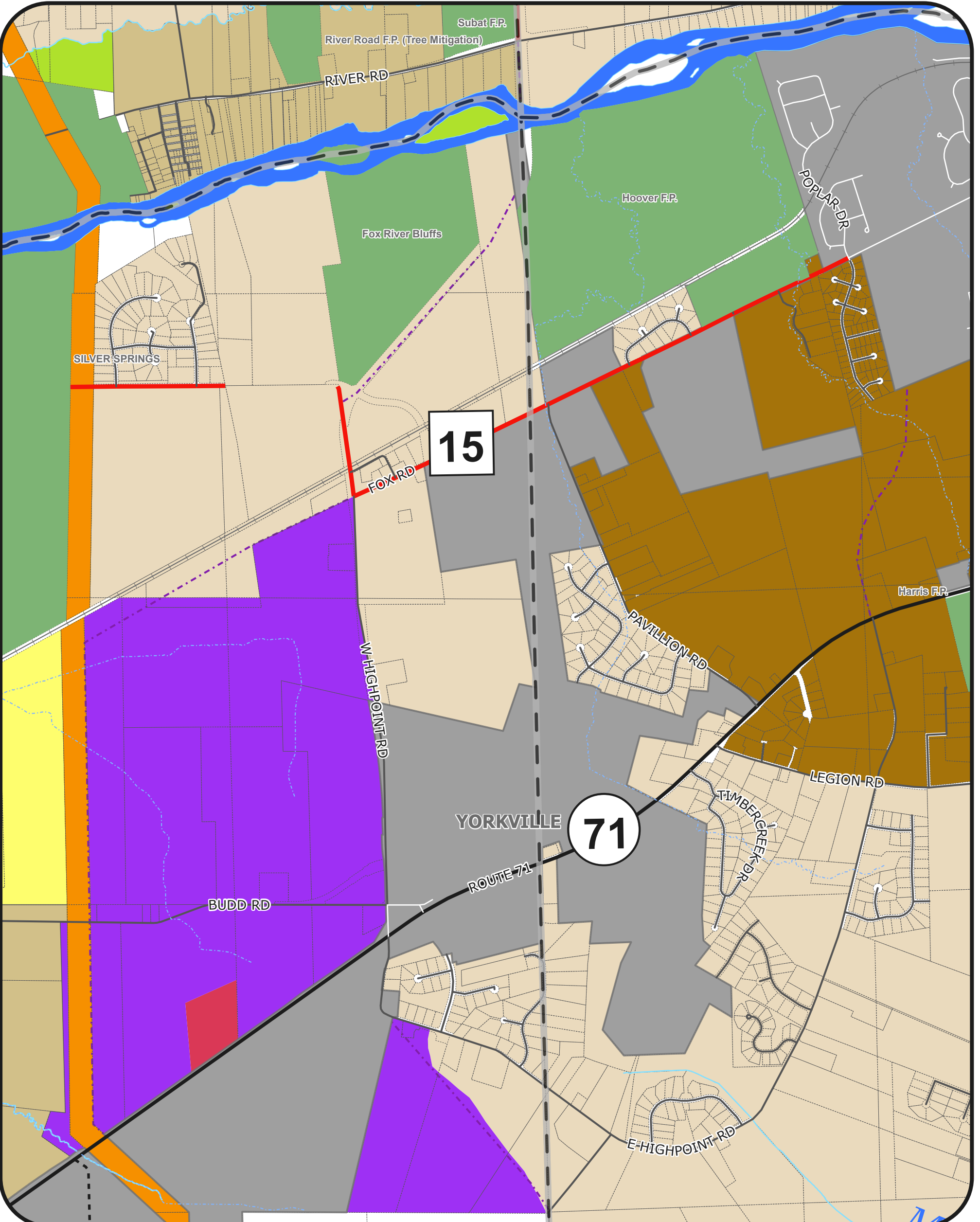
If you have any questions regarding this memo, please let me know.

Thanks,

MHA

Encs.: Kendall County Future Land Use Map  
Proposed Changes to Kendall County Future Land Use Map  
United City of Yorkville Future Land Use Map  
Village of Millbrook Future Land Use Map  
City of Plano Future Land Use Map  
April 5, 2022 ZPAC Meeting Minutes (This Petition Only)  
April 14, 2022 Yorkville Email  
April 27, 2022 Kendall County Regional Planning Commission Meeting Minutes (This Petition Only)  
May 2, 2022 Kendall County Zoning Board of Appeals Minutes (This Petition Only)  
Draft Resolution

# Future Land Use Plan in Kendall County, IL

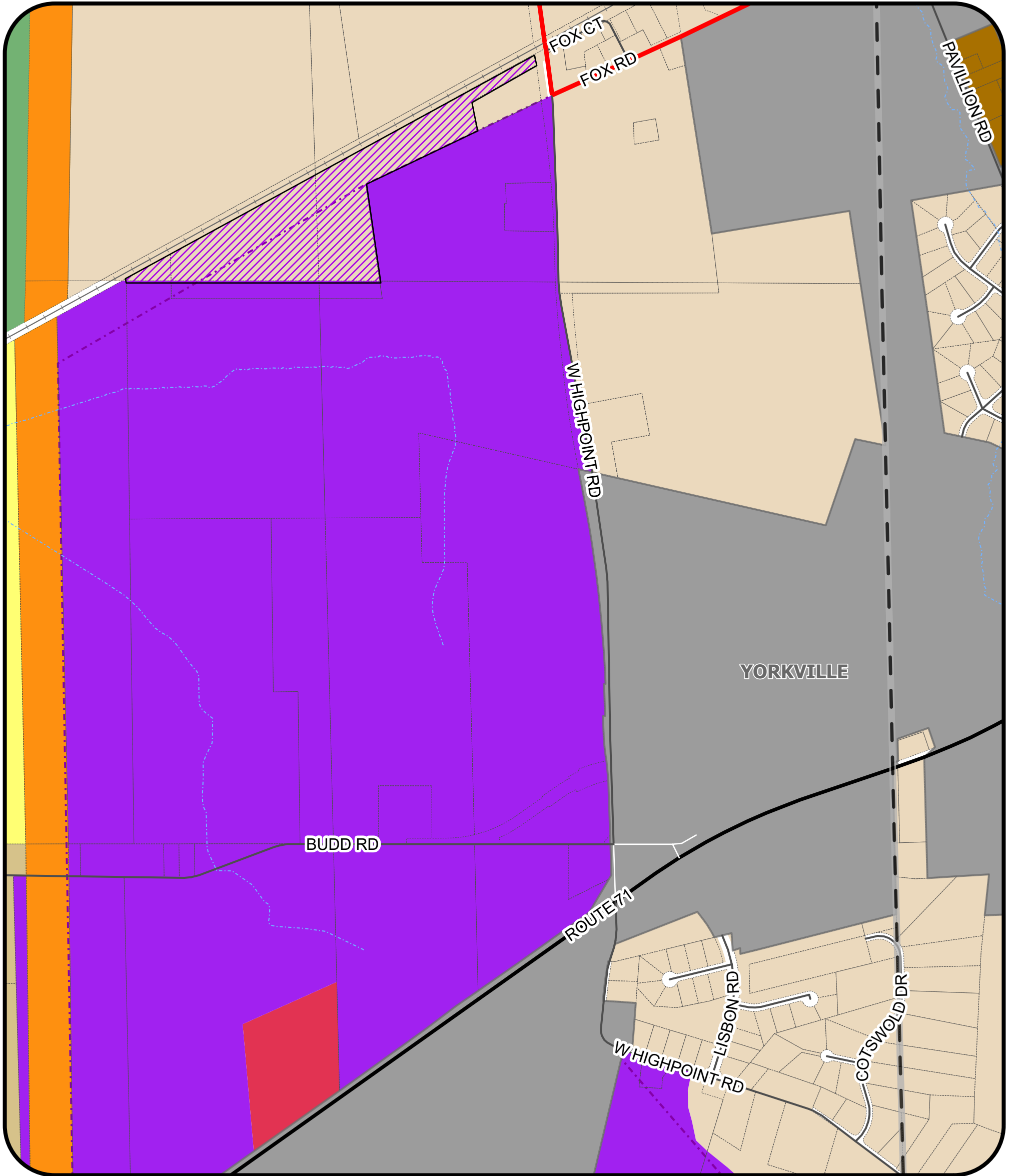


- |   |   |  |                           |                               |
|---|---|--|---------------------------|-------------------------------|
| TOWNSHIPS   | RURAL RESIDENTIAL<br>MAX DENSITY<br>0.65 DU ACRES       | COUNTRYSIDE RESIDENTIAL<br>MAX DENSITY<br>0.33 DU ACRE | COMMONWEALTH EDISON       | AGRICULTURE                   |
| URBAN AREAS - INCORPORATED                          | RURAL ESTATE RESEDENTIAL<br>MAX DENSITY<br>0.45 DU ACRE | COMMERCIAL   | TRANSPORTATION CORRIDORS  | FOREST                        |
| SUBURBAN RESIDENTIAL - MAX DENSITY<br>1.00 DU ACRES |   | MIXED USE BUSINESS                                     | MINING                    | PRESERVE / STATE PARKS        |
|   |   |  | POTENTIAL MINING DISTRICT | OPEN SPACE                    |
|   |   |  | PUBLIC/ INSTITUTIONAL     | PROPOSED ROADWAY IMPROVEMENTS |



**Kendall County GIS**  
 111 West Fox Street - Room 308  
 Yorkville, Illinois 60560  
 630.553.4212

# Proposed Future Land Use Plan



**LAND USE TYPE**

URBAN AREAS - INCORPORATED

SUBURBAN RESIDENTIAL - MAX DENSITY 1.00 DU ACRES

RURAL RESIDENTIAL MAX DENSITY 0.65 DU ACRES

RURAL ESTATE RESEDENTIAL MAX DENSITY 0.45 DU ACRE

COUNTRYSIDE RESIDENTIAL MAX DENSITY 0.33 DU ACRE

COMMERCIAL

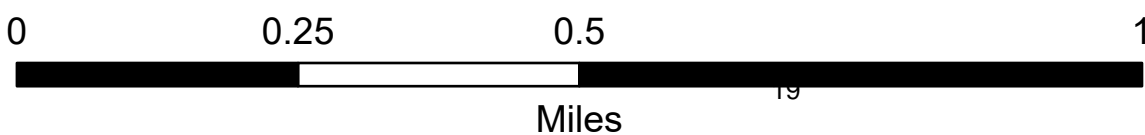
MIXED USE BUSINESS

COMMONWEALTH EDISON

PROPOSED ROADWAY IMPROVEMENTS

TOWNSHIPS

PROPOSED MIXED USE BUSINESS

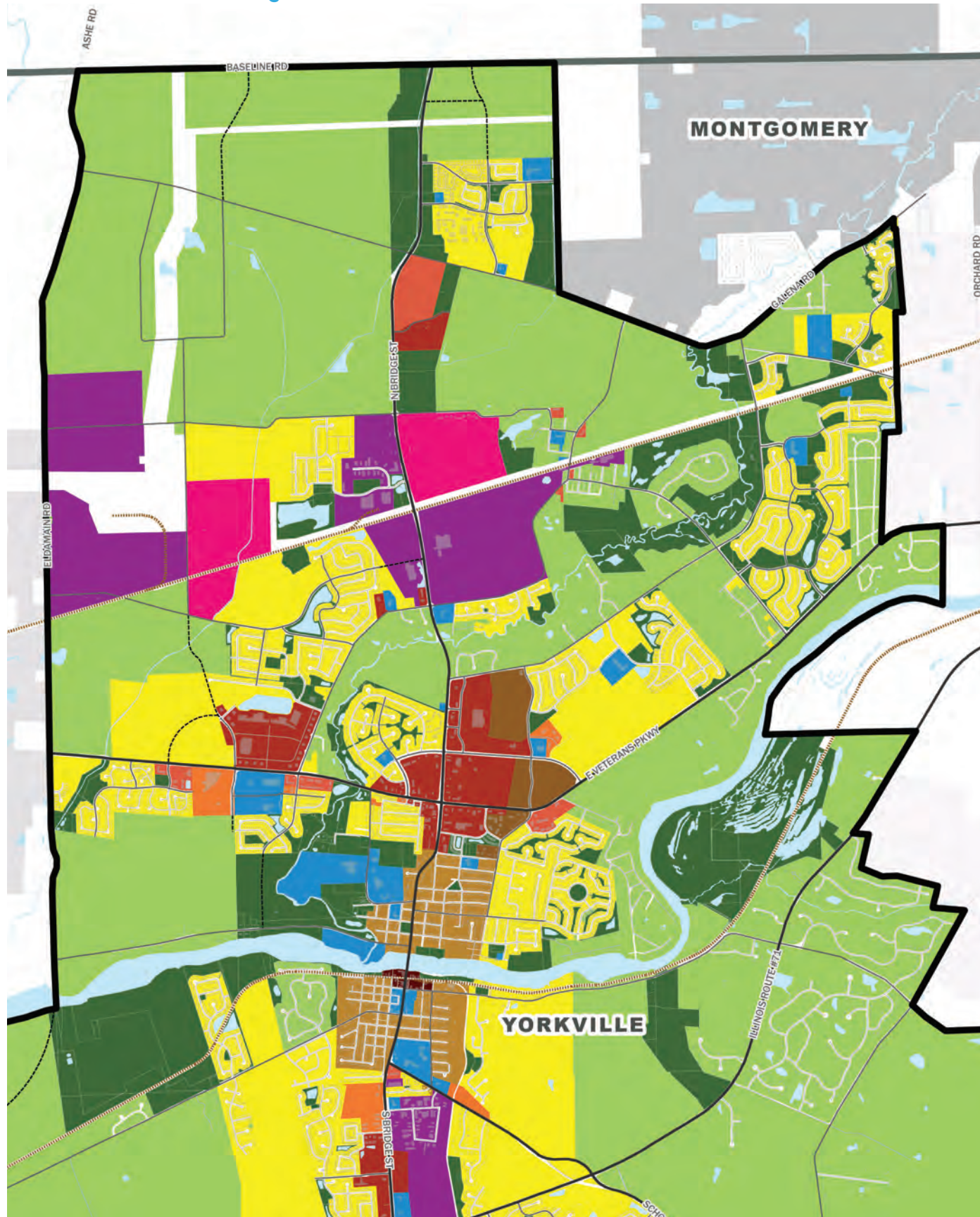


**Kendall County GIS**

111 West Fox Street - Room 308  
Yorkville, Illinois 60560  
630.553.4212

Created: 12/27/2021

Figure 4.1: Future Land Uses North of the Fox River



## LAND USE CHANGES

The Land Use Strategy and Future Land Use Map presented above describes the distribution of general land use categories (Residential, Commercial, industrial, Open Space and Parks, and so on) that will set the framework for achieving the goals of the Comprehensive Plan. It is not a zoning map but should set the stage for future changes and modifications to the Yorkville Zoning Ordinance. The Land Use Strategy seeks to “re-position” Yorkville’s future land use pattern given current development conditions in Yorkville since the 2008 economic downturn and the unlikelihood that the Prairie Parkway will be constructed within this Plan’s time horizon. Several changes in land use classifications are proposed from those included in the 2008 Comprehensive Plan. Changes in the land use categories are summarized below:

### RESIDENTIAL

A Mid-Density Residential land use zone is proposed in order to encourage new multi-family housing types in Yorkville; new housing types could diversify housing opportunities and provide housing at different price points that what is currently offered in Yorkville’s housing market. The Rural Neighborhood land use classification in the 2008 Comprehensive Plan is eliminated given that such residential development is unlikely to occur in the southeastern portions of the Yorkville planning area where there are significant infrastructure and market constraints. The primary infrastructure constraint is the need to construct a lift station along a ridge line, generally located south of Illinois Route 71. In its place, an Estate/Conservation Residential land use category has been created to accommodate large-lot residential development in areas where infrastructure exists and smaller-lot single family residential subdivisions are less likely

to be supported by market demand. Conservation subdivisions should also be encouraged in order to preserve significant environmental and topographical features, provide alternative housing types, and provide opportunities to expand Yorkville’s open space network. A Metra Station TOD zone is also included to plan accordingly for future development even if the Metra Station is years away from construction.

### COMMERCIAL

Several new commercial land use categories are suggested in this Comprehensive Plan. A Downtown Mixed-Use Core zone is intended to focus revitalization and redevelopment efforts in Yorkville’s traditional downtown; new mixed-use development is envisioned on various opportunity sites that expand the Downtown’s footprint further to the east on Van Emmon Street with potential residential and commercial development. The need to address particular development design and land use issues within the Downtown necessitates the need for a Downtown-specific land use classification.

The general Commercial land use classification in the 2008 Plan is now designated Destination Commercial to recognize that a high percentage of commercial land in Yorkville accommodates large format and chain store formats, usually located along major transportation thoroughfares. Destination Commercial uses have their own particular physical design and development issues and should be distinguished from commercial uses located in the Downtown and in neighborhood retail areas.

A Commercial Office land use category has been created to accommodate small-scaled office uses in single developments or as part of an office park setting;

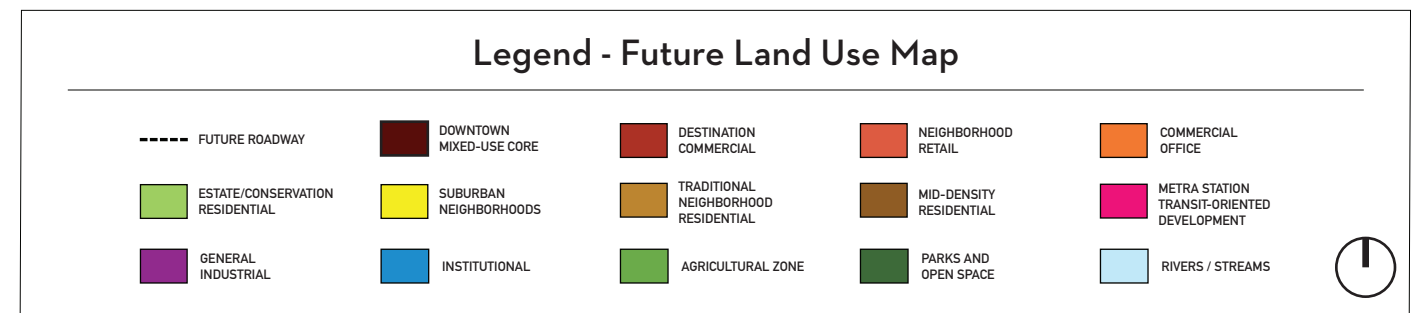
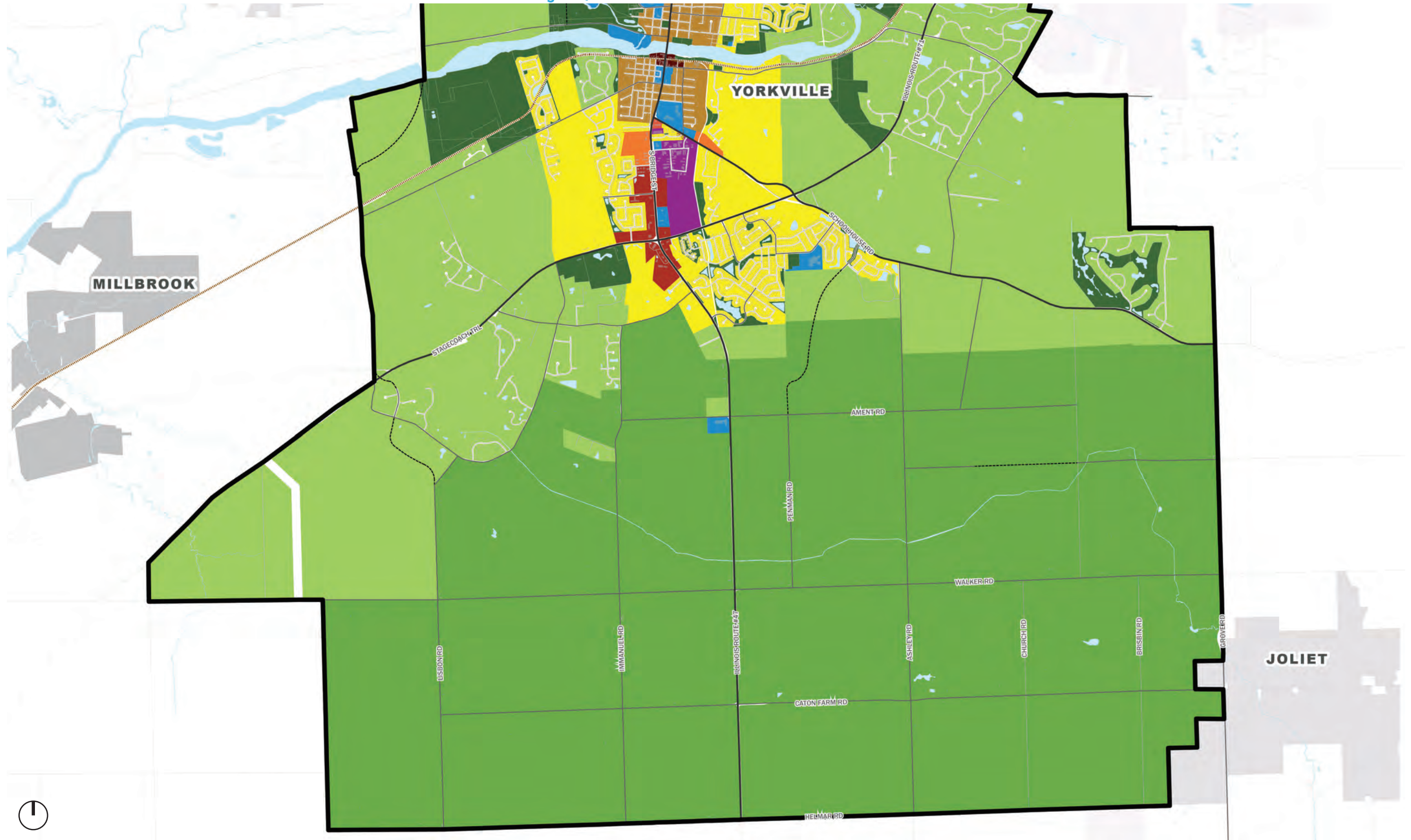
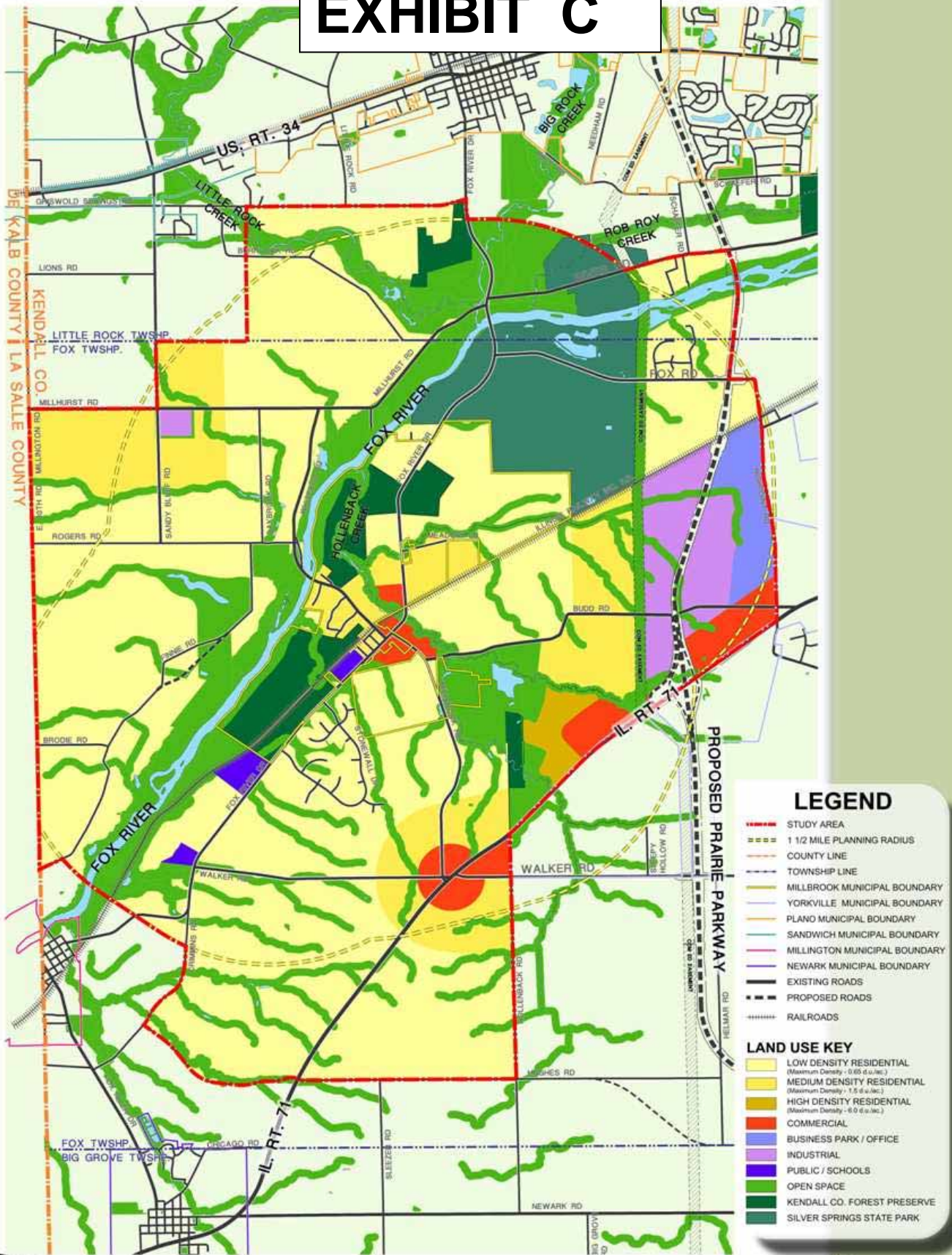


Figure 4.1 - Future Land Uses North of the Fox River

Figure 4.2: Future Land Uses South of the Fox River



# EXHIBIT C



## LEGEND

- STUDY AREA
- 1 1/2 MILE PLANNING RADIUS
- COUNTY LINE
- TOWNSHIP LINE
- MILLBROOK MUNICIPAL BOUNDARY
- YORKVILLE MUNICIPAL BOUNDARY
- PLANO MUNICIPAL BOUNDARY
- SANDWICH MUNICIPAL BOUNDARY
- MILLINGTON MUNICIPAL BOUNDARY
- NEWARK MUNICIPAL BOUNDARY
- EXISTING ROADS
- PROPOSED ROADS
- RAILROADS

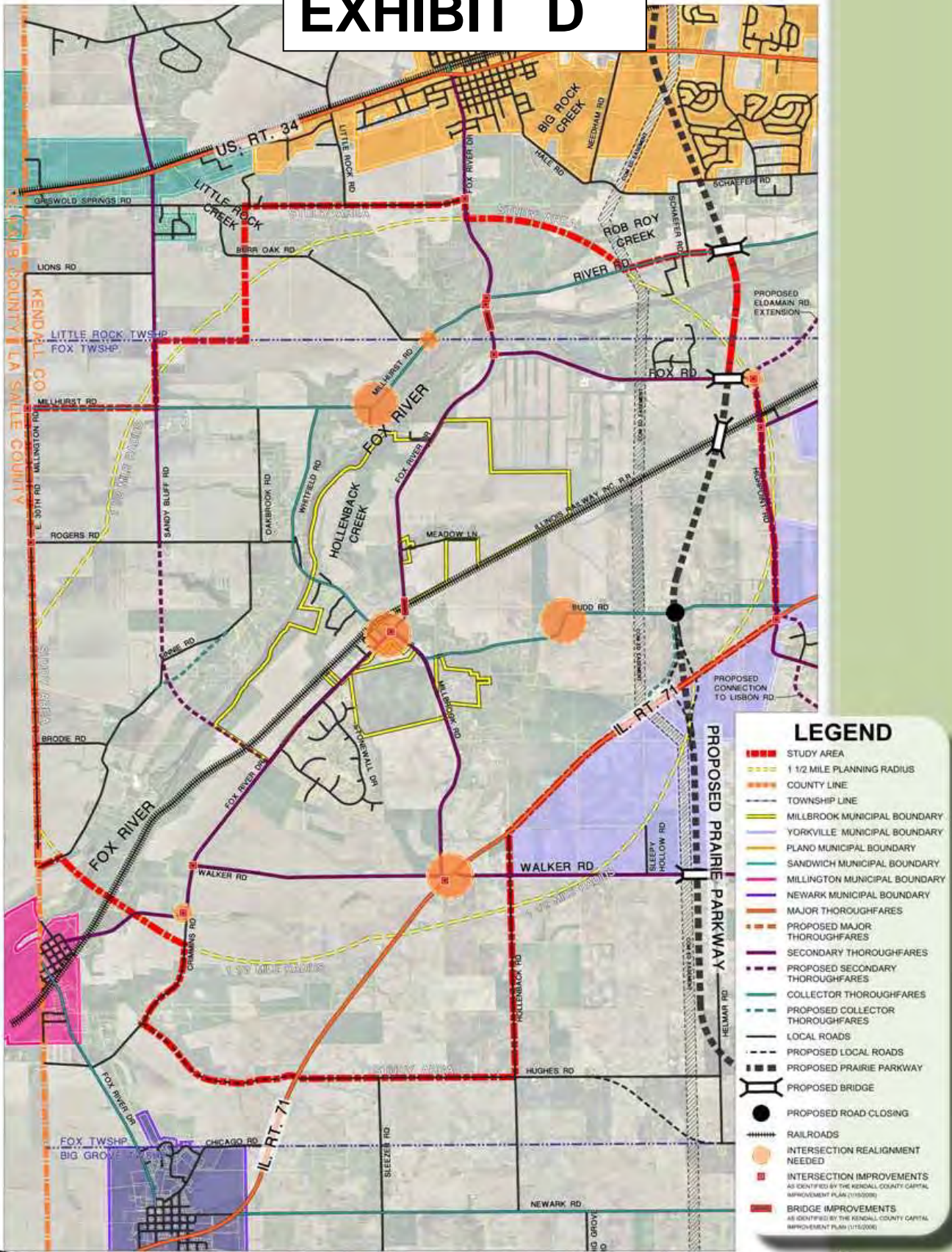
## LAND USE KEY

- LOW DENSITY RESIDENTIAL  
(Maximum Density - 0.65 d.u./ac.)
- MEDIUM DENSITY RESIDENTIAL  
(Maximum Density - 1.5 d.u./ac.)
- HIGH DENSITY RESIDENTIAL  
(Maximum Density - 6.0 d.u./ac.)
- COMMERCIAL
- BUSINESS PARK / OFFICE
- INDUSTRIAL
- PUBLIC / SCHOOLS
- OPEN SPACE
- KENDALL CO. FOREST PRESERVE
- SILVER SPRINGS STATE PARK

## FUTURE LAND USE PLAN - DRAFT



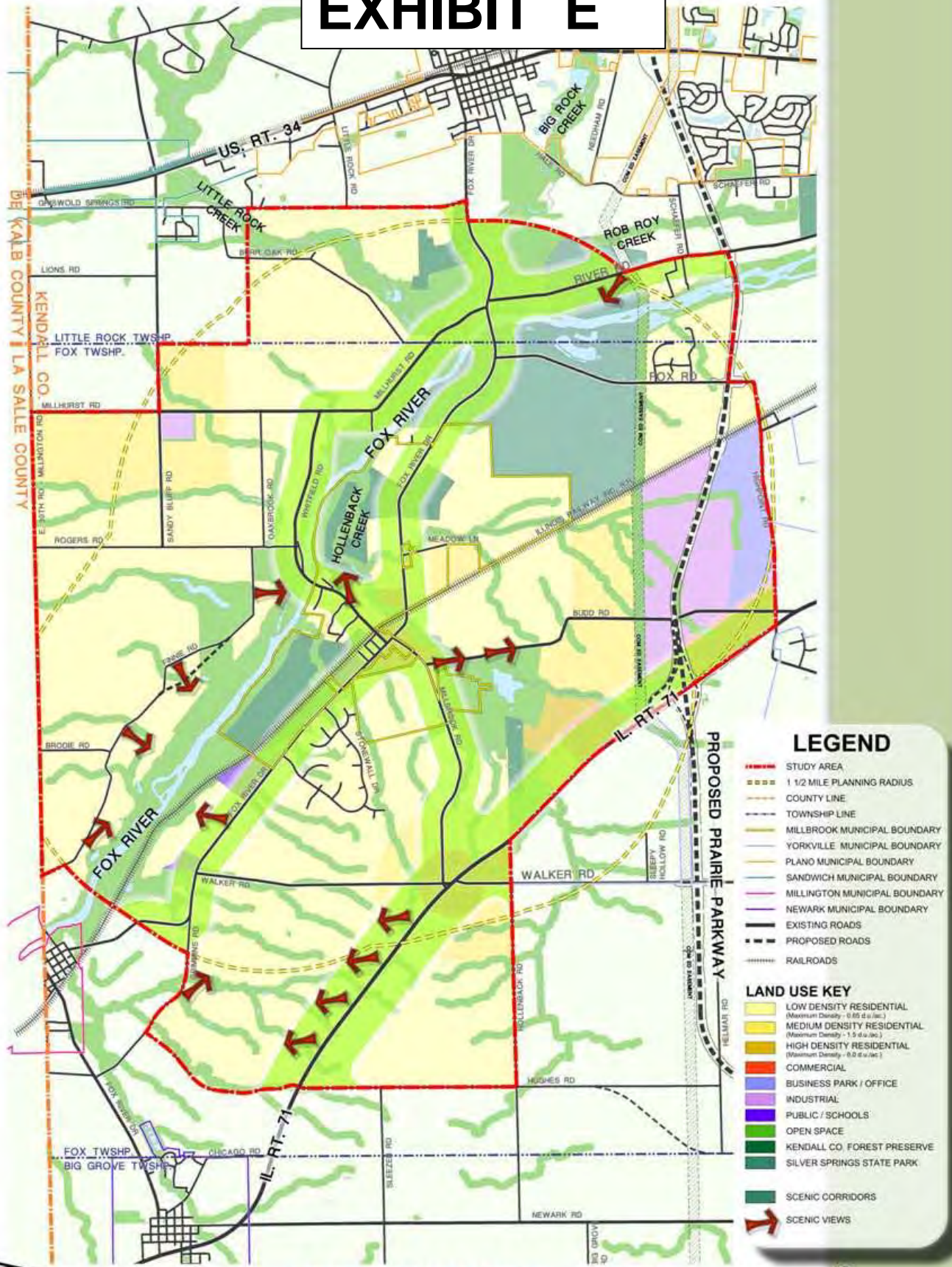
# EXHIBIT D



## TRANSPORTATION PLAN - DRAFT



# EXHIBIT E



## LEGEND

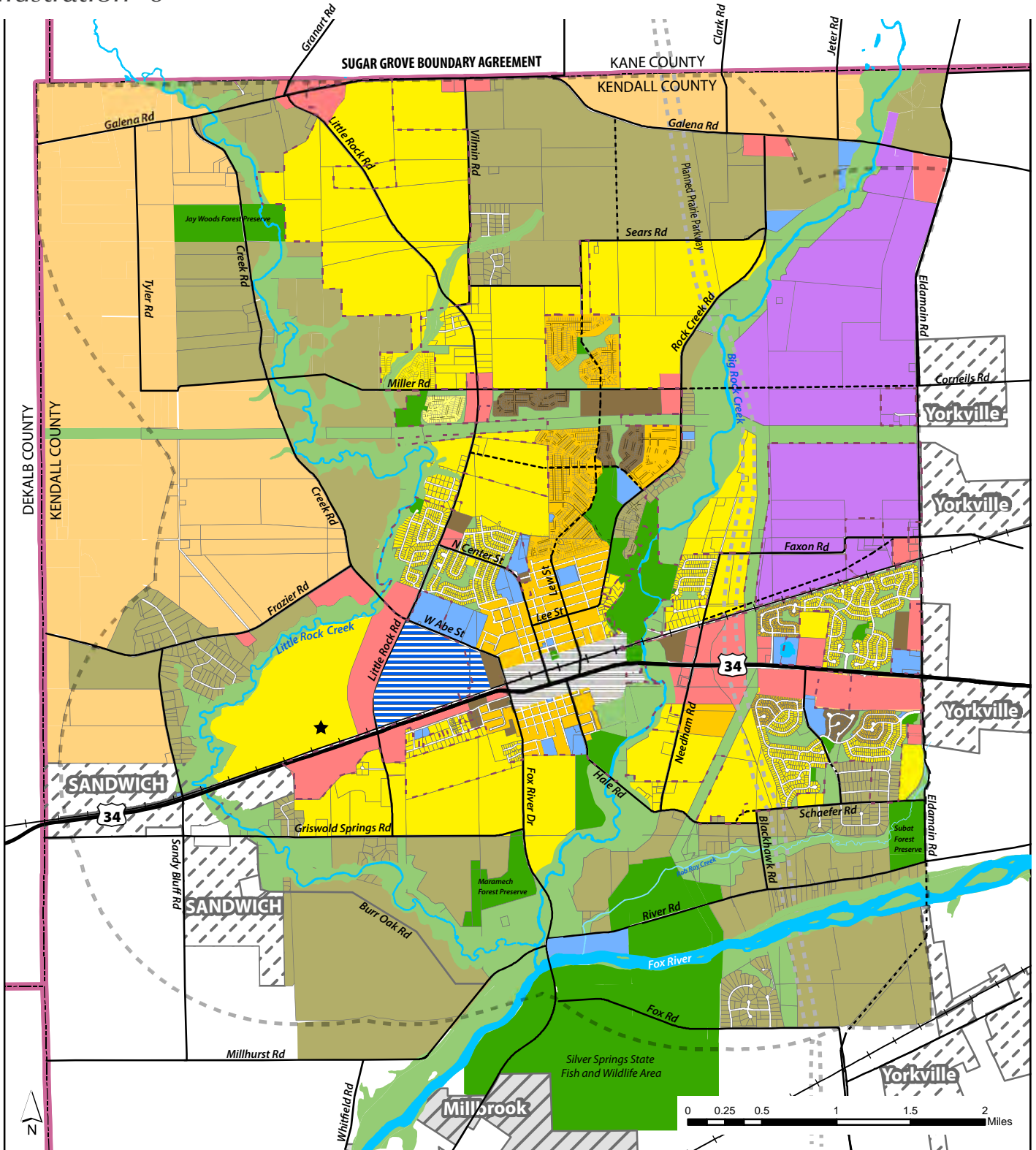
- STUDY AREA
  - 1 1/2 MILE PLANNING RADIUS
  - COUNTY LINE
  - TOWNSHIP LINE
  - MILLBROOK MUNICIPAL BOUNDARY
  - YORKVILLE MUNICIPAL BOUNDARY
  - PLANO MUNICIPAL BOUNDARY
  - SANDWICH MUNICIPAL BOUNDARY
  - MILLINGTON MUNICIPAL BOUNDARY
  - NEWARK MUNICIPAL BOUNDARY
  - EXISTING ROADS
  - PROPOSED ROADS
  - RAILROADS
- 
- ### LAND USE KEY
- LOW DENSITY RESIDENTIAL  
(Maximum Density - 0.65 d.u./ac.)
  - MEDIUM DENSITY RESIDENTIAL  
(Maximum Density - 1.5 d.u./ac.)
  - HIGH DENSITY RESIDENTIAL  
(Maximum Density - 6.0 d.u./ac.)
  - COMMERCIAL
  - BUSINESS PARK / OFFICE
  - INDUSTRIAL
  - PUBLIC / SCHOOLS
  - OPEN SPACE
  - KENDALL CO. FOREST PRESERVE
  - SILVER SPRINGS STATE PARK
- 
- SCENIC CORRIDORS
  - SCENIC VIEWS

## SCENIC CORRIDORS - DRAFT

NORTH  
Scale: 1" = 1,320'



Illustration 6



### Future Land Use



- Agricultural
  - Estate Residential (0 - .8 DU/AC)
  - Low Density Residential (.9 - 2.25 DU/AC)
  - Medium Density Residential (2.26 - 6 DU/AC)\*
  - High Density Residential (>6 DU/AC)\*
  - Parks
  - Open Space
  - General Business
  - Institutional/Public
  - Industrial/Office/Research
  - Transit Oriented Development
  - City Center Mixed Use
  - Plano Boundary
  - Planning Boundary
  - Proposed Roadway
  - Planned Prairie Parkway
  - Alternate Transit Oriented Development
- \*Existing built densities are not planned to increase

**ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)  
April 5, 2022 – Unapproved Meeting Minutes**

PBZ Chairman Scott Gengler called the meeting to order at 9:00 a.m.

Present:

Matt Asselmeier – PBZ Department  
Meagan Briganti – GIS Department  
Scott Gengler – PBZ Committee Chair  
Fran Klaas – Highway Department  
Commander Jason Langston – Sheriff’s Department  
Aaron Rybski – Health Department

Absent:

Greg Chismark – WBK Engineering, LLC  
David Guritz – Forest Preserve  
Brian Holdiman – PBZ Department  
Alyse Olson – Soil and Water Conservation District

Audience:

None

**PETITIONS**

**Petition 22-09 Kendall County Regional Planning Commission**

Mr. Asselmeier summarized the request.

In October 2020, the Kendall County Comprehensive Land Plan and Ordinance Committee initiated discussions regarding changing the Future Land Use Map for properties located along the Eldamain Road Corridor south of the Fox River, in light of the funding for the Eldamain Road Bridge and the abandonment of the centerline for the Prairie Parkway. In particular, the Committee discussed possible commercial and/or manufacturing investment in this area.

The Kendall County Future Land Use Map currently calls for this area to be Rural Residential (Max Density 0.65 DU/Acre) and Mixed Use Business. A copy of the existing Future Land Use Map was provided.

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Following meetings with property owners in the area in October and December 2021, the Committee decided to limit changes to three (3) properties along the railroad tracks west of Fox Road. Letters to impacted property owners were mailed in mid-December 2021, mid-February 2022, and mid-March 2022.

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At their meeting on March 24, 2022, the Kendall County Regional Planning Commission voted to initiate the amendment to the Future Land Use Map.

A copy of the updated map was provided.

Petition information will be sent to Fox Township, the Village of Millbrook, and the United City of Yorkville on March 29, 2022.

Mr. Klaas asked if Yorkville and Plano had a boundary agreement in this area. Mr. Asselmeier responded that Yorkville’s boundary is Highpoint Road and Plano’s extraterritorial planning area did not extend to the subject properties. Yorkville did not have a boundary agreement with Millbrook.

Mr. Klaas felt that any commercial and industrial developments in this area would probably be annexed to a municipality.

Mr. Asselmeier noted that to reclassify the property to Residential would be easier than to obtain that a Mixed Use Business classification.

Commander Langston asked if the owners of the house at 12565 Fox Road objected to the request. Mr. Asselmeier responded that no objections had been received.

Mr. Rybski clarified the request was for a reclassification on the Future Land Use Map and not the rezoning of the properties.

Mr. Rybski made a motion, seconded by Ms. Briganti, to recommend approval of the requested change to the Future Land Use Map.

With a voice vote of six (6) ayes, the motion carried.

The proposal goes to the Kendall County Regional Planning Commission on April 27, 2022.

**PUBLIC COMMENT**

None

**ADJOURNMENT**

Mr. Klaas made a motion, seconded by Mr. Rybski, to adjourn.

With a voice vote of six (6) ayes, the motion carried.

The ZPAC, at 9:27 a.m., adjourned.

Respectfully Submitted,  
Matthew H. Asselmeier, AICP, CFM  
Senior Planner

## Matt Asselmeier

---

**From:** Jason Engberg <jengberg@yorkville.il.us>  
**Sent:** Thursday, April 14, 2022 9:54 AM  
**To:** Matt Asselmeier  
**Cc:** Krysti Barksdale-Noble  
**Subject:** [External]RE: Kendall County Petition 22-09 Question

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Matt,

The tentative schedule is:

- EDC – May 3<sup>rd</sup> @ 6:00PM
- PZC – June 8<sup>th</sup> @ 7:00PM
- City Council – June 28<sup>th</sup> @ 7:00PM

Please let me know if you have any more questions.

Thanks,  
Jason

---

**From:** Matt Asselmeier <masselmeier@co.kendall.il.us>  
**Sent:** Thursday, April 14, 2022 8:16 AM  
**To:** Jason Engberg <jengberg@yorkville.il.us>  
**Cc:** Krysti Barksdale-Noble <knoble@yorkville.il.us>  
**Subject:** Kendall County Petition 22-09 Question

Jason:

What are the dates for the Yorkville meetings regarding this Petition?

Thanks,

Matthew H. Asselmeier, AICP, CFM  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498  
PH: 630-553-4139  
Fax: 630-553-4179

**KENDALL COUNTY  
REGIONAL PLANNING COMMISSION**

*Kendall County Office Building  
Rooms 209 and 210  
111 W. Fox Street, Yorkville, Illinois*

**Unapproved - Meeting Minutes of April 27, 2022 - 7:00 p.m.**

Chairman Ashton called the meeting to order at 7:01 p.m.

**ROLL CALL**

**Members Present:** Bill Ashton, Tom Casey, Dave Hamman, Karin McCarthy-Lange, Larry Nelson, Ruben Rodriguez, Claire Wilson (Arrived at 7:06 p.m.), and Seth Wormley

**Members Absent:** Bob Stewart

**Staff Present:** Matthew H. Asselmeier, Senior Planner

**Others Present:** Dan Kramer, Judd Lofchie, Jose Martinez, Tim O'Brien, Michael Eurkaitis, Irma Quezada, Donald Larkin, and Jo Beth Larkin

**PUBLIC HEARING**

**Petition 22-09 Kendall County Regional Planning Commission**

The Kendall County Regional Planning Commission started the review of this Petition and Chairman Ashton opened the public hearing at 7:02 p.m.

Mr. Asselmeier summarized the request.

In October 2020, the Kendall County Comprehensive Land Plan and Ordinance Committee initiated discussions regarding changing the Future Land Use Map for properties located along the Eldamain Road Corridor south of the Fox River, in light of the funding for the Eldamain Road Bridge and the abandonment of the centerline for the Prairie Parkway. In particular, the Committee discussed possible commercial and/or manufacturing investment in this area.

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At their meeting on February 23, 2022, the Comprehensive Land and Ordinance Committee voted to forward the proposal to the Kendall County Regional Planning Commission.

At their meeting on March 24, 2022, the Kendall County Regional Planning Commission voted to initiate the amendment to the Future Land Use Map.

A copy of the updated map was provided.

Petition information will be sent to Fox Township, the Village of Millbrook, and the United City of Yorkville on March 29, 2022. Yorkville will be reviewing this proposal in May and June.

ZPAC reviewed the proposal at their meeting on April 5, 2022. Mr. Klaas felt that no commercial or industrial development would occur on the subject properties unless they were annexed into a municipality. Discussion also occurred regarding the boundary agreements of the municipalities in the area. ZPAC recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with four (4) members absent. The minutes of the meeting were provided.

No one from the public testified at the hearing.

Member Nelson made a motion, seconded by Member Rodriguez, to recommend approval of the Petition.

The votes were as follows:

Ayes (7): Ashton, Casey, Hamman, McCarthy-Lange, Nelson, Rodriguez, and Wormley  
Nays (0): None  
Absent (2): Stewart and Wilson  
Abstain (0): None

The motion carried.

This proposal goes to the Kendall County Zoning Board of Appeals on May 2, 2022.

Member Rodriguez made a motion, seconded by Member McCarthy-Lange to adjourn the public hearing. With a voice vote of seven (7) ayes, the motion carried.

The Kendall County Regional Planning Commission adjourned the public hearing and completed their review of Petition 22-09 at 7:05 p.m.

Member Wilson arrived at this time (7:06 p.m.)

#### **CITIZENS TO BE HEARD/PUBLIC COMMENT**

Jo Beth Larkin asked if Seward Township was going to create their own Township Plan. Chairman Ashton responded that Seward Township already had a Plan and they were trying to update their Plan. She asked if she should attend Township meetings. She was advised to attend Township meetings. A public hearing will occur on the Land Resource Management Plan. Member Nelson invited Ms. Larkin to the February Annual Meeting.

#### **ADJOURNMENT**

Member Rodriguez made a motion, seconded by Member Wormley, to adjourn. With a voice of eight (8) ayes, the motion carried.

The Kendall County Regional Planning Commission meeting adjourned at 9:03 p.m.

Respectfully submitted by,  
Matthew H. Asselmeier, AICP, CFM  
Senior Planner



**KENDALL COUNTY  
REGIONAL PLANNING COMMISSION  
APRIL 27, 2022**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
Don Krimer		
Jim Bruen		
M. FURKANTZ		
Judd Lofchie		
JO BETH LARKIN		

**MINUTES – UNOFFICIAL UNTIL APPROVED**  
**KENDALL COUNTY**  
**ZONING BOARD OF APPEALS MEETING**  
111 WEST FOX STREET, COUNTY BOARD ROOM (ROOMS 209 and 210)  
YORKVILLE, IL 60560  
**May 2, 2022 – 7:00 p.m.**

**CALL TO ORDER**

Vice-Chairman Tom LeCuyer called the Zoning Board of Appeals meeting to order at 7:05 p.m.

**ROLL CALL:**

Members Present: Scott Cherry, Cliff Fox, Tom LeCuyer, Dick Thompson, Anne Vickery, and Dick Whitfield

Members Absent: Randy Mohr

Staff Present: Matthew Asselmeier, AICP, CFM, Senior Planner

Others Present: Dan Kramer and Dustin Walzer

**PETITIONS**

The Zoning Board of Appeals started their review of Petition 22-09 at 8:04 p.m.

**Petition 22 – 09 – Kendall County Regional Planning Commission**

**Request:** Amendments to the Future Land Use Map in the Kendall County Land Resource Management Plan by Reclassifying the Subject Properties from Rural Residential to Mixed Use Business

**PINs:** 04-02-400-002, 04-02-400-003, and 04-01-301-005 (South of the Railroad Tracks Only)

**Location:** North and Southwest of 12565 Fox Road in Fox Township

**Purpose:** Petitioner Wants to Expand the Mixed Use Business Area North to the Railroad Tracks

Mr. Asselmeier summarized the request.

In October 2020, the Kendall County Comprehensive Land Plan and Ordinance Committee initiated discussions regarding changing the Future Land Use Map for properties located along the Eldamain Road Corridor south of the Fox River, in light of the funding for the Eldamain Road Bridge and the abandonment of the centerline for the Prairie Parkway. In particular, the Committee discussed possible commercial and/or manufacturing investment in this area.

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Petition information will be sent to Fox Township, the Village of Millbrook, and the United City of Yorkville on March 29, 2022. Yorkville will be reviewing this proposal in May and June.

ZPAC reviewed the proposal at their meeting on April 5, 2022. Mr. Klaas felt that no commercial or industrial development would occur on the subject properties unless they were annexed into a municipality. Discussion also occurred regarding the boundary agreements of the municipalities in the area. ZPAC recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with four (4) members absent. The minutes of the meeting were provided.

The Kendall County Regional Planning Commission held a public hearing on this proposal on April 27, 2022. No members of the public testified at the public hearing. The Kendall County Regional Planning Commission recommended approval of the proposal by a vote of seven (7) in favor and zero (0) in opposition with two (2) members absent. The minutes of the hearing were provided.

The property owners have not expressed any strong opinion on the matter. It was noted that it would be easier to reclassify the land back to residential.

Member Fox made a motion, seconded by Member Whitfield, to recommend approval of the amendment to the Future Land Use Map.

The votes were as follows:

Ayes (6): Cherry, Fox, LeCuyer, Thompson, Vickery, and Whitfield  
Nays (0): None  
Abstain (0): None  
Absent (1): Mohr

The motion passed.

The proposal will go to the Kendall County Planning, Building and Zoning Committee on Monday, May 9, 2022.

The Zoning Board of Appeals completed their review of Petition 22-09 at 8:07 p.m.

**PUBLIC COMMENTS**

Mr. Asselmeier reported that, for the May 31<sup>st</sup> hearing, there will be a Petition requesting a special use permit for a landscaping business on the north side of Route 52 west of Arbeiter Road in Seward Township.

Mr. Asselmeier also reported that he was recently elected President of the Illinois Association of County Zoning Officials.

Mr. Asselmeier also reported that Hide-A-Way Lakes was annexed in the Village of Oswego.

The County received a price quote from Teska Associates to update the Land Resource Management Plan. This will quote will be reviewed by the Regional Planning Commission at their May meeting.

**ADJOURNMENT OF THE ZONING BOARD OF APPEALS**

Member Whitfield made a motion, seconded by Member Thompson, to adjourn.

With a voice vote of six (6) ayes, the motion carried.

The Zoning Board of Appeals meeting adjourned at 8:12 p.m.

The next hearing/meeting will be on May 31, 2022.

Respectfully submitted by,  
Matthew H. Asselmeier, AICP, CFM  
Senior Planner

**Exhibits**

1. Memo on Petition 22-09 Dated April 28, 2022
2. Certificate of Publication for Petition 22-09 (Not Included with Report but on file in Planning, Building and Zoning Office)



**RESOLUTION NUMBER 2022-\_\_\_\_\_**

**A RESOLUTION ADOPTING AN AMENDMENT TO THE KENDALL COUNTY LAND RESOURCE MANAGEMENT PLAN TO UPDATE THE FUTURE LAND USE PLAN BY RECLASSIFYING THE PROPERTIES LOCATED NORTH AND SOUTHWEST OF 12565 FOX ROAD AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBERS 04-02-400-002, 04-02-400-003, AND 04-01-301-005 (SOUTH OF THE RAILROAD TRACKS ONLY) IN FOX TOWNSHIP FROM RURAL RESIDENTIAL TO MIXED USE BUSINESS**

WHEREAS, 50 ILCS 805 allows Counties to create and adopt Land Resource Management Plans; and

WHEREAS, 55 ILCS 5/5-14001 through 5-14008 specifies how a County may adopt and amend Official Plans; and

WHEREAS, Kendall County adopted a Land Resource Management Plan in March 1994; and

WHEREAS, the Kendall County Board has amended the Land Resource Management Plan on several occasions since its adoption in March 1994; and

WHEREAS, the Kendall County Land Resource Management Plan has adopted official Future Land Use Maps for each township and for the County as a whole; and

WHEREAS, the properties which are the subject of this Resolution has been, at all relevant times, and remains currently classified as Rural Residential on the Future Land Use Map and are identified by Parcel Identification Numbers 04-02-400-002, 04-02-400-003, and 04-01-301-005 (south of the railroad tracks only) in Fox Township. The area proposed for reclassification is designated in dashed purple lines on the map attached hereto as Exhibit A and incorporated by reference, and these properties shall hereinafter be referred to as “the subject properties”; and

WHEREAS, the subject properties are currently owned by the Richard A. Brummel Declaration of Living Trust and Frederick Brummel Living Trust; and

WHEREAS, the Kendall County Regional Planning Commission, hereinafter be referred to as “the Petitioner”, recognizes that the opening of the Eldamain Road Bridge will increase opportunities for non-residential development in certain areas of unincorporated Kendall County, thus diversifying the tax base and employment opportunities within Kendall County; and

WHEREAS, on or about March 23, 2022, the Petitioner filed a petition to reclassify the subject property from Rural Residential to Mixed Use Business in order to giving the owners of the subject properties the ability to rezone the subject properties from A-1 Agricultural District to one of the Manufacturing zoning classifications at some point in the future; and

WHEREAS, following due and proper notice by publication in the Kendall County Record on March 31, 2022, the Kendall County Regional Planning Commission conducted a public hearing on April 27, 2022, at 7:00 p.m., in the Kendall County Office Building at 111 W. Fox Street in Yorkville, at which the Petitioner’s representative presented evidence, testimony, and exhibits in support of the requested amendment and zero members of the public testified in favor, or in opposition, or asked questions regarding the request; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Regional Planning

Commission has recommended approval of the proposed amendment; and

WHEREAS, the Kendall County Zoning Board of Appeals met on May 2, 2022, at 7:00 p.m., in the Kendall County Office Building at 111 W. Fox Street in Yorkville, at which the Petitioner's representative presented evidence, testimony, and exhibits in support of the amendment and zero members of the public expressed support, opposition, or asked questions regarding the request; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has recommended approval of the proposed amendment; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and meeting, and has forwarded to the Kendall County Board a recommendation of **approval/denial/neutral** of the proposed amendment; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee, the recommendation of the Kendall County Zoning Board of Appeals, the record of the public hearing conducted by the Kendall County Regional Planning Commission, the recommendation of the Kendall County Regional Planning Commission, and has determined that said proposed amendment to the Kendall County Land Resource Management Plan is necessary and in the best interests of Kendall County; and

NOW, THEREFORE, BE IT RESOLVED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Recommendations of the Kendall County Regional Planning Commission and Kendall County Zoning Board of Appeals attached hereto as Exhibits B and C respectively are hereby accepted.
2. The Kendall County Board hereby grants approval of Petitioner's petition for an amendment to the Future Land Use Plan contained in the Kendall County Land Resource Management Plan by reclassifying the subject properties as Mixed Use Business.
3. Any text or maps contained in the Kendall County Land Resource Management Plan in conflict with this resolution are hereby amended to match the reclassification of the subject properties approved by this resolution.

IN WITNESS OF, this resolution has been enacted by a majority vote of the Kendall County Board and is effective this 17<sup>th</sup> day of May, 2022.

Attest:

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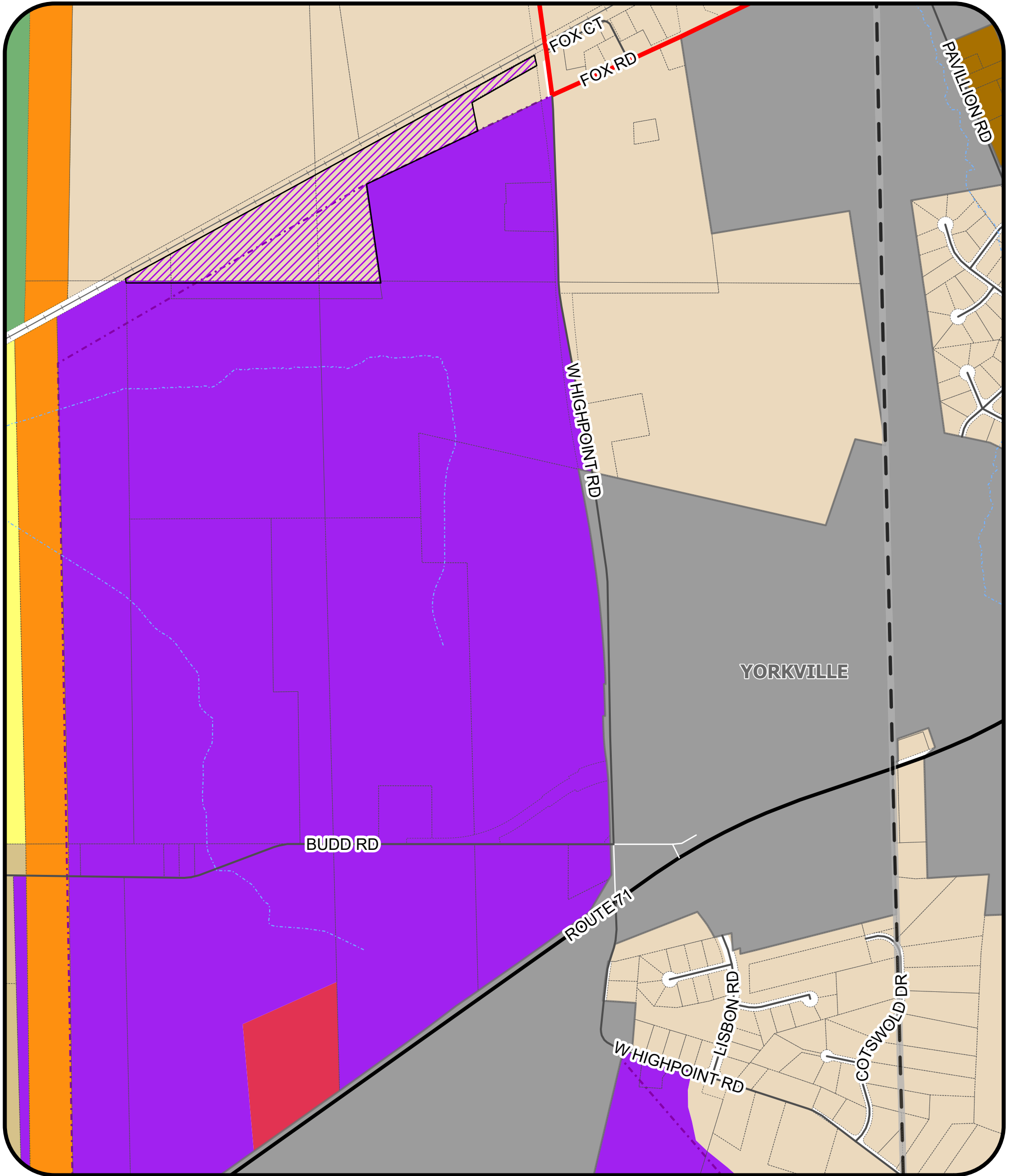
Kendall County Clerk  
Debbie Gillette

---

Kendall County Board Chairman  
Scott R. Gryder

# Proposed Future Land Use Plan

Exhibit A



**LAND USE TYPE**

URBAN AREAS - INCORPORATED

SUBURBAN RESIDENTIAL - MAX DENSITY 1.00 DU ACRES

RURAL RESIDENTIAL MAX DENSITY 0.65 DU ACRES

RURAL ESTATE RESEDENTIAL MAX DENSITY 0.45 DU ACRE

COUNTRYSIDE RESIDENTIAL MAX DENSITY 0.33 DU ACRE

COMMERCIAL

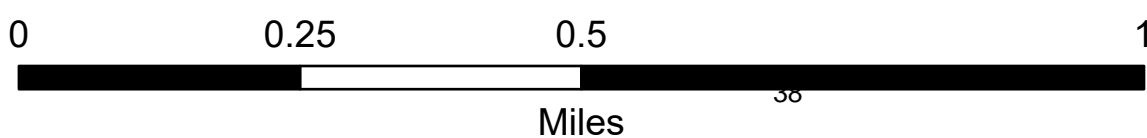
MIXED USE BUSINESS

COMMONWEALTH EDISON

PROPOSED ROADWAY IMPROVEMENTS

TOWNSHIPS

PROPOSED MIXED USE BUSINESS



Miles



**Kendall County GIS**

111 West Fox Street - Room 308  
Yorkville, Illinois 60560  
630.553.4212

Created: 12/27/2021

## Exhibit B

The Kendall County Regional Planning Commission held a public hearing on the Petition on April 27, 2022. Zero (0) members of the public testified in favor or in opposition to the request. On the same date, the Commission issued the following recommendation by a vote of five (7) in favor and zero (0) in opposition. Commissioners Stewart and Wilson were absent.

### **RECOMMENDATION**

Approval

## Exhibit C

The Kendall County Zoning Board of Appeals held a public meeting on the Petition 22-09 on May 2, 2022. Zero members of the public spoke in favor or in opposition to the request. On the same date, the Board issued the following recommendation by a vote of six (6) in favor and zero (0) in opposition. Member Mohr was absent.

### **RECOMMENDATION**

Approval





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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

**MEMORANDUM**

---

To: Planning, Building and Zoning Committee  
From: Matthew H. Asselmeier, AICP, CFM, Senior Planner  
Date: May 2, 2022  
Re: Landscaping Extension Deadline at 3601 Plainfield Road

---

Condition 2.B of Ordinance 2022-09, which granted a special use permit for a kennel at the subject property, requires that the berm and vegetation shown on the site plan be installed by June 1, 2022. The Ordinance also allows the Planning, Building and Zoning Committee to grant extensions to the installation deadline. A copy of Ordinance 2022-09 is attached.

On April 19, 2022, the Petitioners submitted a request asking that the deadline to install the berm and vegetation be extended to July 31, 2022. A copy of the request is attached.

If you have any questions regarding this memo, please let me know.

MHA

Encs.: Ordinance 2022-09  
Extension Request

ORDINANCE NUMBER 2022-09

**GRANTING A MAJOR AMENDMENT TO AN EXISTING SPECIAL USE PERMIT FOR A KENNEL GRANTED BY ORDINANCE 2019-33 BY CHANGING THE SITE PLAN AT 3601 PLAINFIELD ROAD AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 03-28-100-004 IN OSWEGO TOWNSHIP**

*WHEREAS*, Section 13.08 of the Kendall County Zoning Ordinance permits the Kendall County Board to grant major amendments to existing special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted and amended; and

*WHEREAS*, Section 7.01.D.29 of the Kendall County Zoning Ordinance permits the operation of kennels as a special use with certain restrictions in the A-1 Agricultural Zoning District; and

*WHEREAS*, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 5.0 acres located at 3601 Plainfield Road (PIN: 03-28-100-004) in Oswego Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

*WHEREAS*, on November 19, 2019, the Kendall County Board approved Ordinance 2019-33 which granted a special use permit for a kennel with conditions and applicable variances at the subject property; and

*WHEREAS*, conditions 2.A and 2.E of Ordinance 2019-33 required the subject property be developed substantially in accordance with an attached site plan; and

*WHEREAS*, the subject property is currently owned by John and Laura Gay and shall hereinafter be referred to as “Petitioner”; and

*WHEREAS*, on or about December 21, 2021, Petitioner’s representative filed a petition for a major amendment to an existing special use permit by deleting the site plan attached to Ordinance 2019-33 and replacing the site plan with a new, proposed site plan; and

*WHEREAS*, following due and proper notice by publication in the Kendall County Record on January 6, 2022, the Kendall County Zoning Board of Appeals initiated a public hearing on January 31, 2022, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, and continued the public hearing to February 28, 2022, at 7:00 p.m., at the same location, at which the Petitioner’s attorney presented evidence, testimony, and exhibits in support of the requested major amendment to an existing special use permit and zero members of the public testified in favor or in opposition to the request; and

*WHEREAS*, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended approval of the major amendment to an existing special use permit with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated February 28, 2022, a true and correct copy of which is attached hereto as Exhibit B; and

*WHEREAS*, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall

County Board a recommendation of approval of the requested major amendment to an existing special use permit with conditions; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and


WHEREAS, this special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a major amendment to an existing special use permit allowing the operation of a kennel on the subject property subject to the following conditions:
  - A. The site plan, security plan, landscaping plan, and lighting plan referenced as Exhibit C in Ordinance 2019-33 is replaced with the site plan attached hereto as Exhibit C, elevations attached hereto as Exhibit D, and landscaping plan attached hereto Exhibit E.
  - B. The vegetation and berm outlined in the landscaping plan attached hereto as Exhibit E shall be installed in the quantities outlined and described in the landscaping plan and shall be installed by June 1, 2022. The Planning, Building and Zoning Committee may extend this deadline upon the request of the property owner. Damaged or dead vegetation shall be replaced on a timeframe approved by the Planning, Building and Zoning Department.
  - C. The remaining conditions and restrictions contained in Ordinance 2019-33 shall remain effective.
  - D. Failure to comply with one or more of the above conditions or restrictions or the conditions and restrictions contained in Ordinance 2019-33 could result in the amendment or revocation of the special use permit.
  - E. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
3. This special use permit and major amendment to an existing special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.
4. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this special use permit.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 15<sup>th</sup> day of March, 2022.

Attest:

  
\_\_\_\_\_  
Kendall County Clerk  
Debbie Gillette

  
\_\_\_\_\_  
Kendall County Board Chairman  
Scott R. Gryder



Exhibit A

LEGAL DESCRIPTION

THAT PART OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, THENCE EASTERLY ALONG THE SOUTH LINE OF SAID NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, 1902.46 FEET TO A POINT IN THE EASTERLY RIGHT OF WAY OF PLAINFIELD ROAD FOR A POINT OF BEGINNING; THENCE NORTHWESTERLY ALONG THE EASTERLY RIGHT OF WAY LINE OF PLAINFIELD ROAD WHICH FORMS AN ANGLE OF 129 DEGREES 35 MINUTES 20 SECONDS TO THE LEFT FROM A PROLONGATION OF THE LAST DESCRIBED LINE, 354.51 FEET TO A POINT IN THE CENTER LINE OF MORGAN CREEK; THENCE NORTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK WHICH FORMS AN ANGLE OF 71 DEGREES 58 MINUTES 30 SECONDS WITH THE LAST DESCRIBED LINE, MEASURED FROM SOUTHEAST TO NORTHEAST, 131.19 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK BEING A CURVE TO THE RIGHT HAVING A RADIUS OF 150.00 FEET FOR AN ARC DISTANCE OF 100.42 FEET TO A POINT OF TANGENCY; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK, 933.39 FEET TO A POINT OF CURVATURE ; THENCE EASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK BEING A CURVE TO THE LEFT HAVING A RADIUS OF 753.23 FEET FOR AN ARC DISTANCE OF 149.51 FEET TO A POINT OF TANGENCY; THENCE EASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK 73.03 FEET; THENCE SOUTHERLY ALONG A LINE WHICH FORMS AN ANGLE OF 95 DEGREES 25 MINUTES 11 SECONDS MEASURED FROM WEST TO SOUTH WITH THE LAST DESCRIBED LINE, 20.00 FEET TO A POINT IN SAID SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, THENCE WESTERLY ALONG THE SAID SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, 1107.30 FEET TO THE POINT OF BEGINNING, ALL IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on February 28, 2022, by a vote of five (5) in favor and zero (0) in opposition. Members Thompson and Whitfield were absent.

**FINDINGS OF FACT-MAJOR AMENDMENT TO SPECIAL USE PERMIT**

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **Provided the Oswego Fire Protection District approves the new turnaround area and the Kendall County Highway Department approves the new access point, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. The immediately adjacent properties are also zoned A-1. There are no existing structures on adjacent properties within one hundred feet (100') of the property line. Taking into account the residential properties to the west and southwest of the property, the proposed kennel location will be situated on the east end of the property, thereby well-exceeding the two hundred fifty foot (250') setback requirement from any residential district set forth in the Zoning Ordinance. In addition, the Petitioners have a waste management plan and have considered the impact of noise on surrounding properties. A six foot (6') tall fencing is planned around the outdoor play area. The Petitioners intend to follow the Kendall County Zoning Ordinance as it relates to having all pets inside by dusk.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **As noted in the previous finding, the proposed special use will be setback further than the required setback for residentially zoned properties. The Petitioners plan to install a fence and appropriate lighting. The Petitioners agreed to have animals indoors by sunset. The proposed of hours of operation will also prevent injury to neighboring land uses.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **This is true. An existing curb cut is already located off of Plainfield Road at the subject property. The Petitioners will have to secure applicable permits related stormwater, drainage, well, septic systems, and the new driveway access.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. **Kendall County previously granted a variance regarding distance to non-residentially zoned or use properties through Ordinance 2019-33 at this property. No variances are necessary for the proposed amendment and the special use would otherwise conform to the applicable regulations of the district.***

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **True, the proposed use is consistent with an objective found on Page 6-34 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents" through the encouragement ". . . of locally owned businesses."***

## **RECOMMENDATION**

Approval subject to the following conditions and restrictions:

1. The site plan, security plan, landscaping plan, and lighting plan referenced as Exhibit C in Ordinance 2019-33 is replaced with the submitted site plan, elevations, and landscaping plan.
2. The vegetation and berm outlined in the landscaping plan shall be installed in the quantities outlined and described in the landscaping plan and shall be installed by June 1, 2022. The Planning, Building and Zoning Committee may extend this deadline upon the request of the property owner. Damaged or dead vegetation shall be replaced on a timeframe approved by the Planning, Building and Zoning Department.
3. The remaining conditions and restrictions contained in Ordinance 2019-33 shall remain effective.
4. Failure to comply with one or more of the above conditions or restrictions or the conditions and restrictions contained in Ordinance 2019-33 could result in the amendment or revocation of the special use permit.
5. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
6. This special use permit and major amendment to an existing special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.







REVISION RECORD

Table with columns: NO., DATE, REVISION. Contains a list of revisions for the drawing.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.

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A0.00

Exterior Rendering

Project No. 2151  
Date 12/13/2021  
Issued for Permit

NEW PET BOARDING FACILITY for:  
THE PETS HOME PET RESORT and SPA  
3601 PLAINFIELD, OSWEGO, ILLINOIS 60543

Gregory E. Lyons, Architect  
1000 N. 10th Street  
Suite 100  
Oswego, IL 60543  
Phone: 630-434-7778  
Fax: 630-434-3008  
Cell: 630-711-8888  
www.gelyons.com  
gelyons@comcast.net

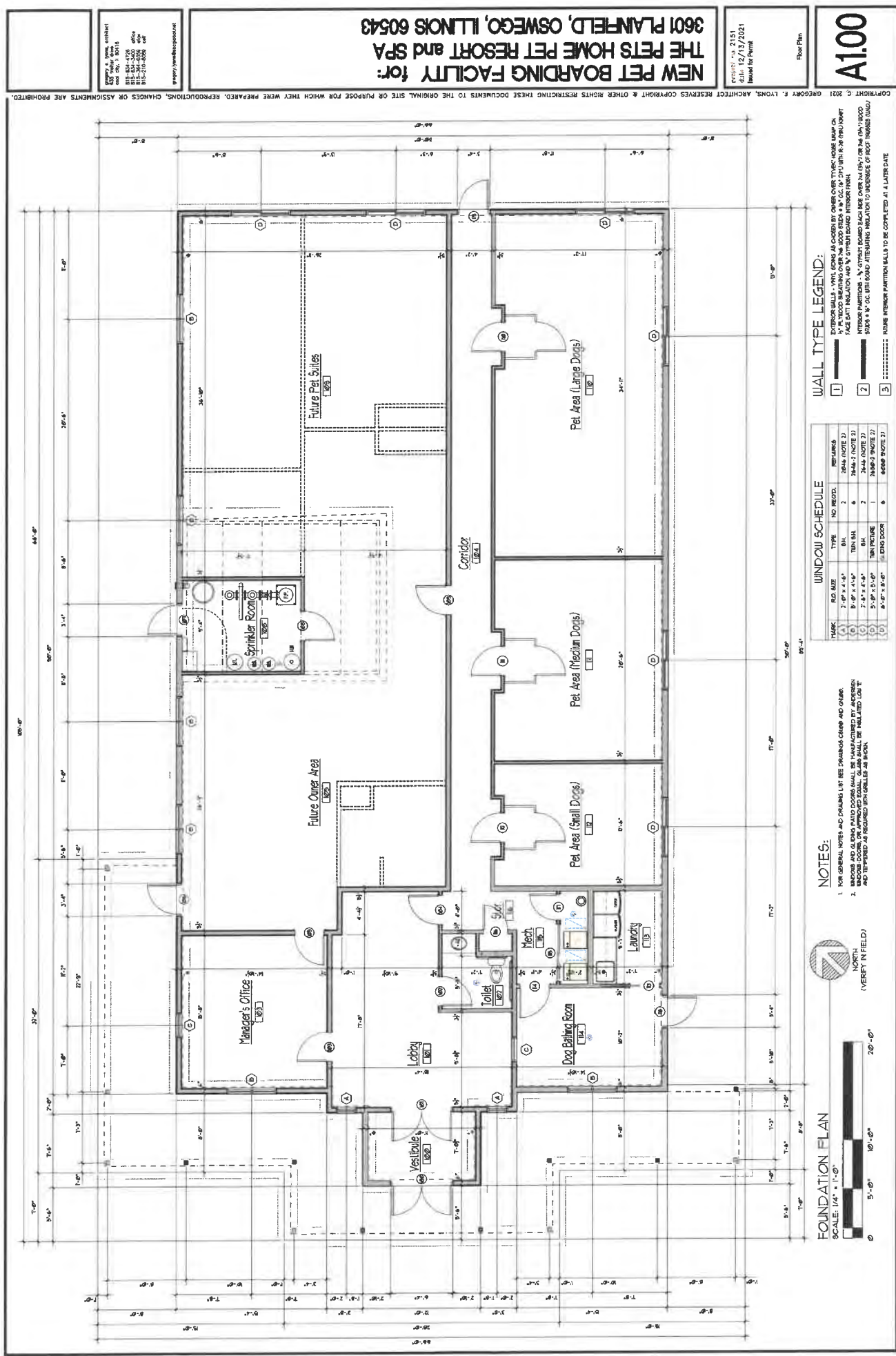


Exhibit D, Page 2

3601 PLAINFIELD, OSWEGO, ILLINOIS 60543

THE PETS HOME PET RESORT AND SPA

NEW PET BOARDING FACILITY for:

PROJECT NO. 2151  
DATE: 12/13/2021  
ISSUED FOR PERMITS

Floor Plan

A1.00

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GEORGE F. LYONS, ARCHITECT  
1111 S. 4th St., Suite 101  
Oswego, IL 60543  
630-231-4776  
630-231-4778  
630-231-4779  
630-231-4780  
630-231-4781

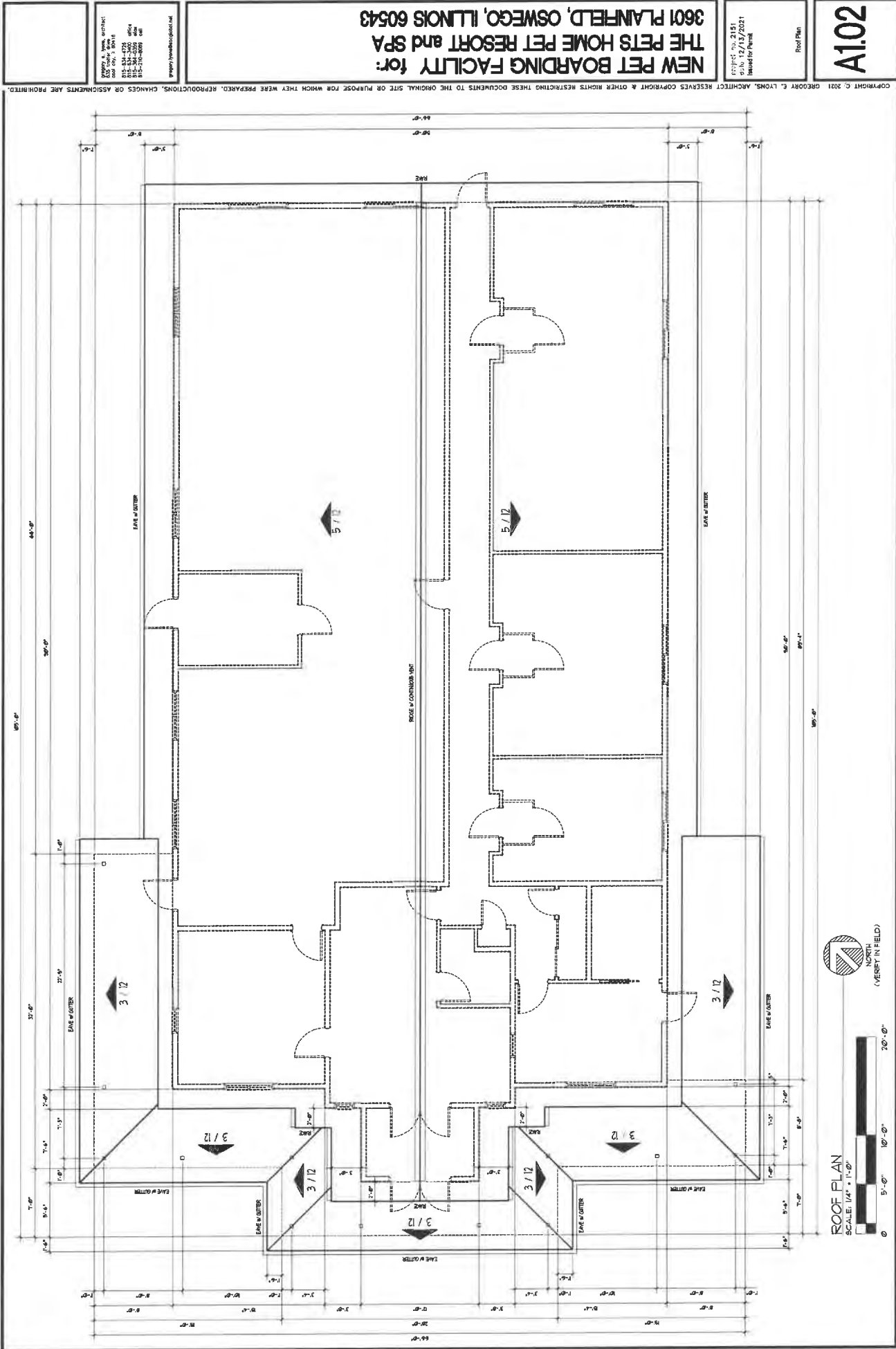
WALL TYPE LEGEND:  
1 EXTERIOR WALLS - 1/2" CONC. AS SHOWN BY OTHER OVER-THE-WALL DRAWING OR 1/2" CONC. BLOCKING OVER 2"OOD SIDES 1/2" CONC. 1/2" UP WITH 1/2" RIB JOINTS  
2 INTERIOR WALLS - 1/2" CONC. AS SHOWN BY OTHER OVER-THE-WALL DRAWING OR 1/2" CONC. BLOCKING OVER 2"OOD SIDES 1/2" CONC. 1/2" UP WITH 1/2" RIB JOINTS  
3 1/2" CONC. BLOCKING OVER 2"OOD SIDES 1/2" CONC. 1/2" UP WITH 1/2" RIB JOINTS

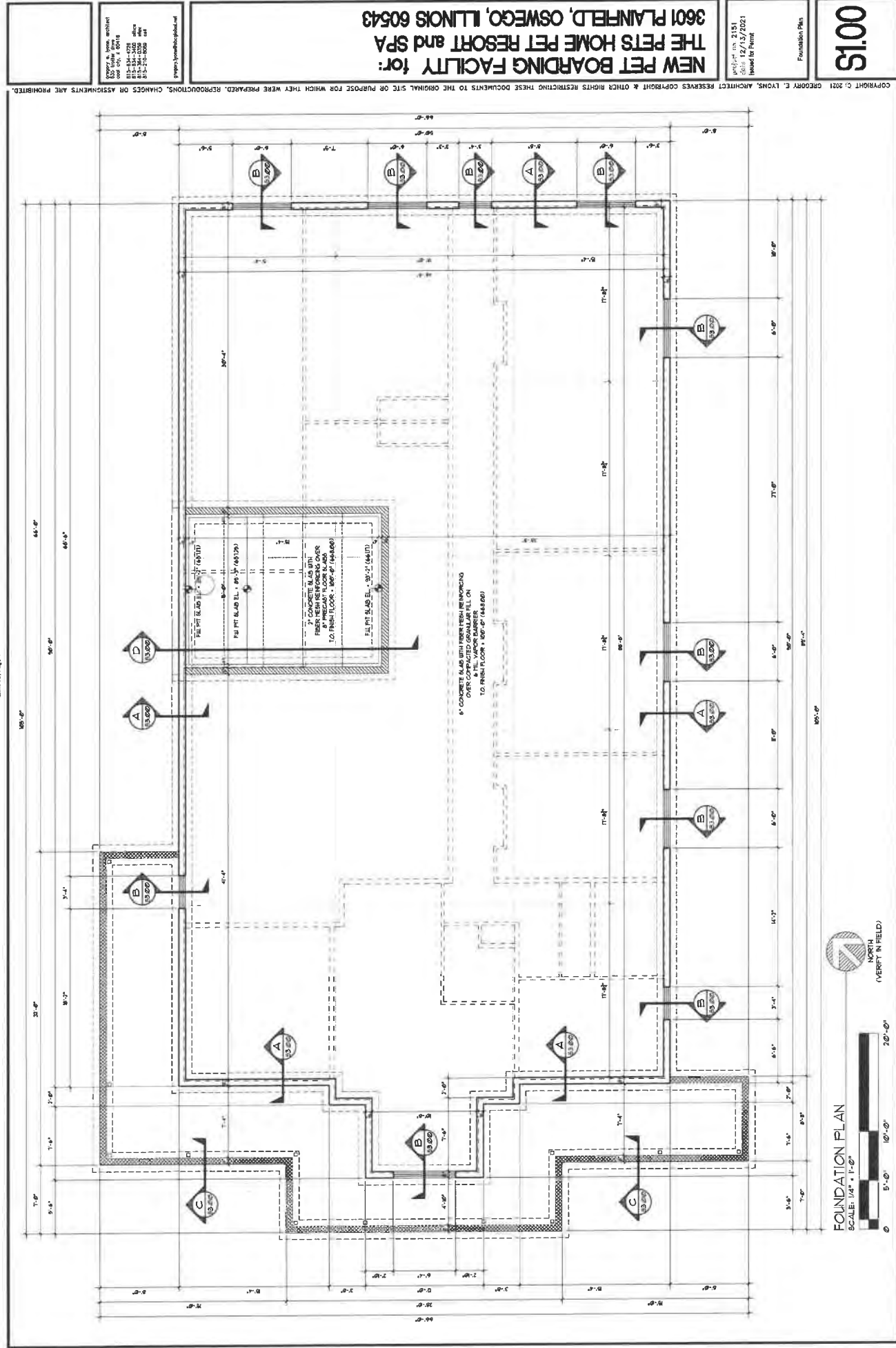
WINDOW SCHEDULE:  
WALL TYPE LEGEND:  
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2 INTERIOR WALLS - 1/2" CONC. AS SHOWN BY OTHER OVER-THE-WALL DRAWING OR 1/2" CONC. BLOCKING OVER 2"OOD SIDES 1/2" CONC. 1/2" UP WITH 1/2" RIB JOINTS  
3 1/2" CONC. BLOCKING OVER 2"OOD SIDES 1/2" CONC. 1/2" UP WITH 1/2" RIB JOINTS

NOTES:  
1. FOR GENERAL NOTES AND DETAILS LIST SEE DRAWINGS COVER AND COVER.  
2. WINDOWS AND GLASS PARTITIONS SHALL BE MANUFACTURED BY ANOTHER COMPANY AND BE REINFORCED WITH STEEL AS SHOWN.  
3. ALL WINDOWS SHALL BE REINFORCED WITH STEEL AS SHOWN.

FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"  
NORTH  
(VERIFY IN FIELD)  
0 5'-0" 10'-0" 20'-0"

59





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**NEW PET BOARDING FACILITY for:**  
**THE PETS HOME PET RESORT and SPA**  
**3601 PLAINFIELD, OSWEGO, ILLINOIS 60543**

Project No. 2151  
 Date: 12/13/2021  
 Issued for Permit

Foundation Plan  
**\$1.00**

Sheet D, Page 4

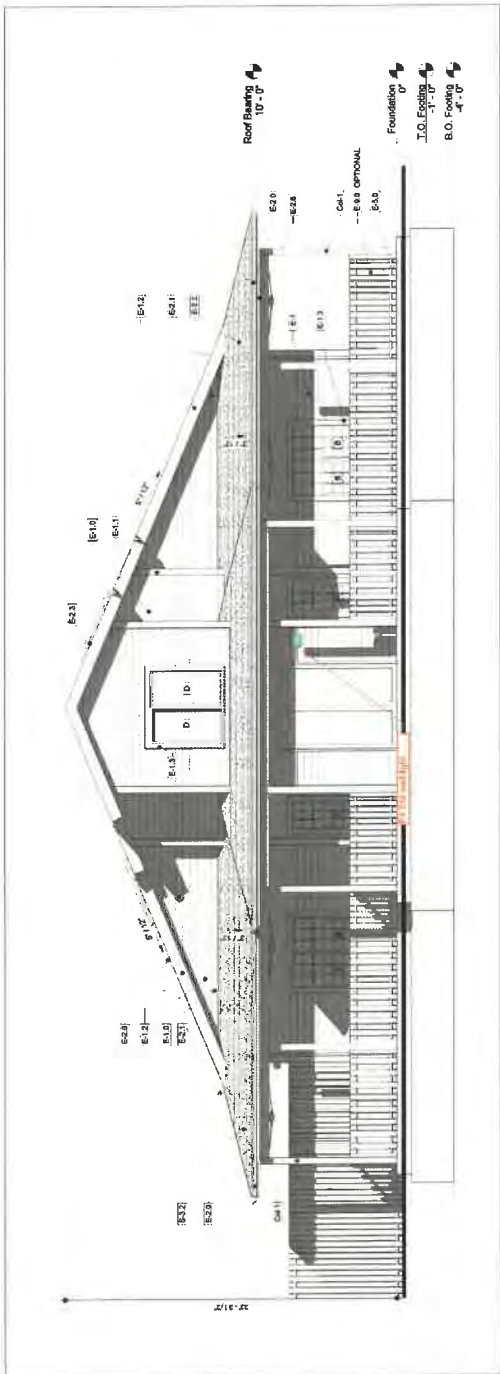


**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

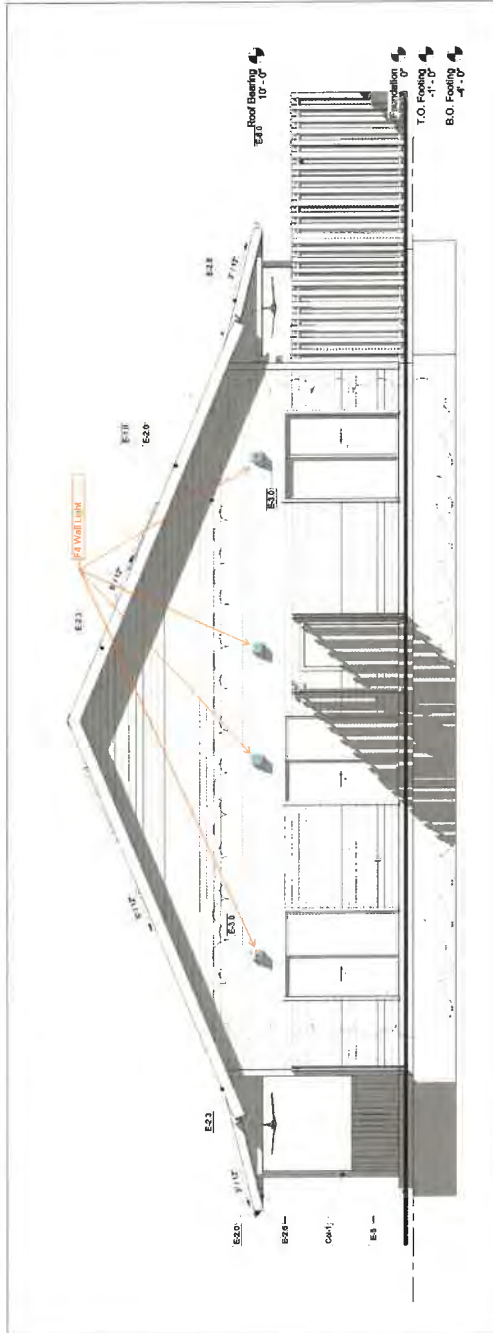


**ELEVATION'S KEYNOTE LEGEND**

KEY MARK	KEY DESCRIPTION
COL-1	4x4 TREATED WOOD POST w/ OPTION STEEL-TIE BASE AND CAP CONN.
E-1P	HARDIE BOARD - W/TL. LAP KEYS (DARK RED)
E-1U	W/TL. 2x4 CORN. B. BOARD (WHITE)
E-2	W/TL. 2x4 FASCIA BOARD (WHITE)
E-2B	W/TL. 2x4 TOST BOARD (WHITE)
E-2C	W/TL. 2x4 TOST BOARD (WHITE)
E-2D	W/TL. 2x4 TOST BOARD (WHITE)
E-2E	W/TL. 2x4 TOST BOARD (WHITE)
E-2F	W/TL. 2x4 TOST BOARD (WHITE)
E-2G	W/TL. 2x4 TOST BOARD (WHITE)
E-2H	W/TL. 2x4 TOST BOARD (WHITE)
E-2I	W/TL. 2x4 TOST BOARD (WHITE)
E-2J	W/TL. 2x4 TOST BOARD (WHITE)
E-2K	W/TL. 2x4 TOST BOARD (WHITE)
E-2L	W/TL. 2x4 TOST BOARD (WHITE)
E-2M	W/TL. 2x4 TOST BOARD (WHITE)
E-2N	W/TL. 2x4 TOST BOARD (WHITE)
E-2O	W/TL. 2x4 TOST BOARD (WHITE)
E-2P	W/TL. 2x4 TOST BOARD (WHITE)
E-2Q	W/TL. 2x4 TOST BOARD (WHITE)
E-2R	W/TL. 2x4 TOST BOARD (WHITE)
E-2S	W/TL. 2x4 TOST BOARD (WHITE)
E-2T	W/TL. 2x4 TOST BOARD (WHITE)
E-2U	W/TL. 2x4 TOST BOARD (WHITE)
E-2V	W/TL. 2x4 TOST BOARD (WHITE)
E-2W	W/TL. 2x4 TOST BOARD (WHITE)
E-2X	W/TL. 2x4 TOST BOARD (WHITE)
E-2Y	W/TL. 2x4 TOST BOARD (WHITE)
E-2Z	W/TL. 2x4 TOST BOARD (WHITE)
E-3	3/8" YEAR COMPOSITE ANNUAL RAINWATER (DARKER GREEN)
E-3A	CONTINUOUS ROOF VENT (COLOR TO MATCH ROOFING)
E-3B	VENTED W/TL. BATT (WHITE)
E-3C	EXPOSED/VEILED LIGHT FIXTURE
E-4	4x4x8 (USE CMC CHANNELS FOR BRACKLE PLAN)
E-4A	W/TL. 2x4 TOST BOARD (WHITE)
E-4B	W/TL. 2x4 TOST BOARD (WHITE)
E-4C	W/TL. 2x4 TOST BOARD (WHITE)
E-4D	W/TL. 2x4 TOST BOARD (WHITE)
E-4E	W/TL. 2x4 TOST BOARD (WHITE)
E-4F	W/TL. 2x4 TOST BOARD (WHITE)
E-4G	W/TL. 2x4 TOST BOARD (WHITE)
E-4H	W/TL. 2x4 TOST BOARD (WHITE)
E-4I	W/TL. 2x4 TOST BOARD (WHITE)
E-4J	W/TL. 2x4 TOST BOARD (WHITE)
E-4K	W/TL. 2x4 TOST BOARD (WHITE)
E-4L	W/TL. 2x4 TOST BOARD (WHITE)
E-4M	W/TL. 2x4 TOST BOARD (WHITE)
E-4N	W/TL. 2x4 TOST BOARD (WHITE)
E-4O	W/TL. 2x4 TOST BOARD (WHITE)
E-4P	W/TL. 2x4 TOST BOARD (WHITE)
E-4Q	W/TL. 2x4 TOST BOARD (WHITE)
E-4R	W/TL. 2x4 TOST BOARD (WHITE)
E-4S	W/TL. 2x4 TOST BOARD (WHITE)
E-4T	W/TL. 2x4 TOST BOARD (WHITE)
E-4U	W/TL. 2x4 TOST BOARD (WHITE)
E-4V	W/TL. 2x4 TOST BOARD (WHITE)
E-4W	W/TL. 2x4 TOST BOARD (WHITE)
E-4X	W/TL. 2x4 TOST BOARD (WHITE)
E-4Y	W/TL. 2x4 TOST BOARD (WHITE)
E-4Z	W/TL. 2x4 TOST BOARD (WHITE)
E-5	WHITE PVC FINISH (OPTIONAL)



**FRONT ELEVATION (Reversed)**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION (Reversed)**  
SCALE: 1/4" = 1'-0"

**NOTES:**

1. FOR GENERAL NOTES AND DRAWING LIST SEE DRAWINGS CLUMP AND SLIDE.

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**NEW PET BOARDING FACILITY for:**  
**THE PETS HOME PET RESORT and SPA**  
**3601 PLAINFIELD, OSWEGO, ILLINOIS 60543**

PROJECT NO. 2151  
DATE 12/13/2021  
ISSUED FOR PERM.

Exterior Elevations

**A2.00**









Project: The Pets Home  
3601 Plainfield Rd.  
Oswego IL. 60543

Mr. Asselmeier,

It has been brought to our attention that a request for an extension may be required with regards to the completion date of our landscaping plan at 3601 Plainfield Road which is currently scheduled for June 1, 2022 per condition 2.B of Ordinance 2022-09. It has taken some additional time to get through the permitting process to start construction so we would like to formally request an extension until July 31, 2022 as a revised completion date.

John Gay

Laura Gay

A large black rectangular redaction box covers the names and signatures of John Gay and Laura Gay. A blue line extends from the right side of the redaction box.



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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141 Fax (630) 553-4179

**MEMORANDUM**

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To: Planning, Building and Zoning Committee  
From: Matthew H. Asselmeier, AICP, CFM, Senior Planner  
Date: May 2, 2022  
Re: Landscaping Extension Deadline at 10744 Route 47

---

Condition 2.J of Ordinance 2021-23, which granted a special use permit for a landscaping business at the subject property, requires the landscaping to be installed by June 1, 2022. The Ordinance also allows the Planning, Building and Zoning Committee to grant extensions to the installation deadline. A copy of Ordinance 2021-23 is attached.

On April 27, 2022, the Petitioner's Attorney submitted a request asking that the deadline to install the landscaping be extended to October 1, 2022. A copy of the request is attached.

If you have any questions regarding this memo, please let me know.

MHA

Encs.: Ordinance 2021-23  
Extension Request

ORDINANCE NUMBER 2021- 23

**GRANTING A SPECIAL USE PERMIT ON PROPERTY ZONED B-3 HIGHWAY BUSINESS DISTRICT FOR A LANDSCAPING BUSINESS AT 10744 ROUTE 47 (PIN: 05-28-400-002) IN KENDALL TOWNSHIP**

WHEREAS, Section 13.08 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted; and

WHEREAS, Section 9:03.D.15 of the Kendall County Zoning Ordinance permits the operation of landscaping businesses as a special use with certain restrictions in the B-3 Highway Business Zoning District; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 13.7 more or less acres located at 10744 Route 47 and identified by Parcel Identification Number 05-28-400-002, in Kendall Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property”; and

WHEREAS, on October 12, 1982, the Kendall County Board approved Ordinance 1982-10 which granted a special use permit for the storage of recreational vehicles, boats, and antique cars with conditions at the subject property; and

WHEREAS, the subject property is currently owned by Always Faithful Properties, LLC as represented by Robert Velazquez shall be referred to as “Petitioner”; and

WHEREAS, on or about July 26, 2021, Petitioner’s representative filed a petition for a Map Amendment rezoning the subject property from A-1 Agricultural District to B-3 Highway Business District; and

WHEREAS, on or about August 24, 2021, the Petitioner’s representative filed a petition for a special use permit for a landscaping business at the subject property; and

WHEREAS, following due and proper notice by publication in the Kendall County Record on September 2, 2021, the Kendall County Zoning Board of Appeals conducted a public hearing on September 27, 2021, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, at which the Petitioner and their representative presented evidence, testimony, and exhibits in support of the requested special use permit and zero members of the public testified in favor or in opposition or expressed concerns regarding the requested special use permit; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended approval with conditions of the special use permit for a landscaping business as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated September 27, 2021, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of approval of the requested special use permit; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a special use permit allowing the operation of a landscaping business on the subject property subject to the following conditions:
  - A. The site shall be developed substantially in accordance with the site plan attached hereto as Exhibit C, landscaping plan attached hereto as Exhibit D, and photometric plan attached hereto as Exhibit E including allowing for illuminated signage. The gravel parking lot noted on the site plan shall be composed of either limestone or asphalt screenings. The fourteen (14) light poles shown on the site plan and mentioned in the photometric plan shall be a maximum twenty feet (20') feet in height. The owner of the business allowed by this special use permit may also install a security gate at the main driveway entrance.
  - B. All of the structures shown on the site plan attached hereto as Exhibit C shall be constructed and occupied by December 31, 2022. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The business allowed by this special use permit may commence operations starting upon approval of the special use permit. However, customers shall not be invited onto the property until an occupancy permit has been issued for the office building.
  - C. The owners of the business allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored on the subject property and shall promptly clean up the site if leaks occur.
  - D. Any new structures and signs constructed or installed on the property shall not be considered for agricultural purposes and must secure applicable building permits.
  - E. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors.
  - F. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
  - G. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.


- H. Except for the purposes of loading and unloading, all landscape related materials shall be stored indoors or in the designated storage areas shown on the site plan attached hereto as Exhibit C. The maximum height of the piles of landscaping related material shall be ten feet (10'), provided a Stormwater Management Permit is issued.
  - I. One (1) two (2)-sided business related sign may be installed in substantially the location shown on the site plan attached hereto as Exhibit C. The sign shall be a maximum of ten (10') wide and five feet (5') tall, including supports. The sign may be illuminated between the hours of 6:00 a.m. and 8:00 p.m.
  - J. The landscaping shown on the landscaping plan attached hereto as Exhibit D shall be installed no later than June 1, 2022. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The Red Sunset Maples shall be a minimum of two point five inch (2.5") caliber at the time of planting. The Skyline Honeylocusts shall be a minimum of two point five inch (2.5") caliber at the time of planting. The Techny Arborvitae shall be a minimum six feet (6') tall at the time of planting. Damaged or dead plants that are part of the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. Nursery stock shall be exempt from this provision.
  - K. No landscape waste generated off the property can be burned on the subject property.
  - L. A maximum of fifty (50) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work.
  - M. The hours of operation of the business allowed by this special use permit for the members of the public shall be Monday through Friday from 7:00 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
  - N. The hours of operation of the business allowed by this special use permit for employees of the business shall be Monday through Friday from 5:00 a.m. until 7:00 p.m. and Saturday from 7:00 a.m. until 1:00 p.m. The owner of the business allowed by this special use permit may expand these hours of operation for employees to address the needs of customers impacted by snowfall. Business related deliveries may occur during these hours of operation. The owners of the business allowed by this special use permit may reduce these hours of operation.
  - O. The noise regulations are as follows:
    - Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.
    - Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.
- EXEMPTION: Powered Equipment:** Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven


o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

- P. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
  - Q. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
  - R. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
  - S. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
3. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.
  4. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this special use permit.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 19<sup>th</sup> day of October, 2021.

Attest:

  
Kendall County Clerk  
Debbie Gillette

  
Kendall County Board Chairman  
Scott R. Gryder

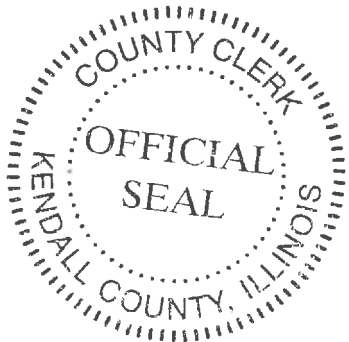


Exhibit A

That part of the Southeast Quarter of Section 28, Township 36 North, Range 7 East of the Third Principal Meridian, described as follows: Commencing at the Southwest corner of said Southeast Quarter; thence North along the West line of said Quarter, 642.65 feet for the point of beginning; thence Easterly at right angles to said West line 647.36 feet; thence Northerly along a line forming an angle of 89 degrees 35 minutes 05 seconds, measured clockwise from the last described course, 1012.69 feet; thence Westerly along a line forming an angle of 89 degrees 56 minutes 12 seconds, measured clockwise from the last described course, 640.04 feet to the West line of said Southeast Quarter thence Southerly along said West line 1007.32 feet to the point of beginning (except that part thereof lying within the right of way of Illinois State Route No. 47 and being described in a Judgment recorded November 13, 1991 as Document No. 917979) in the Township of Kendall, Kendall County, Illinois.

## Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on September 27, 2021, by a vote of five (5) in favor and zero (0) in opposition. Members Clementi and Whitfield were absent.

### FINDINGS OF FACT

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **Provided the site is developed in accordance with the submitted site plan, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **Adequate utilities are planned for the site. The property has direct access to Route 47 and the Illinois Department of Transportation expressed no concerns regarding the proposed use. A stormwater management permit is required and that permit will address drainage.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. **The Petitioner is not requesting any variances to the applicable regulations of the district.***

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **True, the proposed use is consistent with a goal found on Page 7-26 of the Kendall County Land Resource Management Plan which calls for “a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents.” An objective under this goal further states, “Explore economic development opportunities along Route 47 Corridor to enhance the tax base and to encourage local employment and shopping opportunities.”***

### RECOMMENDATION

Approval subject to the following conditions and restrictions:

1. The site shall be developed substantially in accordance with the submitted site plan, landscaping plan, and photometric plan, including allowing for illuminated signage. The gravel parking lot noted on the site plan shall be composed of either limestone or asphalt screenings. The fourteen (14) light poles shown on the site plan and mentioned in the photometric plan shall be a maximum twenty feet (20') feet in height. The owner of the business allowed by this special use permit may also install a security gate at the main driveway entrance.



2. All of the structures shown on the submitted site plan shall be constructed and occupied by December 31, 2022. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The business allowed by this special use permit may commence operations starting upon approval of the special use permit. However, customers shall not be invited onto the property until an occupancy permit has been issued for the office building.
3. The owners of the business allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored on the subject property and shall promptly clean up the site if leaks occur.
4. Any new structures and signs constructed or installed on the property shall not be considered for agricultural purposes and must secure applicable building permits.
5. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors.
6. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
7. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
8. Except for the purposes of loading and unloading, all landscape related materials shall be stored indoors or in the designated storage areas shown on the submitted site plan. The maximum height of the piles of landscaping related material shall be ten feet (10'), provided a Stormwater Management Permit is issued.
9. One (1) two (2)-sided business related sign may be installed in substantially the location shown on the submitted site plan. The sign shall be a maximum of ten (10') wide and five feet (5') tall, including supports. The sign may be illuminated between the hours of 6:00 a.m. and 8:00 p.m.
10. The landscaping shown on the submitted landscaping plan shall be installed no later than June 1, 2022. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The Red Sunset Maples shall be a minimum of two point five inch (2.5") caliber at the time of planting. The Skyline Honeylocusts shall be a minimum of two point five inch (2.5") caliber at the time of planting. The Techny Arborvitaes shall be a minimum six feet (6') tall at the time of planting. Damaged or dead plants that are part of the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. Nursery stock shall be exempt from this provision.
11. No landscape waste generated off the property can be burned on the subject property.
12. A maximum of fifty (50) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work.
13. The hours of operation of the business allowed by this special use permit for the members of the public shall be Monday through Friday from 7:00 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
14. The hours of operation of the business allowed by this special use permit for employees of the business shall be Monday through Friday from 5:00 a.m. until 7:00 p.m. and Saturday from 7:00 a.m. until 1:00 p.m. The owner of the business allowed by this special use permit may expand these hours of operation for employees to address the needs of customers impacted by snowfall. Business related deliveries may occur during these hours of operation. The owners of the business

allowed by this special use permit may reduce these hours of operation.

15. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

**EXEMPTION: Powered Equipment:** Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

16. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
17. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
18. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
19. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
20. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

# ENGINEERING PLANS FOR SEMPER FI LAND SITE PLAN

## SECTION 28, TOWNSHIP 36 NORTH, RANGE 7 EAST 10744 US ROUTE 47 YORKVILLE, IL 60560 KENDALL COUNTY OCTOBER, 2021

LEGEND	
---	PROPERTY BOUNDARY
---	EXISTING CONTOUR LINE
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATERMAIN
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING GAS SERVICE
---	EXISTING TELEPHONE
---	PROPOSED CONTOUR LINE
---	PROPOSED WATERMAIN
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED GREASE SERVICE LINE
---	PROPOSED VENT LINE
---	EXISTING FENCELINE
---	PROPOSED SALT FENCE
○	EXISTING SPOT ELEVATION
○	PROPOSED SPOT ELEVATION
+	PROPOSED
+	WATER
+	HYDRANT
+	VALVE
+	VALVE VAULT
+	INLET-CURB
+	INLET OR MANHOLE
+	FLARED DSG SECTION
+	CLEANOUT
+	MANHOLE
+	R.O.W. MONUMENT
+	UTILITY POLE
+	GUY WIRE LOC.
+	UTL. CANNEL
+	UTL. PEDestal
+	LIGHT POLE
+	TRAFFIC SIGNAL
+	ELECTRIC VALVE
+	GAS VALVE
+	OBSTACLE RELIEF
+	FLOW DIRECTION

PROJECT LOCATION



- BENCHMARKS:**
1. UNITED CITY OF YORKVILLE - SKIDWAY CONTROL MONUMENT # 6  
ELEVATION = 438.64 - (MAY BE DATA 1)
  2. UNITED CITY OF YORKVILLE - SKIDWAY CONTROL MONUMENT # 7  
ELEVATION = 432.28 - (MAY BE DATA 1)

**PLANS PREPARED FOR:**  
ALWAYS FUTURE PROPERTIES, LLC  
YORKVILLE, IL 60560  
PHONE: (630) 318-0484

**CIVIL ENGINEER:**  
TEBRUGGE ENGINEERING  
3400 N. ILLINOIS  
YORKVILLE, IL 60560  
(815) 786-0195  
WWW.TEBRUGGEENGINEERING.COM

**INDEX TO SHEETS**

1. COVER SHEET
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. STORMWATER POLLUTION & PREVENTION PLAN 1
4. STORMWATER POLLUTION & PREVENTION PLAN 2
5. CIVIL SITE PLANS
6. GENERAL NOTES & DETAILS



**Know what's below.  
Call before you dig.**

Contractor need to submit applications which verify location of all underground utilities prior to digging. Contact 811 (i.e. Joint Utility) Location for information at 1-800-480-6373 or call 811.

**UTILITY STATEMENT**

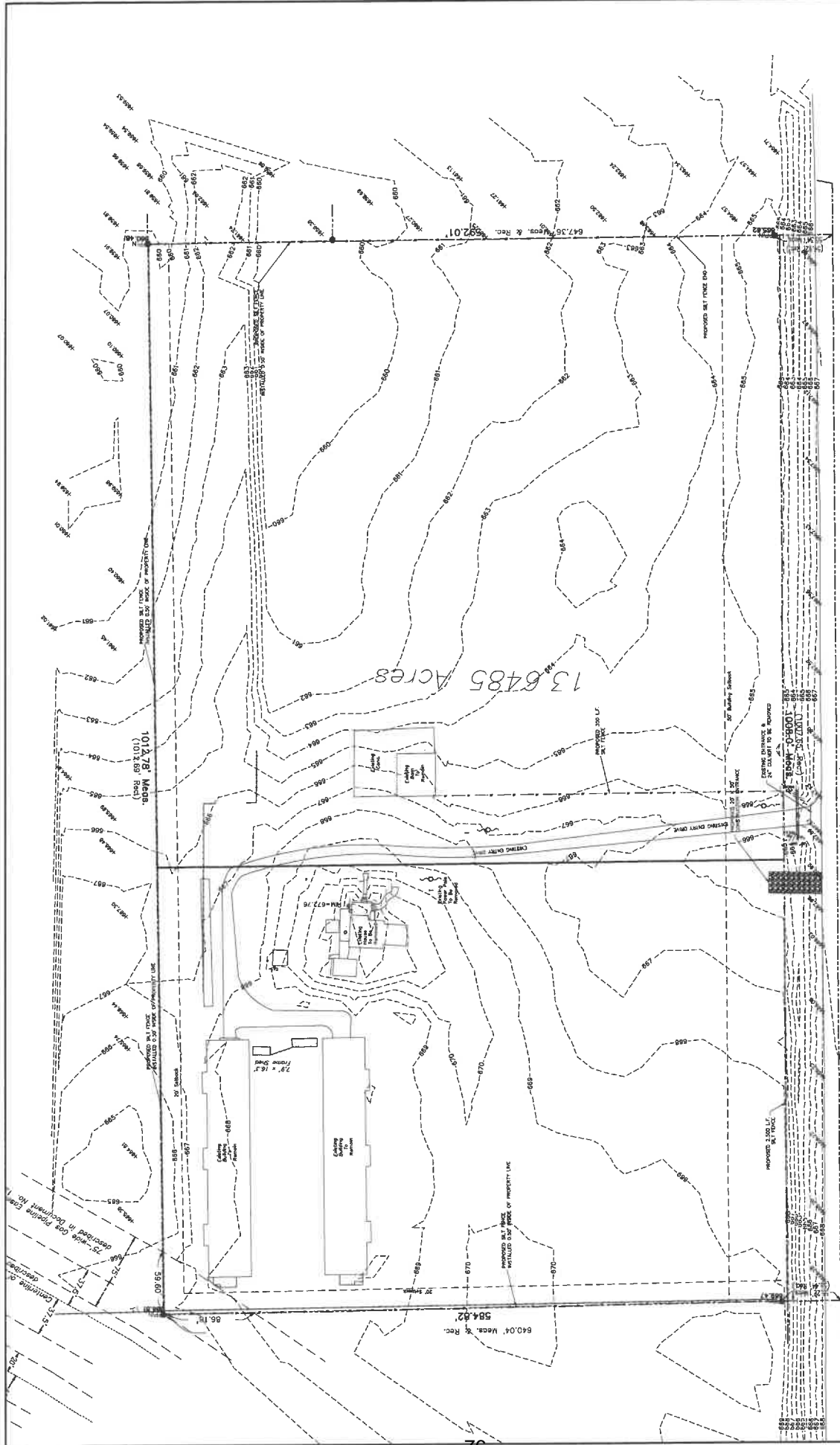
THE UNDERSIGNED HAS BEEN ADVISED THAT THE LOCATION OF ALL UNDERGROUND UTILITIES HAS BEEN OBTAINED FROM THE CITY OF YORKVILLE, ILLINOIS. THE LOCATION OF ALL UNDERGROUND UTILITIES HAS BEEN OBTAINED FROM THE CITY OF YORKVILLE, ILLINOIS. THE LOCATION OF ALL UNDERGROUND UTILITIES HAS BEEN OBTAINED FROM THE CITY OF YORKVILLE, ILLINOIS. THE LOCATION OF ALL UNDERGROUND UTILITIES HAS BEEN OBTAINED FROM THE CITY OF YORKVILLE, ILLINOIS.

PROFESSIONAL ENGINEERS CERTIFICATION  
STATE OF ILLINOIS, COURT OF RECORD  
I, **TEBRUGGE ENGINEERING, LLC**, REGISTERED PROFESSIONAL ENGINEER, NO. 0065-041828, EXPIRES NOV. 30, 2021.


*John J. Tebrugge*  
REGISTERED PROFESSIONAL ENGINEER  
NO. 0065-041828 EXPIRES NOV. 30, 2021



CONTRACT # 2019-01 BY TEBRUGGE ENGINEERING, LLC. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF TEBRUGGE ENGINEERING, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TEBRUGGE ENGINEERING, LLC.

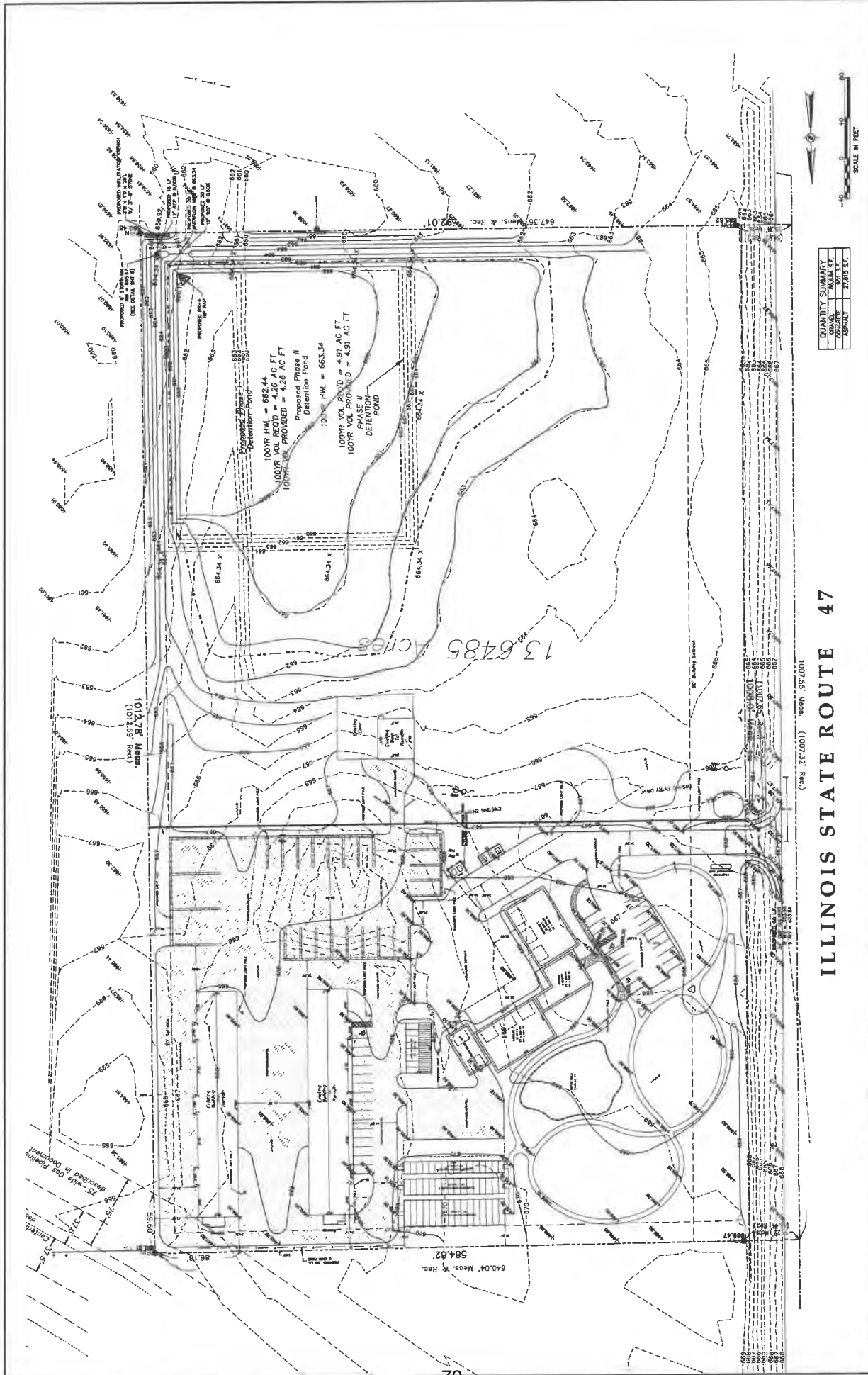


# ILLINOIS STATE ROUTE 47

 <b>TEBRUGGE ENGINEERING</b> 4108 W. 117th Street, Suite 4 • Grandview, IL 60148 Phone: (630) 764-1015 • tebruggengineer.com	PREPARED FOR: <b>ALWAYS FAITHFUL PROPERTIES, LLC</b> 1215 DEER ST., YORKVILLE, IL 60560	PROJECT NO.: 21493.01 SCALE: 1" = 40' DATE: JUNE 30, 2021	SHEET NO.: <b>2</b> OF 6 SHEETS
	<b>SEMPER FI LAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE</b> <b>EXISTING CONDITIONS &amp; DEMOLITION PLAN</b>		







QUANTITY SUMMARY

GRAVEL	2,718 3.5'
TOPSOIL	2,718 3.5'



**ILLINOIS STATE ROUTE 47**

**SEMPER FILAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE**

**CIVIL SITE PLAN**

PREPARED FOR:  
**ALWAYS FAITHFUL PROPERTIES, LLC**  
 1215 DEER ST., YORKVILLE, IL 60360

TEBRUGGE ENGINEERING  
 410 E. CROWN STREET - SUITE A - BARDONVILLE, IL 60015  
 PHONE: 618-240-1234    TEBRUGGEENGINEERING.COM

DATE: 5/17/21  
 NOTES: SEE DRAWING(S) FOR DETAILS

REVISIONS:

NO.	DATE	DESCRIPTION
1	5/17/21	ISSUED FOR PERMIT

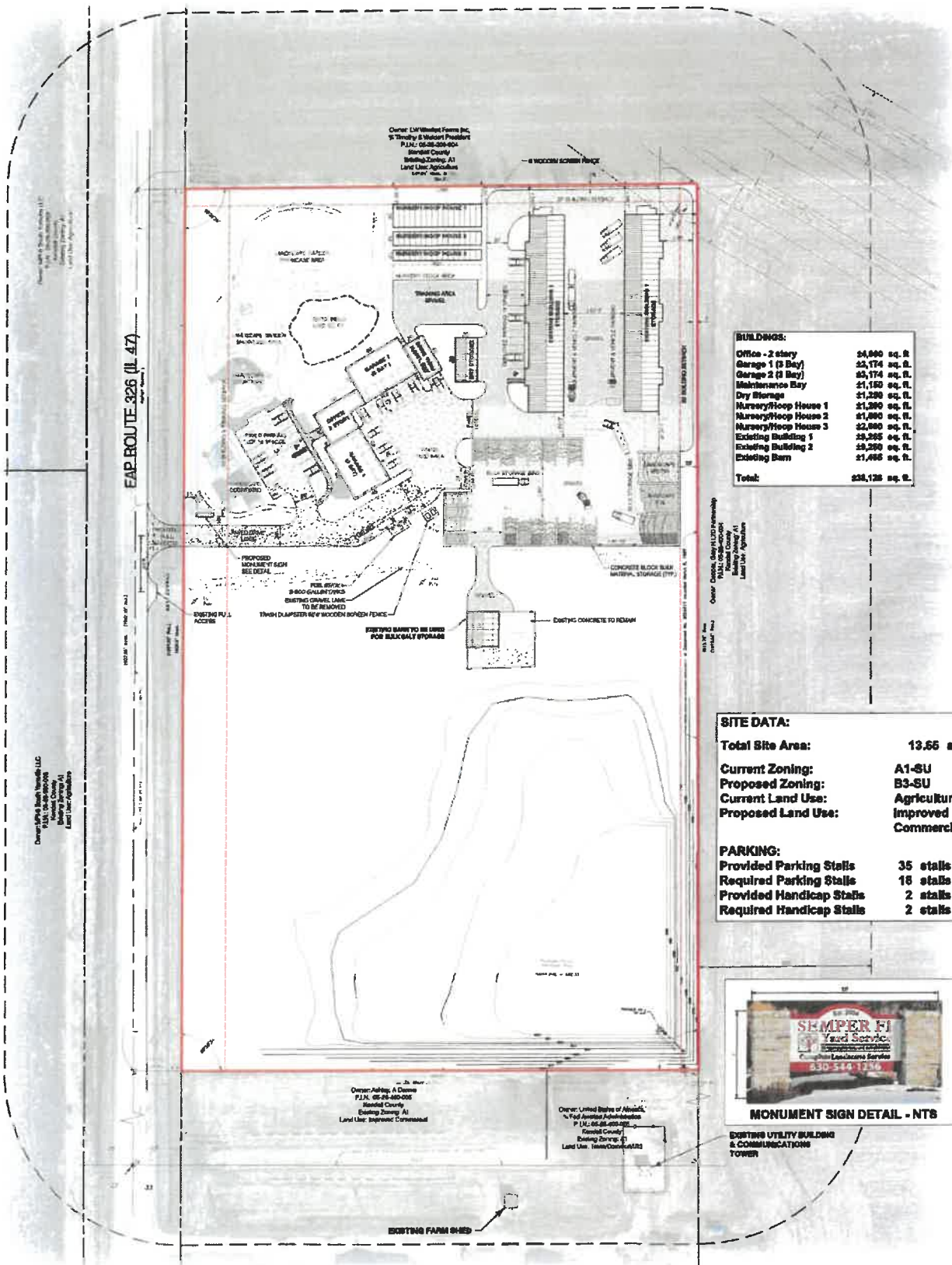
PROJECT NO. 21493.01  
 SHEET NO. **5**  
 SCALE 1" = 40'  
 DATE: JUNE 30, 2021  
 OF 6 SHEETS





# SEMPER FI ROUTE 47 PROPERTY

Exhibit C, Page 7  
Kendall County, Illinois



**BUILDINGS:**

Office - 2 story	54,000 sq. ft.
Garage 1 (2 Bay)	23,174 sq. ft.
Garage 2 (2 Bay)	23,174 sq. ft.
Maintenance Bay	21,150 sq. ft.
Dry Storage	21,200 sq. ft.
Nursery/Hoop House 1	21,200 sq. ft.
Nursery/Hoop House 2	21,000 sq. ft.
Nursery/Hoop House 3	22,000 sq. ft.
Existing Building 1	25,200 sq. ft.
Existing Building 2	25,200 sq. ft.
Existing Barn	21,000 sq. ft.
<b>Total:</b>	<b>228,126 sq. ft.</b>

**SITE DATA:**

<b>Total Site Area:</b>	<b>13.66 ac.</b>
<b>Current Zoning:</b>	<b>A1-SU</b>
<b>Proposed Zoning:</b>	<b>B3-SU</b>
<b>Current Land Use:</b>	<b>Agriculture</b>
<b>Proposed Land Use:</b>	<b>Improved Commercial</b>

**PARKING:**

<b>Provided Parking Stalls</b>	<b>35 stalls</b>
<b>Required Parking Stalls</b>	<b>16 stalls</b>
<b>Provided Handicap Stalls</b>	<b>2 stalls</b>
<b>Required Handicap Stalls</b>	<b>2 stalls</b>



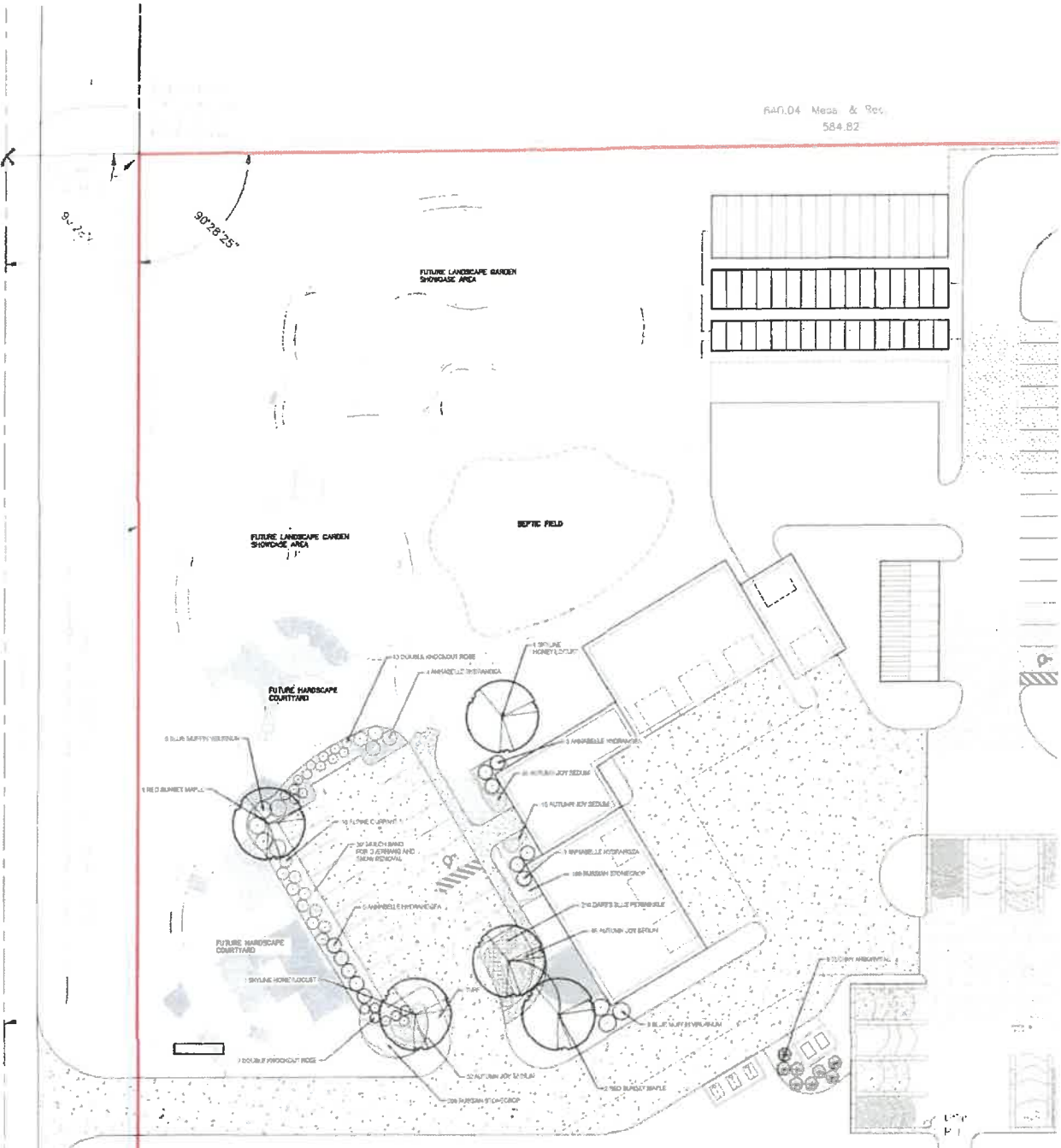
EXISTING UTILITY BUILDING & COMMUNICATIONS TOWER

## SITE PLAN



# Exhibit D SEMPER FI ROUTE 47 PROPERTY Kendall County, Illinois

RA01.04 Mesa & Rev.  
584.82

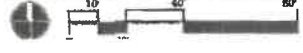


1:1007.65' Plan  
1:1008.0' Meas.

### MATERIALS LIST

Item Name	Quantity	Unit	Price
100' x 100' x 100' Concrete	1	cu yd	150.00
100' x 100' x 100' Gravel	1	cu yd	100.00
100' x 100' x 100' Sand	1	cu yd	80.00
100' x 100' x 100' Topsoil	1	cu yd	120.00
100' x 100' x 100' Mulch	1	cu yd	60.00
100' x 100' x 100' Fertilizer	1	cu yd	40.00
100' x 100' x 100' Water	1	cu yd	20.00
100' x 100' x 100' Labor	1	cu yd	100.00
100' x 100' x 100' Equipment	1	cu yd	50.00
100' x 100' x 100' Permits	1	cu yd	30.00
100' x 100' x 100' Insurance	1	cu yd	20.00
100' x 100' x 100' Contingency	1	cu yd	10.00
100' x 100' x 100' Total	1	cu yd	1000.00

## LANDSCAPE PLAN

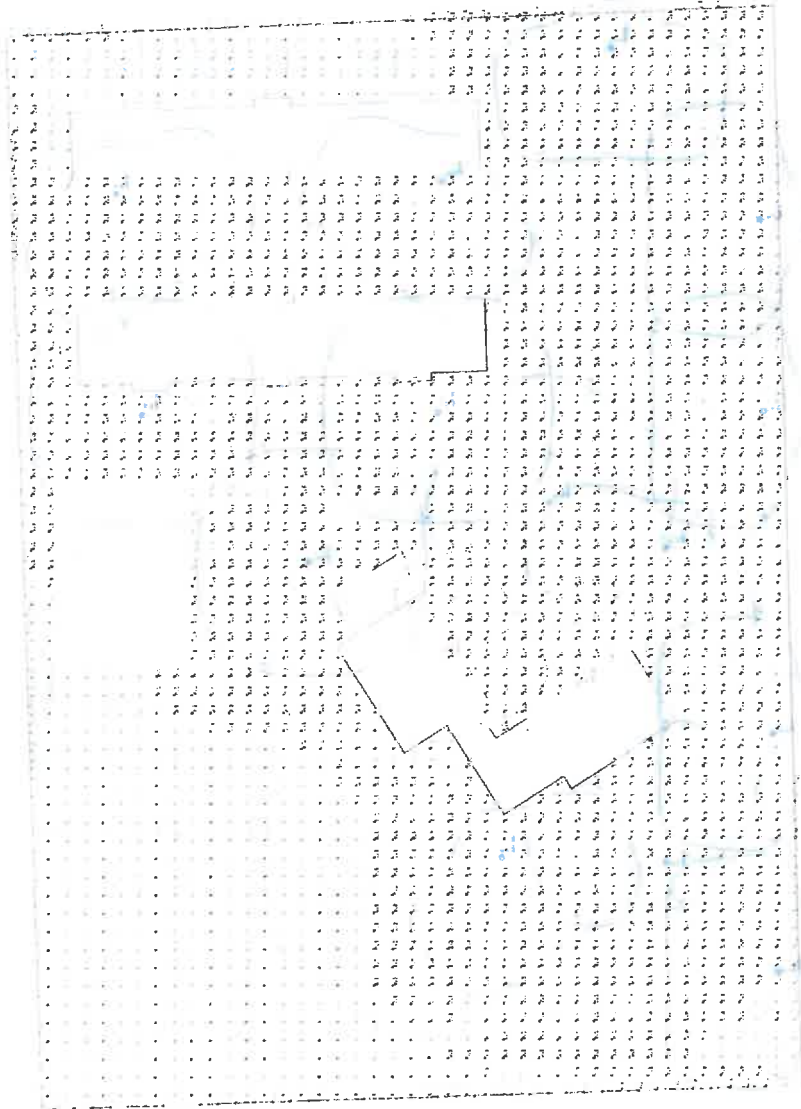


Prepared For: **ALWAYS FAITHFUL PROPERTIES, LLC**  
1994 Concordia Trail  
Bellaire, IL 60212

Prepared By: **sda**  
**Schaepple Design Associates, Inc.**  
LAND PLANNING & ENVIRONMENTAL ARCHITECTURE

Date: **AUGUST 18, 2021**

124 S. Main Street  
Champaign, IL 61820  
PH: 618.331-0035  
F: 618.331-8839  
SCHAEPPLEDESIGN.COM



**Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.**

Symbol	Qty	Tag	Arrangement	Lum. WxH	Avg. WxH	Lum. Lumens	Arr. Lum. Lumens	LPF	Manufacturer	Description
S1	10	S1	SINGLE	153.6	153.6	21310	21310	0.900	HUBBELL	HUBBELL OUTDOOR
S2	4	S2	SINGLE	153.6	153.6	21854	21854	0.900	HUBBELL	HUBBELL OUTDOOR
W1	3	W1	SINGLE	28	28	3679	3679	0.900	HUBBELL	HUBBELL OUTDOOR
W2	2	W2	SINGLE	80.8	80.8	11157	11157	0.900	HUBBELL	HUBBELL OUTDOOR

**Calculation Summary**

Label	Category	Unit	Avg	Max	Min	Avg/Min	Max/Min	Description
PROPERTY LINE	ILLUMINANCE	Fc	0.10	0.8	0.0	N.A.	N.A.	READINGS @ GRADE
STREET	ILLUMINANCE	Fc	1.17	5.2	0.0	N.A.	N.A.	READINGS @ GRADE
TRUCK FRONT-REAR PARKING	ILLUMINANCE	Fc	2.2	8.0	0.0	N.A.	N.A.	READINGS @ GRADE
EMPLOYEE PARKING-TRAINING AREAS	ILLUMINANCE	Fc	1.53	4.1	0.5	3.06	8.40	READINGS @ GRADE
TRUCK PARKING-STORAGE AREAS	ILLUMINANCE	Fc	1.66	4.1	0.2	8.30	20.50	READINGS @ GRADE

**Table with 4 columns: Luminaire Location Summary, Avg Ft, Orient, and Tilt.**

Luminaire Location Summary	Avg Ft	Orient	Tilt
RA22-320L-165-4K7-AW (1)	25	145	0
RA22-320L-165-4K7-AW (1)	25	145	0
RA22-320L-165-4K7-AW (1)	25	90	0
RA22-320L-165-4K7-AW (1)	25	90	0
RA22-320L-165-4K7-AW (1)	25	215	0
RA22-320L-165-4K7-AW (1)	25	35	0
RA22-320L-165-4K7-AW (1)	25	90	0
RA22-320L-165-4K7-AW (1)	25	90	0
RA22-320L-165-4K7-AW (1)	25	145	0
RA22-320L-165-4K7-500W (1)	25	180	0
RA22-320L-165-4K7-500W (1)	25	180	0
RA22-320L-165-4K7-500W (1)	25	90	0
RWL1-48L-25-4K7-AW (1)	9	180	0
RWL1-48L-25-4K7-AW (1)	9	180	0
RWL2-160L-80-4K7-AW (1)	20	302	0
RWL2-160L-80-4K7-AW (1)	20	32	0

**Table with 4 columns: Title, Date, Scale, and Drawing Information.**

Title	Date	Scale	Drawing Information
10744 US ROUTE 47, YORKVILLE, IL	08/12/2021	1" = 30'	Project Name: SEMPER II
Location:			Location: 10744 US ROUTE 47, YORKVILLE, IL



**Table with 4 columns: #, Date, Comments, and Revisions.**

#	Date	Comments	Revisions

Drawn By: Joel Collins  
 Date: 8/12/2021  
 Scale: 1" = 30'

# RATIO Series

AREA/SITE LIGHTER

## FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



IP66



See Certification Specifications



## RELATED PRODUCTS

[Alro](#)

[Cimarron LED](#)

[Ratio Family](#)

## CONTROL TECHNOLOGY



NX DISTRIBUTED INTELLIGENCE™

wiSCAPE®

## SPECIFICATIONS

### CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

### OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

### INSTALLATION

- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

### ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

### ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

### CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V dimming leads available for use with control devices (provided by others, must specify lead length)
- SiteSync™ wireless control system is available via 7-pin See ordering information and details at: [www.hubbellighting.com/sitesync](http://www.hubbellighting.com/sitesync)
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

### CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at [www.designlights.org](http://www.designlights.org)
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See [Buy American Solutions](#)

### WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	3,000–48,000
Wattage Range	25–340
Efficacy Range (LPW)	118–155
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	13.5–24 (6.1–10.9)

# RATIO SERIES

AREA/SITE LIGHTER

## ORDERING GUIDE

**Example:** RAR1-80L-25-3K7-2-UNV-ASQ-BL-NXWE-BC

 CATALOG # 

### ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Optics Rotation	Voltage
<b>RAR1</b> Ratio Area Size 1	<b>80L-25</b> 25W - 3,000 Lumens	<b>3K7</b> 3000K, 70 CRI	<b>2</b> IES TYPE II	Blank for no rotation	<b>UNV</b> Universal 120-277V
	<b>80L-39</b> 39W - 5,200 Lumens	<b>4K7</b> 4000K, 70 CRI	<b>3</b> IES TYPE III	L Optic rotation left	<b>120</b> 120V
	<b>80L-50</b> 50W - 6,000 Lumens	<b>5K7</b> 5000K, 70 CRI	<b>4W</b> IES TYPE IV	R Optic rotation right	<b>208</b> 208V
	<b>160L-70</b> 70W - 9,000 Lumens		<b>5QW</b> IES TYPE V		<b>240</b> 240V
	<b>160L-100</b> 100W - 12,000 Lumens				<b>277</b> 277V
	<b>160L-115</b> 115W - 15,000 Lumens				<b>347</b> 347V
<b>RAR2</b> Ratio Area Size 2	<b>320L-110</b> 110W - 15,000 Lumens				<b>480</b> 480V
	<b>320L-140</b> 140W - 18,000 Lumens				
	<b>320L-165</b> 165W - 21,000 Lumens				
	<b>480L-185</b> 185W - 24,000 Lumens				
	<b>480L-210</b> 210W - 27,000 Lumens				
	<b>480L-240</b> 240W - 30,000 Lumens				
	<b>480L-255</b> 255W - 36,000 Lumens				
	<b>480L-295</b> 295W - 42,000 Lumens				
<b>480L-340</b> 340W - 48,000 Lumens					

Mounting	Color	Control Options Network	Options
<b>ASQ</b> Arm mount for square pole/flat surface	<b>BLT</b> Black Matte Textured	<b>NXWE</b> NX Wireless Enabled (module + radio)	<b>BC</b> Backlight control
<b>ASQU</b> Universal arm mount for square pole/flat surface	<b>BLS</b> Black Gloss Smooth	<b>NXSPW_F</b> NX Wireless, PIR Occ. Sensor, Daylight Harvesting <sup>2</sup>	<b>CD</b> Continuous dimming
<b>Mounting Round Poles</b>	<b>DBT</b> Dark Bronze Matte Textured	<b>NXSP_F</b> NX, PIR Occ. Sensor, Daylight Harvesting <sup>2</sup>	<b>F</b> Fusing (must specify voltage)
<b>A_</b> Arm mount for round pole <sup>1</sup>	<b>DBS</b> Dark Bronze Gloss Smooth	<b>Control Options Other</b>	<b>TB</b> Terminal block
<b>A_U</b> Universal arm mount for round pole <sup>1</sup>	<b>GTT</b> Graphite Matte Textured	<b>SCP-40F</b> Programmable occupancy sensor <sup>4</sup>	<b>2PF</b> 2 power feed with 2 drivers <sup>3</sup>
<b>Mounting Other</b>	<b>LGS</b> Light Grey Gloss Smooth	<b>7PR</b> 7-Pin twist lock receptacle	
<b>WB</b> Well bracket	<b>PSS</b> Platinum Silver Smooth	<b>7PR-SC</b> 7-Pin receptacle with shorting cap	
<b>MAF</b> Mast arm fitter for 2-3/8" OD horizontal arm	<b>WHT</b> White Matte Textured	<b>7PR-MD40F</b> Low voltage sensor for 7PR	
<b>K</b> Knuckle	<b>WHS</b> White Gloss Smooth	<b>7PR-TL</b> 7-Pin PCR with photocontrol	
	<b>VGT</b> Verde Green Textured		
	<b>Color Option</b>		
	<b>CC</b> Custom Color		

**Notes:**

- 1 Replace "\_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole
- 2 Replace "\_" with "14" for up to 14' mounting height, "30F" for 15-30' mounting height
- 3 Not available with 25, 50, 255, 295 & 340W configurations
- 4 At least one SCPREMOTE required to program SCP motion sensor

### STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Mounting	Finish
<b>RAR1-100-4K-3</b>	12,000	100W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
<b>RAR1-100-4K-4W</b>	12,000	100W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
<b>RAR1-135-4K-3</b>	18,000	135W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
<b>RAR1-135-4K-4W</b>	18,000	135W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
<b>RAR2-165-4K-3</b>	21,000	165W	320L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
<b>RAR2-165-4K-4W</b>	21,000	165W	320L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_

TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_

CATALOG #: \_\_\_\_\_

# RATIO SERIES

AREA/SITE LIGHTER

## OPTIONS AND ACCESSORIES - STOCK (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> RARRPA3DB	Round pole adapter 3.5" to 4.13" for ASQ arm, 3.5" to 4.13" OD pole, dark bronze finish
<input type="checkbox"/> RARA3UDB	Universal mount for square pole or round pole 3.5" to 4.13", dark bronze finish
<input type="checkbox"/> RARBC80L	Ratio blacklight control 80L
<input type="checkbox"/> RARBC160L	Ratio blacklight control 160L
<input type="checkbox"/> RARBC320L	Ratio blacklight control 320L
<input type="checkbox"/> RARBC480L	Ratio blacklight control 480L

## ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
<input type="checkbox"/> RAR-ASQU-XX	Universal arm mount for square pole/flat surface <sup>2</sup>
<input type="checkbox"/> RAR-A_U-XX	Universal arm mount for round poles <sup>1,2</sup>
<input type="checkbox"/> RAR-RPA_-XX	Round pole adapter <sup>1,2</sup>
<input type="checkbox"/> SETAVP-XX	4" square pole top tenon adapter, 2 3/8" OD slipfitter <sup>2</sup>
<input type="checkbox"/> RETAVP-XX	4" round pole top tenon adapter; 2 3/8" OD slipfitter for max. Four fixtures (90o); order 4" round pole adapters separately <sup>2</sup>
<input type="checkbox"/> BIRD-SPIKE-3	Ratio size 1 bird deterrent/spikes
<input type="checkbox"/> BIRD-SPIKE-4	Ratio size 2 bird deterrent/spikes
<input type="checkbox"/> RARWB-XX	Wall bracket - use with Mast Arm Fitter or Knuckle <sup>2</sup>

- 1 Replace "\_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole  
 2 Replace "XX" with desired color/paint finish

## CONTROLS

### Control Options

#### Standalone

<b>SW7PR</b>	SiteSync™ on fixture module via 7PR
<b>SWUSB</b>	SiteSync™ Software on USB
<b>SWTAB</b>	SiteSync™ Windows Tablet
<b>SWBRG</b>	SiteSync™ Wireless Bridge Node
<b>SWFC</b>	SiteSync™ Field Commission Serve
<b>SCPREMOTE</b>	Order at least one per project location to program and control

#### Networked – Wireless

<b>WIR-RME-L</b>	wISCAPE External Fixture Module <sup>1,2</sup>
<b>NX Networked – Wireless</b>	
<b>NXOFM-IRID-UNV</b>	NX Wireless, Daylight Harvesting, BLE, 7 pin twisted lock

#### Notes:

- 1 Works with external networked photosensor  
 2 wISCAPE Gateway required for system programming

# RATIO SERIES

AREA/SITE LIGHTER

## PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR1	25	25.4	2	3438	135	1	0	1	3445	136	1	0	1	3240	128	1	0	1
			3	3460	136	1	0	1	3467	136	1	0	1	3260	128	1	0	1
			4W	3406	134	1	0	1	3412	134	1	0	1	3209	126	1	0	1
			5QW	3483	137	2	0	1	3490	137	2	0	1	3282	129	2	0	1
	39	39	2	5263	139	1	0	2	5273	139	1	0	2	4960	131	1	0	2
			3	5297	139	1	0	2	5308	140	1	0	2	4991	131	1	0	2
			4W	5200	137	1	0	2	5210	137	1	0	2	4900	129	1	0	2
			5QW	5333	140	3	0	1	5344	141	3	0	1	5025	132	3	0	1
	50	49.8	2	6310	127	1	0	2	6323	127	1	0	2	5946	120	1	0	2
			3	6349	128	1	0	2	6362	128	1	0	2	5983	120	1	0	2
			4W	6233	125	1	0	2	6245	126	1	0	2	5873	118	1	0	2
			5QW	6392	129	3	0	1	6405	129	3	0	1	6023	121	3	0	1
	70	68.4	2	9486	139	1	0	2	9505	139	1	0	2	8938	131	1	0	2
			3	9544	140	1	0	2	9563	140	1	0	2	8993	131	1	0	2
			4W	9395	137	1	0	2	9414	138	1	0	2	8853	129	1	0	2
			5QW	9608	140	4	0	2	9628	141	4	0	2	9054	132	4	0	2
	100	90.0	2	11976	133	2	0	2	12000	133	2	0	2	11285	125	2	0	2
			3	12050	134	2	0	2	12074	134	2	0	2	11354	126	2	0	2
			4W	11861	132	2	0	2	11885	132	2	0	2	11177	124	2	0	2
			5QW	12131	135	4	0	2	12155	135	4	0	2	11431	127	4	0	2
	115	109.7	2	15572	142	2	0	2	15494	141	2	0	2	14871	136	2	0	2
			3	15833	144	2	0	2	15754	144	2	0	2	15121	138	2	0	2
			4W	15281	139	2	0	3	15205	139	2	0	3	14623	133	2	0	3
			5QW	15732	143	4	0	2	15653	143	4	0	2	15024	137	4	0	2
135	133.3	2	17971	135	3	0	3	17881	134	3	0	3	17163	129	3	0	3	
		3	18272	137	2	0	2	18181	136	2	0	2	17450	131	2	0	2	
		4W	17635	132	2	0	3	17547	132	2	0	3	16876	127	2	0	3	
		5QW	18156	136	4	0	2	18065	136	4	0	2	17339	130	4	0	2	

RAR2 Performance Data on next page

\* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

DATE: \_\_\_\_\_

LOCATION: \_\_\_\_\_

TYPE: \_\_\_\_\_

PROJECT: \_\_\_\_\_

CATALOG #: \_\_\_\_\_

# RATIO SERIES

AREA/SITE LIGHTER

## PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR2	110	100.3	2	15326	153	2	0	3	15357	153	2	0	3	14442	144	2	0	3
			3	15421	154	2	0	3	15452	154	2	0	3	14531	145	2	0	3
			4W	15180	151	2	0	2	15210	152	2	0	2	14304	143	2	0	2
			5QW	15525	155	4	0	2	15556	155	4	0	2	14629	146	4	0	2
	140	133.2	2	19395	146	2	0	3	19434	146	2	0	3	18276	137	2	0	3
			3	19515	147	2	0	3	19554	147	2	0	3	18389	138	2	0	3
			4W	19210	144	2	0	3	19248	145	2	0	3	18101	136	2	0	3
			5QW	19647	148	5	0	3	19686	148	5	0	3	18513	139	5	0	3
	165	153.6	2	21651	141	3	0	3	21695	141	3	0	3	20402	133	3	0	3
			3	21785	142	3	0	3	21828	142	3	0	3	20527	134	3	0	3
			4W	21444	140	3	0	3	21487	140	3	0	3	20206	132	3	0	3
			5QW	21932	143	5	0	3	21976	143	5	0	3	20666	135	5	0	3
	185	174.5	2	26046	149	3	0	3	26098	150	3	0	3	24543	141	3	0	3
			3	26207	150	3	0	3	26259	150	3	0	3	24694	142	3	0	3
			4W	25797	148	3	0	4	25849	148	3	0	4	24308	139	3	0	4
			5QW	26384	151	5	0	3	26437	152	5	0	3	24861	143	5	0	3
	210	198.2	2	28848	145	3	0	4	28906	146	3	0	4	27184	137	3	0	4
			3	29027	146	3	0	4	29085	147	3	0	4	27351	138	3	0	4
			4W	28572	144	3	0	4	28630	144	3	0	4	26924	136	3	0	4
			5QW	29222	147	5	0	4	29281	148	5	0	4	27536	139	5	0	4
	240	226.9	2	32087	141	3	0	4	32151	142	3	0	4	30235	133	3	0	4
			3	32285	142	3	0	4	32350	143	3	0	4	30422	134	3	0	4
			4W	31780	140	3	0	4	31844	140	3	0	4	29946	132	3	0	4
			5QW	32503	143	5	0	4	32568	144	5	0	4	30627	135	5	0	4
	255	257.0	2	37040	144	3	0	4	36854	143	3	0	4	35373	138	3	0	4
			3	37660	147	3	0	4	37472	146	3	0	4	35966	140	3	0	4
			4W	36347	141	3	0	5	36166	140	3	0	5	34782	135	3	0	5
			5QW	37420	146	5	0	4	37233	145	5	0	4	35736	139	5	0	4
	295	294.0	2	41733	142	3	0	4	41524	141	3	0	4	39855	136	3	0	4
			3	42432	144	3	0	4	42220	144	3	0	4	40523	138	3	0	4
			4W	40953	139	3	0	5	40748	139	3	0	5	39190	133	3	0	5
			5QW	42162	143	5	0	4	41951	143	5	0	4	40264	137	5	0	4
	340	347.1	2	48392	139	4	0	5	48150	139	4	0	5	46215	133	4	0	5
			3	49203	142	3	0	4	48957	141	3	0	4	46989	135	3	0	4
			4W	47488	137	4	0	5	47261	136	4	0	5	45443	131	4	0	5
			5QW	48889	141	5	0	5	48645	140	5	0	5	46689	135	5	0	5

\* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.



# RATIO SERIES

AREA/SITE LIGHTER

## ELECTRICAL DATA

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR1	25	120	0.21	25.4
		208	0.12	
		240	0.11	
		277	0.09	
	39	120	0.32	38.0
		208	0.18	
		240	0.16	
		277	0.14	
		347	0.11	
		480	0.08	
	50	120	0.42	49.8
		208	0.24	
		240	0.21	
		277	0.18	
	70	120	0.57	68.4
		208	0.33	
		240	0.29	
		277	0.25	
	100	120	0.75	90.0
		208	0.43	
		240	0.38	
		277	0.32	
	115	120	0.91	109.7
		208	0.53	
		240	0.46	
		277	0.40	
	135	347	0.32	133.3
		480	0.23	
		120	1.11	
		208	0.64	
		240	0.56	

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR2	110	120	0.84	100.3
		208	0.48	
		240	0.42	
		277	0.36	
	140	120	1.11	133.2
		208	0.64	
		240	0.56	
		277	0.48	
	165	120	1.28	153.6
		208	0.74	
		240	0.64	
		277	0.55	
	185	120	1.45	174.5
		208	0.84	
		240	0.73	
		277	0.63	
210	120	1.65	198.3	
	208	0.95		
	240	0.83		
	277	0.72		
240	120	1.89	226.9	
	208	1.09		
	240	0.95		
	277	0.82		
255	120	2.14	257.0	
	208	1.24		
	240	1.07		
	277	0.93		
295	347	0.74	294.0	
	480	0.54		
	120	2.45		
	208	1.41		
	240	1.23		
340	277	1.06	347.1	
	347	0.85		
	480	0.61		
	120	2.89		

## LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.03
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.98
50° C	122° F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F)

## PROJECTED LUMEN MAINTENANCE

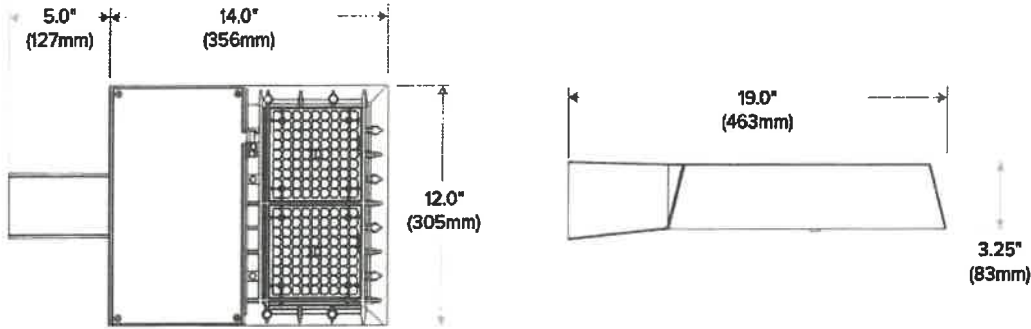
Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.95	0.93	0.86	238,000
40°C / 104°F	0.99	0.96	0.95	0.93	0.85	225,000

# RATIO SERIES

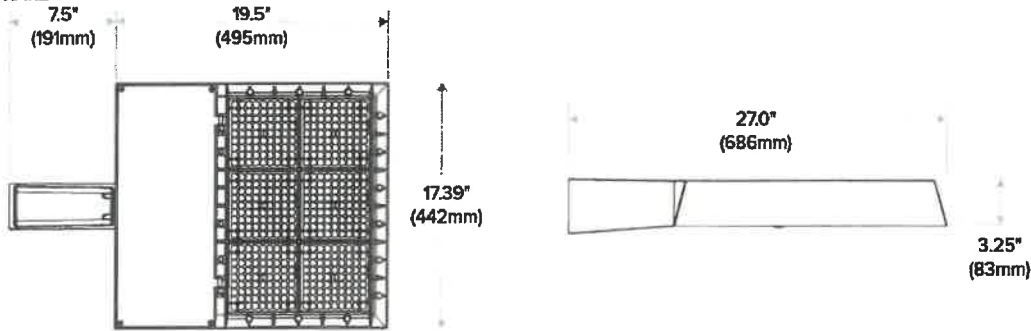
AREA/SITE LIGHTER

## DIMENSIONS

RAR1



RAR2



## ADDITIONAL INFORMATION

### MOUNTING



**Arm Mount** – Fixture ships with integral arm for ease of installation. Compatible with Hubbell Outdoor B3 drill pattern.



**Knuckle** – Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes.



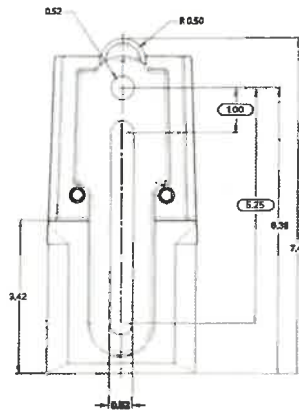
**Universal Mounting** – Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5"



**MAF** – Fits 2-3/8" OD arms Roadway applications.



**Wall Mount** – Wall mount bracket designed for building mount applications.



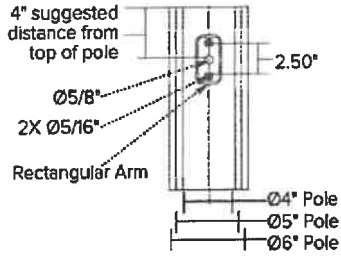
# RATIO SERIES

AREA/SITE LIGHTER

## ADDITIONAL INFORMATION (CONT'D)

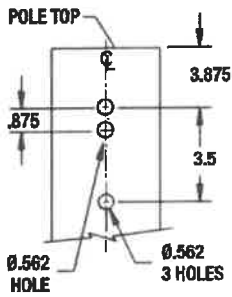
### ARM MOUNT (ASQ)

Compatible with Pole drill pattern B3



### UNIVERSAL MOUNTING (ASQU)

Compatible with pole drill pattern S2



### SITESYNC 7-PIN MODULE



SW7PR



- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)

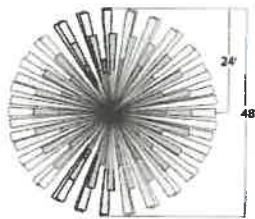
DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
 TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
 CATALOG #: \_\_\_\_\_

# RATIO SERIES

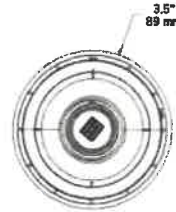
AREA/SITE LIGHTER

## ADDITIONAL INFORMATION (CONT'D)

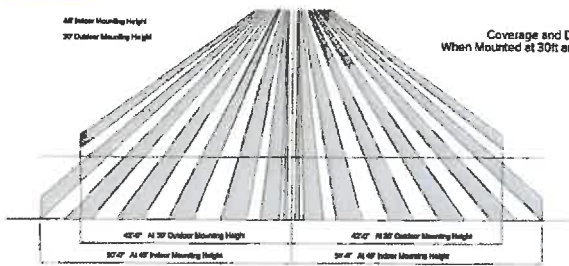
### NXSP-14F



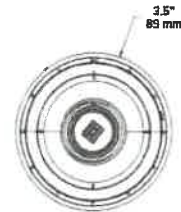
Sensor Lens Coverage and Detection Patterns When Mounted at 8ft with Low Mount Lens



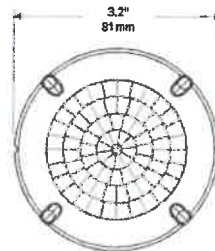
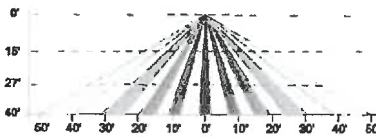
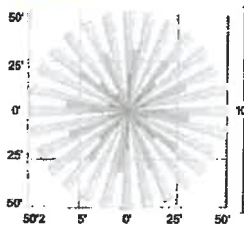
### NXSP-30F



Coverage and Detection Patterns When Mounted at 30ft and 45ft with Standard Lens



### SCP-40F



### RAR1 EPA

RAR-1	
EPA at 0°	EPA at 30°
.45ft. <sup>2</sup> .13m <sup>2</sup>	.56ft. <sup>2</sup> .17m <sup>2</sup>

### RAR2 EPA

RAR-2	
EPA at 0°	EPA at 30°
.55ft. <sup>2</sup> .17m <sup>2</sup>	1.48ft. <sup>2</sup> .45m <sup>2</sup>

### SHIPPING

Catalog Number	G.W(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
RAR1	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)
RAR2	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)

### USE OF TRADEMARKS AND TRADE NAMES

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# SSS-H SERIES POLES

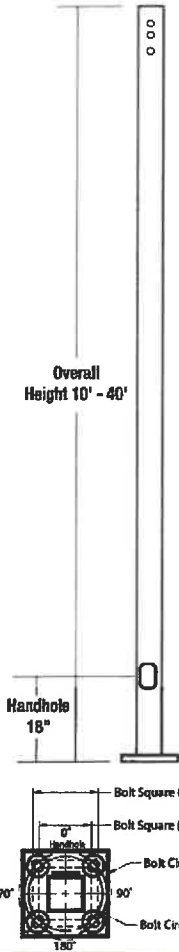
SQUARE STRAIGHT STEEL

Cat.#	
Job	Type



**HUBBELL**  
Outdoor Lighting

Approvals



**APPLICATIONS**

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

**CONSTRUCTION**

- **SHAFT:** One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- **BASE COVER:** Two-piece square aluminum base cover included standard
- **POLE CAP:** Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- **HAND HOLE:** Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- **ANCHOR BOLTS:** Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

**Anchor bolt part numbers:** 3/4 x 30 x 3 — TAB-30-M38  
1 x 36 x 4 — TAB-36-M38

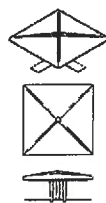
**FINISH**

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

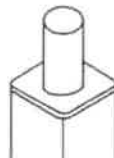
**WAREHOUSE 'STOCKED' POLES:**

- SSSH20-40A-4-HV-DB-RDC, SSSH25-40A-4-HV-DB-RDC and SSSH30-50B-4-HV-DB-RDC
- The HV designation in the above catalog numbers is a combination of the S2 pattern and the B3 pattern

**POLE CAP**



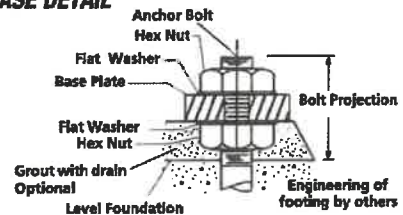
**TENON**



**BASE COVER**



**BASE DETAIL**



**ORDERING INFORMATION**

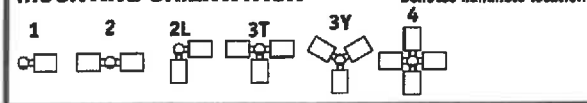
Reference page 2 for available configurations

**ORDERING EXAMPLE:**

**SSS - H - 25 - 40 - A/B/C - 2L - S2 - DBT - UL**

SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	FINISH	OPTIONS
SSS-H Square Straight Steel Pole Hubbell Outdoor	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	<b>1</b> Single arm mount <b>2</b> Two fixtures at 180° <b>2L</b> Two fixtures at 90° <b>3T</b> Three fixtures at 90° <b>4</b> Four fixtures at 90° <b>TA</b> Tenon (2.38" OD x 4" Tall) <b>TB</b> Tenon (2.88" OD x 4" Tall) <b>TC</b> Tenon (3.5" OD x 6" Tall) <b>TR</b> Removable Tenon (2.38" x 4") <b>OT</b> Open Top (includes pole cap)	<b>BLT</b> Black Matte Textured <b>BLS</b> Black Gloss Smooth <b>DBT</b> Dark Bronze Matte Textured <b>DBS</b> Dark Bronze Gloss Smooth <b>GTT</b> Graphite Matte Textured <b>LGS</b> Light Gray Gloss Smooth <b>PSS</b> Platinum Silver Smooth <b>WHT</b> White Matte Textured <b>WHS</b> White Gloss Smooth <b>VGT</b> Verde Green Textured Color Option <b>CC</b> Custom Color	<b>GFP</b> 20 Amp GFCI Receptacle and Cover <b>EHH</b> Extra Handhole <b>C05</b> .5" Coupling <b>C07</b> .75" Coupling <b>C20</b> 2" Coupling <b>MPB</b> Mid-pole Luminaire Bracket <b>VM2</b> 2nd mode vibration damper <b>LAB</b> Less Anchor Bolts <b>UL</b> UL Certified

**MOUNTING ORIENTATION**



- 1 Removable tenon used in conjunction with side arm mounting. First specify desired arm configuration followed by the "TM" notation. Example: SSS-H-25-40-A-1-32-TB-DB
- 2 Specify option location using logic found on page 2 (Option Orientations)
- 3 VM1 recommended on poles 20' and taller with EPA of less than 1.

**ACCESSORIES- Order Separately**

Catalog Number	Description
VM1	1st mode vibration damper
VM2SXX	2nd mode vibration damper

**DRILL PATTERN**

- B3** 2 bolt (2-1/2" spacing), Ratio
- S2** 2 bolt (3-1/2" spacing)



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**ORDERING INFORMATION (Continued)**

Catalog Number	Height		Nominal Shal. Dimensions	Wall Thickness	Bolt Circle (suggested)	Bolt Circle (range)	Bolt Square (range)	Base Plate Square	Anchor bolt size	Bolt Projection	Pole weight
	Feet	Meters									
SSS-H-10-40-A-XX-XX	10	3.0	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	77
SSS-H-12-40-A-XX-XX	12	3.7	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	80
SSS-H-14-40-A-XX-XX	14	4.3	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	103
SSS-H-16-40-A-XX-XX	16	4.9	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	116
SSS-H-18-40-A-XX-XX	18	5.5	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	129
SSS-H-20-40-A-XX-XX	20	6.1	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	142
SSS-H-25-40-A-XX-XX	25	7.6	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	175
SSS-H-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	152
SSS-H-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	171
SSS-H-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	190
SSS-H-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	209
SSS-H-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	257
SSS-H-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	304
SSS-H-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	219
SSS-H-18-50-B-XX-XX	18	5.5	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	243
SSS-H-20-50-B-XX-XX	20	6.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	267
SSS-H-25-50-B-XX-XX	25	7.6	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	327
SSS-H-30-50-B-XX-XX	30	9.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	387
SSS-H-25-50-C-XX-XX	25	7.6	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	427
SSS-H-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	507
SSS-H-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1" x 36" x 4"	5.0	329
SSS-H-25-60-B-XX-XX	25	7.6	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1" x 36" x 4"	5.0	404
SSS-H-30-60-B-XX-XX	30	9.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1" x 36" x 4"	5.0	479
SSS-H-35-60-B-XX-XX	35	10.7	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1" x 36" x 4"	5.0	554
SSS-H-40-60-B-XX-XX	40	12.2	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1" x 36" x 4"	5.0	629

NOTE: Factory supplied template must be used when setting anchor bolts. Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

**EHH - EXTRA HANDHOLE**

Provision for Grounding

**C05 - C07 - C20 - COUPLING**

2" - 11.5 NPSG Threads  
3/4" - 14 NPSG Threads  
1/2" - 14 NPSG Threads

**VM1 - VIBRATION DAMPER 1ST MODE**

Field installed Pole Top damper designed to reduce pole top deflection or sway. VM1 is recommended for pole systems 25' and taller with a total EPA of 1.0 or less.

**VM2 - VIBRATION DAMPER 2ND MODE**

Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

**VM2SXX - VIBRATION DAMPER 2ND MODE**

VM2S08 - 8'  
VM2S12 - 12'  
VM2S16 - 16'  
VM2S20 - 20'  
VM2S24 - 24'

Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

**GFI - 20 AMP GFCI RECEPTACLE & COVER**

Square Steel Pole  
Standard hand hole frame  
Adapter plate  
Gasket  
20 AMP GFCI  
Wet Locations In-use Cover

**MPB - MID POLE BRACKET**

Square Steel Pole  
Attachment stub 5" long welded to pole  
2" pipe tenon 4.25" tall  
Arm, 3" Sq. x 18.5" long ships separately

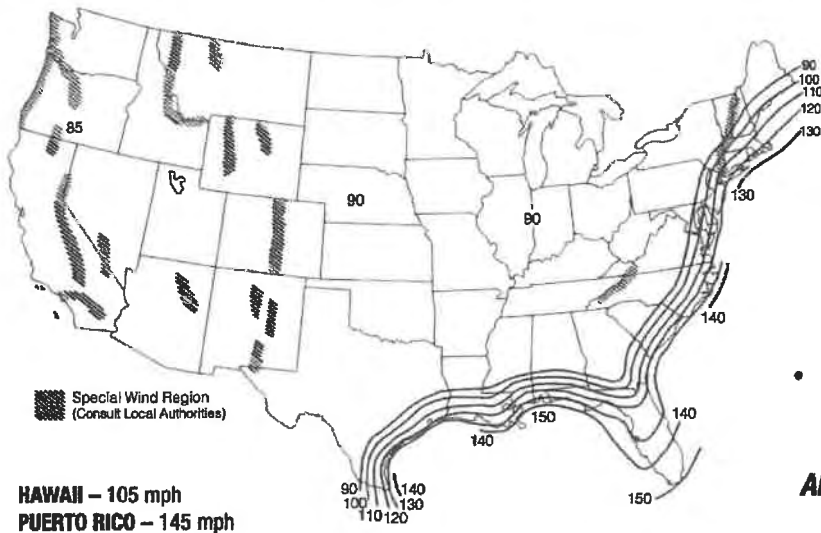
**OPTION ORIENTATION**

Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet). Example: Option C07 should be ordered as: SSS-H-20-40-A-7A-D07-C07-0-15 (15' coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.

Bolt Square (Outer)  
Bolt Square (Inner)  
Bolt Circle (Outer)  
Bolt Circle (Inner)  
Height of option in feet  
270°  
180°

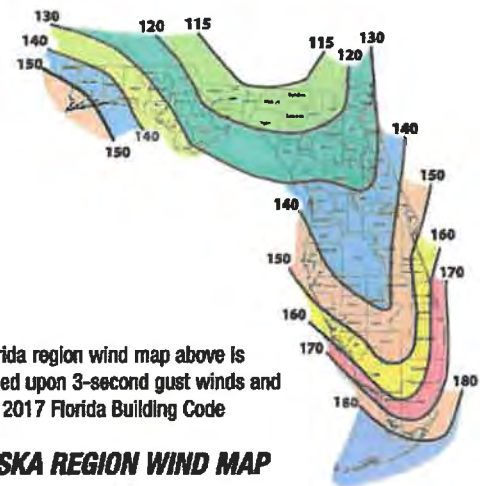
For more information about pole vibration and vibration dampers, please consult [https://hubbell.com/outdoor/lighting/resources/literature/files/Pole\\_Wind\\_Induced\\_Flutter\\_HL00022.pdf](https://hubbell.com/outdoor/lighting/resources/literature/files/Pole_Wind_Induced_Flutter_HL00022.pdf). Due to our continued efforts to improve our products, product specifications are subject to change without notice.

**ASCE7-05 WIND MAP**



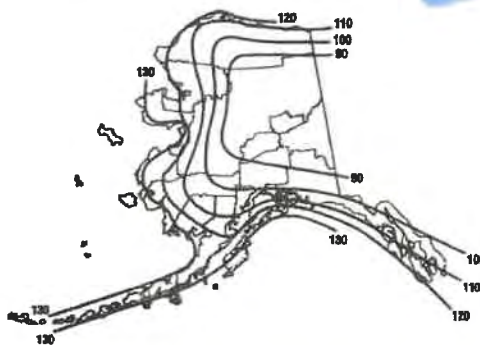
HAWAII – 105 mph  
 PUERTO RICO – 145 mph

**FLORIDA REGION WIND MAP**



- Florida region wind map above is based upon 3-second gust winds and the 2017 Florida Building Code

**ALASKA REGION WIND MAP**



ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds  
 (Use for all locations except Florida)

Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-H-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-H-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-H-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-H-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-H-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-H-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-H-25-40-A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR
SSS-H-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-H-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-H-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-H-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-H-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-H-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2	11.2
SSS-H-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-H-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-H-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-H-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-H-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.8	6.0	5.1
SSS-H-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.6	2.8	2.1	1.4
SSS-H-20-60-B	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3	10.3
SSS-H-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-H-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-H-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-H-40-60-B	8.1	5.8	2.2	nr	NR	NR	NR	NR	NR	NR

Florida Building Code: 2017 EPA Load Rating - 3 second gust wind speeds  
 (Use for Florida only)

Catalog Number	115	120	130	140	150	160	170	180
SSS-H-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.8	13.9
SSS-H-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSS-H-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSS-H-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSS-H-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSS-H-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSS-H-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR
SSS-H-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSS-H-16-40-B	21.4	19.2	15.8	12.7	10.4	8.5	6.9	5.6
SSS-H-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.8
SSS-H-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSS-H-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSS-H-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5
SSS-H-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSS-H-20-50-B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSS-H-25-50-B	21.8	19.3	15.0	11.5	8.8	6.6	4.7	3.1
SSS-H-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-35-50-C	21.8	19.3	15.0	11.5	8.8	6.6	4.7	3.1
SSS-H-30-50-C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSS-H-25-60-B	23.8	20.9	16.1	12.3	8.2	6.6	4.5	2.8
SSS-H-30-60-B	14.8	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-H-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-H-40-60-B	1.8	NR	NR	NR	NR	NR	NR	NR



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 Lighting

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**NOTES**

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. [https://hubbellcdn.com/shwssats/HLO/Outdoor/resources/literature/files/Pole\\_Wind\\_Induced\\_Flyer\\_HL00022.pdf](https://hubbellcdn.com/shwssats/HLO/Outdoor/resources/literature/files/Pole_Wind_Induced_Flyer_HL00022.pdf)
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

**Due to our continued efforts to improve our products, product specifications are subject to change without notice.**



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**From:** [Daniel J Kramer](#)  
**To:** [Matt Asselmeier](#); [Scott Koepfel](#); [Scott Gengler](#); [Tebrugge Engineering](#); [Robert Velazquez](#)  
**Subject:** [External]Fence and Landscape issues  
**Date:** Wednesday, April 27, 2022 3:01:25 PM

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**CAUTION** - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Matt Robert has been delayed on this project by some storm water questions. We felt for this first phase that Tebrugge Engineering totally accounted for storm water storage for the site Improvements we were creating at this time; fully acknowledging if remainder of site was built out in the future we would need to do additional stormwater calculations. I don't know if County reviewing Engineer and John T. have worked out those details yet. John indicated that the County reviewing engineer wanted a stormwater study for an area outside our r. property downstream. Ultimately that would have to be viewed for our downstream connection to a drainage ditch or off site tile if there are any for discharge . There is no off-site discharge being made at a point discharge but slight sheet if overflows at what John testified was about 15% of what current outflow is for farming. We ought to visit that issue again. Do need extension to Oct.1 , 2022 for fencing and landscaping.

Very Truly Yours,

Daniel J. Kramer  
Attorney at Law  
1107A S. Bridge Street  
Yorkville, IL. 60560  
Phone-630.553.9500  
Fax-630.553.5764

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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

**MEMORANDUM**

---

To: Planning, Building and Zoning Committee  
From: Matthew H. Asselmeier, AICP, CFM, Senior Planner  
Date: May 2, 2022  
Re: Landscaping Extension Deadline at 14339 County Line Road

---

Condition 4.B of Ordinance 2020-14, which granted a special use permit for a storage facility at the subject property, requires certain landscaping at the property. On April 12, 2021, the Planning, Building and Zoning Committee granted the first extension to the installation requirement. On September 13, 2021, the Planning, Building and Zoning Committee granted a second extension to the installation requirement. The second extension set the new deadline for installing the landscaping at June 1, 2022. A copy of Ordinance 2020-14 and the September 13, 2021 extension are attached.

On May 2, 2022, the Petitioners' Attorney submitted a request asking that the deadline to install the landscaping be extended to October 1, 2022. A copy of the request is attached.

If you have any questions regarding this memo, please let me know.

MHA

Encs.: Ordinance 2020-14  
September 13, 2021 Extension  
Extension Request

ORDINANCE NUMBER 2020- 14

**MAP AMENDMENT REZONING 4.01 ACRES +/- TO B-3 HIGHWAY BUSINESS DISTRICT AND GRANTING SPECIAL USE PERMITS FOR AN OUTDOOR STORAGE FACILITY AND A SELF-SERVICE STORAGE FACILITY AND A MAP AMENDMENT REZONING 4.67 +/- ACRES TO B-2 GENERAL BUSINESS DISTRICT FOR THE NORTHEASTERN PORTION OF THE PARCEL LOCATED ON THE NORTHWEST CORNER ROUTE 52 AND COUNTY LINE ROAD ALSO KNOWN AS 195 ROUTE 52 AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 09-13-200-002 IN SEWARD TOWNSHIP**

Rezone from A-1 to B-3 With Special Use Permits (4.01 Acres) and to B-2 (4.67 Acres)

*WHEREAS*, Section 13.07 of the Kendall County Zoning Ordinance permits the Kendall County Board to approve map amendments and provides the procedure through which map amendments are granted; and

*WHEREAS*, Section 13.08 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted; and

*WHEREAS*, Section 9.04.C.20 of the Kendall County Zoning Ordinance permits the operation of outdoor storage businesses as a special use with certain restrictions in the B-3 Highway Business Zoning District; and

*WHEREAS*, Section 9.04.C.28 of the Kendall County Zoning Ordinance permits the operation of self-service storage facility businesses as a special use with certain restriction in the B-3 Highway Business Zoning District; and

*WHEREAS*, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 8.68 +/- acres located at the northeastern corner of the parcel located at the northwest corner of Route 52 and County Line Road, also known as, 195 Route 52 (PINs: 09-13-200-002), in Seward Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

*WHEREAS*, at the time of original application the subject property was owned Hansel Ridge, LLC and is represented by John Dollinger; and

*WHEREAS*, Goprobball, LLC, as represented by Jason Shelley, purchased the subject property from Hansel Ridge, LLC; and

*WHEREAS*, James and Denise Maffeo, purchased the subject property from Goprobball, LLC and record title is held in the name of Four Season Storage, LLC, an Illinois Liability Company; and

*WHEREAS*, John Dollinger on Behalf of Hansel Ridge, LLC, Jason Shelley on Behalf of Goprobball, LLC, and James and Denise Maffeo on Behalf of Four Seasons Storage, LLC, an Illinois Limited Liability Company shall hereinafter be referred to as “Petitioner”; and

*WHEREAS*, on or about September 30, 2019, Petitioner’s representative filed a petition for a Map Amendment rezoning the subject property from A-1 Agricultural to B-3 Highway Business District and for Special Use Permits to operate an outdoor storage business and a self-service storage facility business on the subject property; and

WHEREAS, on or about April 21, 2020, Petitioner's representative amended the petition to rezone 4.67 +/- acres of the subject property to B-2 General Business District and 4.01 +/- acres to B-3 Highway Business District; and

WHEREAS, following due and proper notice by publication in the Kendall County Record on January 9, 2020, the Kendall County Zoning Board of Appeals started a public hearing on January 27, 2020, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville and said hearing was continued to March 2, 2020, and continued to June 29, 2020, and continued to July 27, 2020, at the same time and location at which the Petitioner's representative presented evidence, testimony, and exhibits in support of the requested Map Amendments and Special Use Permits and zero members of the public asked questions or testified in favor or testified in opposition to the request; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their findings of fact and recommended approval of the Map Amendments and Special Use Permits with restrictions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated July 27, 2020, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of approval of the requested Map Amendments and Special Use Permits; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:


1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a Map Amendment rezoning 4.67 +/- acres of the subject property from A-1 Agricultural District to B-2 General Business District as outlined in the legal description attached hereto as Exhibit A.
3. The Kendall County Board hereby grants approval of Petitioner's petition for a Map Amendment rezoning the 4.01 +/- acres of the subject property from A-1 Agricultural District to B-3 Highway Business District as outlined in the legal description attached hereto as Exhibit A.
4. The Kendall County Board hereby grants approval of Petitioner's petition for special use permits for an outdoor storage business and a self-service storage business on the portion of the subject property rezoned to B-3 Highway Business District subject to the following conditions:

- A. The site shall be developed substantially in accordance with the attached site plan attached hereto as Exhibit C, landscaping plan attached hereto as Exhibit D, and photometric plan attached hereto as Exhibit E.
- B. The operator(s) of the businesses allowed by this special use permit shall plant the vegetation and install the fencing identified in the landscaping plan (Exhibit D) within two hundred forty (240) days of the approval of the special use permit ordinance. Dead or damaged vegetation shall be replaced on a timetable approved by the Kendall County Planning, Building and Zoning Department. The trees shown on the landscaping plan shall be between twelve feet and fifteen feet (12'-15') in height at the time of planting.
- C. One (1) two (2)-sided illuminated sign may be installed on the subject property in substantially the location shown on the landscaping plan (Exhibit D). The owners of businesses allowed by this special use permit may pursue variances to Kendall County Zoning Ordinance regarding the height and dimensions of the sign through the variance application process without seeking an amendment to the special use permit.
- D. Within sixty days (60) days of approval of this special use permit ordinance, the property owners shall convey land along the entire length of County Line Road side of the property at a depth of sixty feet (60') as measured from the centerline of County Line Road to Seward Township for County Line Road right-of-way.
- E. The owners of the business allowed by this special use permit shall construct all of the storage buildings shown on the site plan (Exhibit C) on or before December 31, 2023. Either December 31, 2023, or upon completion of the final self-service storage building, whichever occurs first, the special use permit for an outdoor storage business shall automatically cease. The final self-service storage building shall be considered complete when all occupancy permits for the self-service storage buildings are issued. The completion and expiration dates listed in this condition may be extended upon approval by the Kendall County Planning, Building and Zoning Committee.
- F. A maximum of twenty-five (25) items, including, but not limited to, boats, trailers, and motor vehicles may be stored outdoors as part of the outdoor storage business special use permit.
- G. None of the vehicles stored on premises shall be considered agricultural equipment as they relate to the businesses allowed by these special use permits.
- H. All of the vehicles stored on the premises shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
- I. The hours of operation for the businesses allowed by these special use permits shall be daily from 7:00 a.m. until 7:00 p.m. The operator(s) of the businesses allowed by these special use permit may reduce these hours of operation. Patrons may access the storage area at any time.
- J. The total maximum number of employees combined for the businesses allowed by these special use permit shall be five (5), including the business owners.
- K. The owners of the businesses allowed by these special use permits shall diligently monitor the property for leaks from items stored on the premises and shall promptly clean up the site if leaks occur.
- L. The operator(s) of the business allowed by this special use permit shall provide the Kendall County Sheriff's Department and Troy Fire Protection District with passcodes to the gate upon the request of these agencies.

- M. The operator(s) of the businesses allowed by these special use permits acknowledge and agree to follow Kendall County's Right to Farm Clause.
- N. The operator(s) of the businesses allowed by these special use permits shall follow all applicable Federal, State, and Local laws related to the operation of these types of businesses.
- 5. All ordinances in conflict with this ordinance are hereby repealed.
- 6. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.
- 7. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect these Map Amendments and Special Use Permits.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 15<sup>th</sup> day of September, 2020.

Attest:

  
\_\_\_\_\_  
Kendall County Clerk  
Debbie Gillette

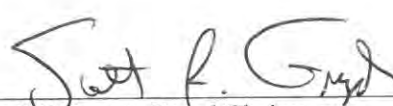
  
\_\_\_\_\_  
Kendall County Board Chairman  
Scott R. Gryder



Exhibit A

LEGAL DESCRIPTION OF TRACT 2 (B-3 Special Use Parcel):

That Part of the Northeast Quarter of Section 13, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northeast Corner of said Northeast Quarter; thence Southerly, along the East Line of said Northeast Quarter, 1142.05 feet; thence Westerly, parallel with the North Line of said Northeast Quarter, 599.06 feet; thence Southerly, parallel with the West Line of said Northeast Quarter, 165.29 feet for the point of beginning; thence Easterly, parallel with said North Line, 332.25 feet; thence Southerly, parallel with said West Line, 525.07 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter; thence Westerly, parallel with said North Line, 332.25 feet to a line drawn Southerly from the point of beginning, parallel with said West Line; thence Northerly, parallel with said West Line, 527.0 feet to the point of beginning in Seward Township, Kendall County, Illinois.

LEGAL DESCRIPTION OF TRACT 3 (B2 Zoning Parcel):

That Part of the Northeast Quarter of Section 13, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northeast Corner of said Northeast Quarter; thence Southerly, along the East Line of said Northeast Quarter, 1142.05 feet; thence Westerly, parallel with the North Line of said Northeast Quarter, 51.55 feet to a point hereinafter referred to as "Point A"; thence Southerly, along a line which forms an angle of 89°33'03" with the prolongation of the last described course, measured counter-clockwise therefrom, 692.32 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter for the point of beginning; thence Northerly, along the line of the last described course 692.32 feet to "Point A"; thence Westerly, parallel with said North Line, 547.51 feet; thence Southerly, parallel with the West Line of said Northeast Quarter, 165.29 feet; thence Easterly, parallel with said North Line, 332.25 feet; thence Southerly, parallel with said West Line, 525.07 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter; thence Easterly, parallel with said North Line, 213.85 feet to the point of beginning in Seward Township, Kendall County, Illinois.

Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on July 27, 2020, by a vote of seven (7) in favor and zero (0) in opposition.

**FINDINGS OF FACT-MAP AMENDMENTS**

§ 13.07.F of the Zoning Ordinance outlines findings that the Zoning Board of Appeals must make in order recommend in favor of the applicant on map amendment applications.

*Existing uses of property within the general area of the property in question.* **The surrounding properties are used agricultural or uses similar to agricultural uses such as farmsteads and fertilizer operations.**

*The Zoning classification of property within the general area of the property in question.* **The surrounding properties are zoned A-1, A-1 with a special use, or B-4.**

*The suitability of the property in question for the uses permitted under the existing zoning classification.* **The property is presently zoned A-1 and can be used for farming.**

*The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification.* **The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is stable with residential growth and special uses normally found in agricultural zoned areas.**

*Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies.* **The Future Land Use Map was amended earlier in 2020 to reclassify the subject property as Commercial. The property to the west is planned to be used for recreational purposes. Minooka School District #111 plans to construct a school in the area. The Village of Shorewood's Future Land Use Map calls for this property to be Commercial and Government/Institutional. The proposed map amendments are consistent with the purpose and objectives of the Land Resource Management Plan.**

**FINDINGS OF FACT-SPECIAL USE PERMITS**

§ 13.08.J of the Zoning Ordinance outlines findings that the Zoning Board of Appeals must make in order recommend in favor of the applicant on special use permit applications.

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.* **The operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare provided that the operator of the business allowed by this special use permit develops the site according to the submitted site plan and landscaping plan, dedicates land for right-of-way, follows the agreed upon hours of operation, and follows the Kendall County Inoperable Vehicle Ordinance, Kendall County Junk and Debris Ordinance, and related ordinances.**

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole.* **Provided that the**



**business operates as proposed, no injury should occur to other property and property values should not be negatively impacted.**

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. The proposed use will be a low utility user and adequate utilities are planned for the development of the site. A private road is planned from County Line Road to the subject use. A right-of-way dedication is planned along County Line Road. The Petitioners will have to secure a stormwater management permit.*

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true.*

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 6-34 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents" through the encouragement ". . . of locally owned businesses."*

## **RECOMMENDATIONS**

Approval of the requested map amendments.

Approval of the special use permits with the following conditions and restrictions:

1. The site shall be developed substantially in accordance with the submitted site plan, landscaping plan, and lighting plan.
2. The operator(s) of the businesses allowed by this special use permit shall plant the vegetation and install the fencing identified in the landscaping plan within ninety (90) days of the approval of the special use permit ordinance. Dead or damaged vegetation shall be replaced on a timetable approved by the Kendall County Planning, Building and Zoning Department. The trees shown on the landscaping plan shall be between twelve feet and fifteen feet (12'-15') in height at the time of planting.
3. One (1) two (2)-sided illuminated sign may be installed on the subject property in substantially the location shown on the landscaping plan. The owners of businesses allowed by this special use permit may pursue variances to Kendall County Zoning Ordinance regarding the height and dimensions of the sign through the variance application process without seeking an amendment to the special use permit.
4. Within sixty days (60) days of approval of this special use permit ordinance, the property owners shall convey land along the entire length of County Line Road side of the property at a depth of sixty feet (60') as measured from the centerline of County Line Road to Seward Township for County Line Road right-of-way.
5. The owners of the business allowed by this special use permit shall construct all of the storage buildings shown on the site plan on or before December 31, 2023. Either December 31, 2023, or upon completion of the final self-service storage building, whichever occurs first, the special use permit for an outdoor storage business shall automatically cease. The final self-service storage building shall be considered complete when all occupancy permits for the self-service storage buildings are issued. The completion and expiration dates listed in this condition may be extended upon approval by the Kendall County Planning, Building and Zoning Committee.
6. A maximum of twenty-five (25) items, including, but not limited to, boats, trailers, and motor vehicles may be stored outdoors as part of the outdoor storage business special use permit.
7. None of the vehicles stored on premises shall be considered agricultural equipment as they relate

to the businesses allowed by these special use permits.

8. All of the vehicles stored on the premises shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
9. The hours of operation for the businesses allowed by these special use permits shall be daily from 7:00 a.m. until 7:00 p.m. The operator(s) of the businesses allowed by these special use permit may reduce these hours of operation. Patrons may access the storage area at any time.
10. The total maximum number of employees combined for the businesses allowed by these special use permit shall be five (5), including the business owners.
11. The owners of the businesses allowed by these special use permits shall diligently monitor the property for leaks from items stored on the premises and shall promptly clean up the site if leaks occur.
12. The operator(s) of the business allowed by this special use permit shall provide the Kendall County Sheriff's Department and Troy Fire Protection District with passcodes to the gate upon the request of these agencies.
13. The operator(s) of the businesses allowed by these special use permits acknowledge and agree to follow Kendall County's Right to Farm Clause.
14. The operator(s) of the businesses allowed by these special use permits shall follow all applicable Federal, State, and Local laws related to the operation of these types of businesses.
15. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permits.
16. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.





TYPICAL SOIL PROTECTION CHART

Table with 10 columns (1-10) and 10 rows (A-J) for soil protection chart.

- 1. Material: 1/2" x 1/2" x 1/2"
2. Material: 1/2" x 1/2" x 1/2"
3. Material: 1/2" x 1/2" x 1/2"
4. Material: 1/2" x 1/2" x 1/2"

SOIL EROSION / SEDIMENT CONTROL OPERATION TIME SCHEDULE

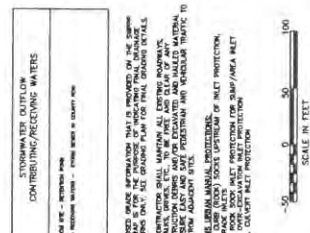
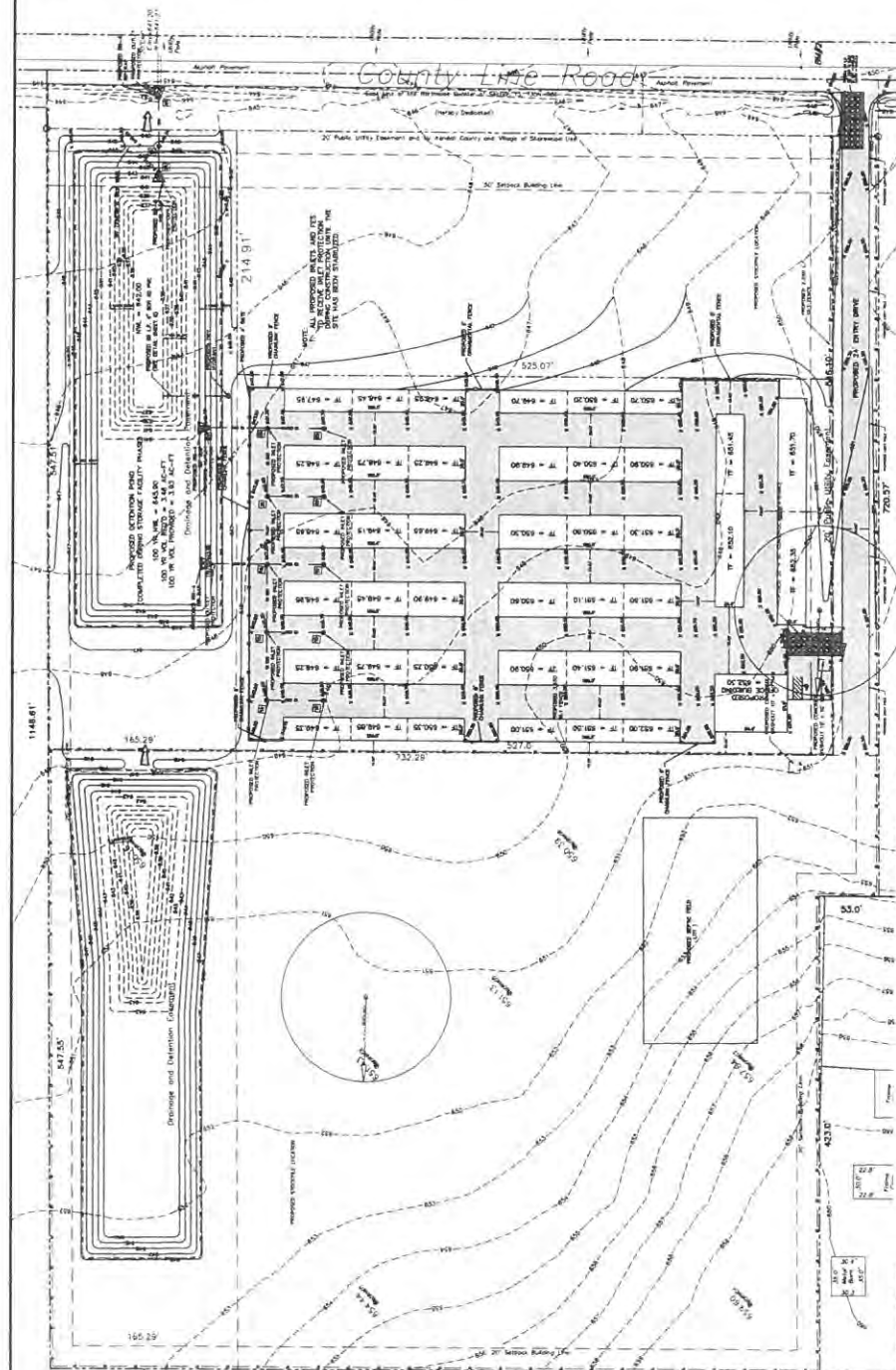
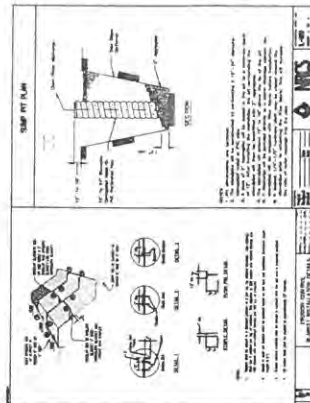
Table with 2 columns: Activity, Start Date, End Date. Includes rows for Construction, Erosion Control, and Final Stabilization.

1) CONTRACTOR SHALL UPDATE THE TABLE BY SHOWING OR DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESS.
2) THE SCHEDULE MUST COMPLY WITH SEQUENCE OF CONSTRUCTION.

CONTRACTOR / OWNER SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS FOR EROSION CONTROL MEASURES:
ALL CONTRACTORS AND SUBCONTRACTORS REQUIRED IN A STORM WATER POLLUTION PREVENTION PLAN SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE STORM WATER POLLUTION PREVENTION PLAN.

Form for contractor information including Name, Title, Signature, Date, and Project Name.

Table with 2 columns: Item, Value. Includes rows for Total Area, Impervious Area, and Landscaping Area.



1. SET CHANNELED CONSTRUCTION DISTANCE DETAIL. THE CONSTRUCTION DISTANCE SHALL BE A MINIMUM OF 14" IN WIDTH AND 30" IN DEPTH...
2. ALL STRUCTURES SHALL BE PROTECTED WITH ANTI-WASH OFFER FROM THESE DETAILS IN THE SWEEP...
3. ALL STRUCTURES SHALL BE PROTECTED WITH ANTI-WASH OFFER FROM THESE DETAILS IN THE SWEEP...

4. SCHEDULE SHOULD BE LOCATED IN AREAS THAT DO NOT HAVE HIGH POTENTIAL FOR CONTRIBUTING SEDIMENTS TO...
5. SCHEDULE SHOULD BE LOCATED IN AREAS THAT DO NOT HAVE HIGH POTENTIAL FOR CONTRIBUTING SEDIMENTS TO...



PROPOSED DETENTION POND (COMPOSED BASEBALL POND) 100 YR HM = 647.80 100 YR VOL REQ'D = 3.34 AC-FT 100 YR VOL PROVIDED = 3.87 AC-FT Drainage and Detention (checkered)

PROPOSED RESTAURANT POND (COMPOSED DRIVING STORAGE FACILITY PHASE) 100 YR HM = 648.00 100 YR VOL REQ'D = 3.46 AC-FT 100 YR VOL PROVIDED = 3.87 AC-FT Drainage and Detention (checkered)

PROPOSED RESTAURANT AREA 100 YR HM = 647.80 100 YR VOL REQ'D = 3.34 AC-FT 100 YR VOL PROVIDED = 3.87 AC-FT Drainage and Detention (checkered)

PROPOSED INDOOR BASEBALL FACILITY FOUNDATION & 1<sup>ST</sup> FLOOR TO BE SLOPED AT 0.6%

PROPOSED ASPHALT PARKING LOT

PROPOSED ASPHALT DRIVE

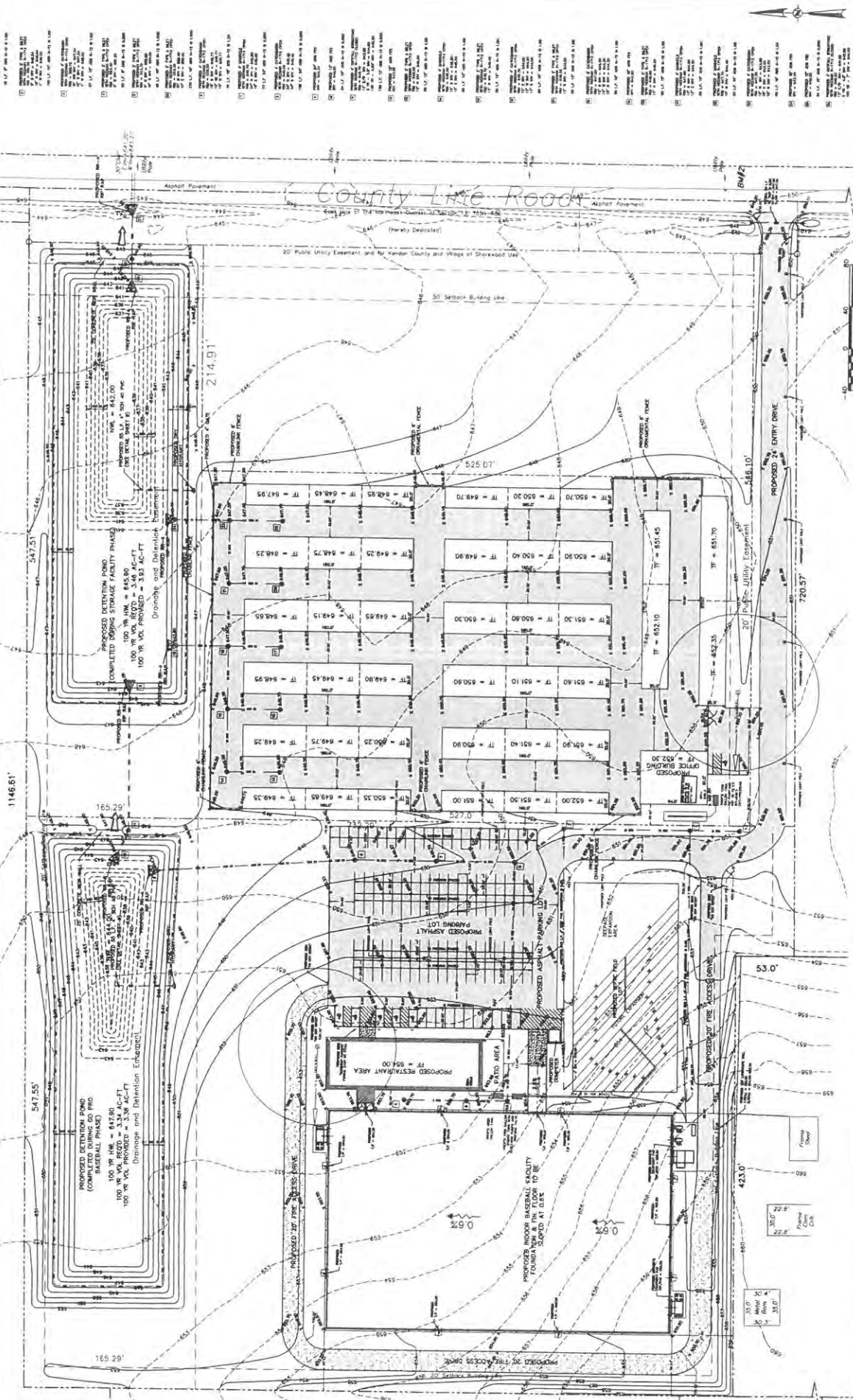
PROPOSED ASPHALT DRIVE

PROPOSED ASPHALT DRIVE

PROPOSED ASPHALT DRIVE

PROPOSED ASPHALT DRIVE

PROPOSED ASPHALT DRIVE



PROPOSED ASPHALT DRIVE

PROPOSED ASPHALT DRIVE

PROPOSED ASPHALT DRIVE

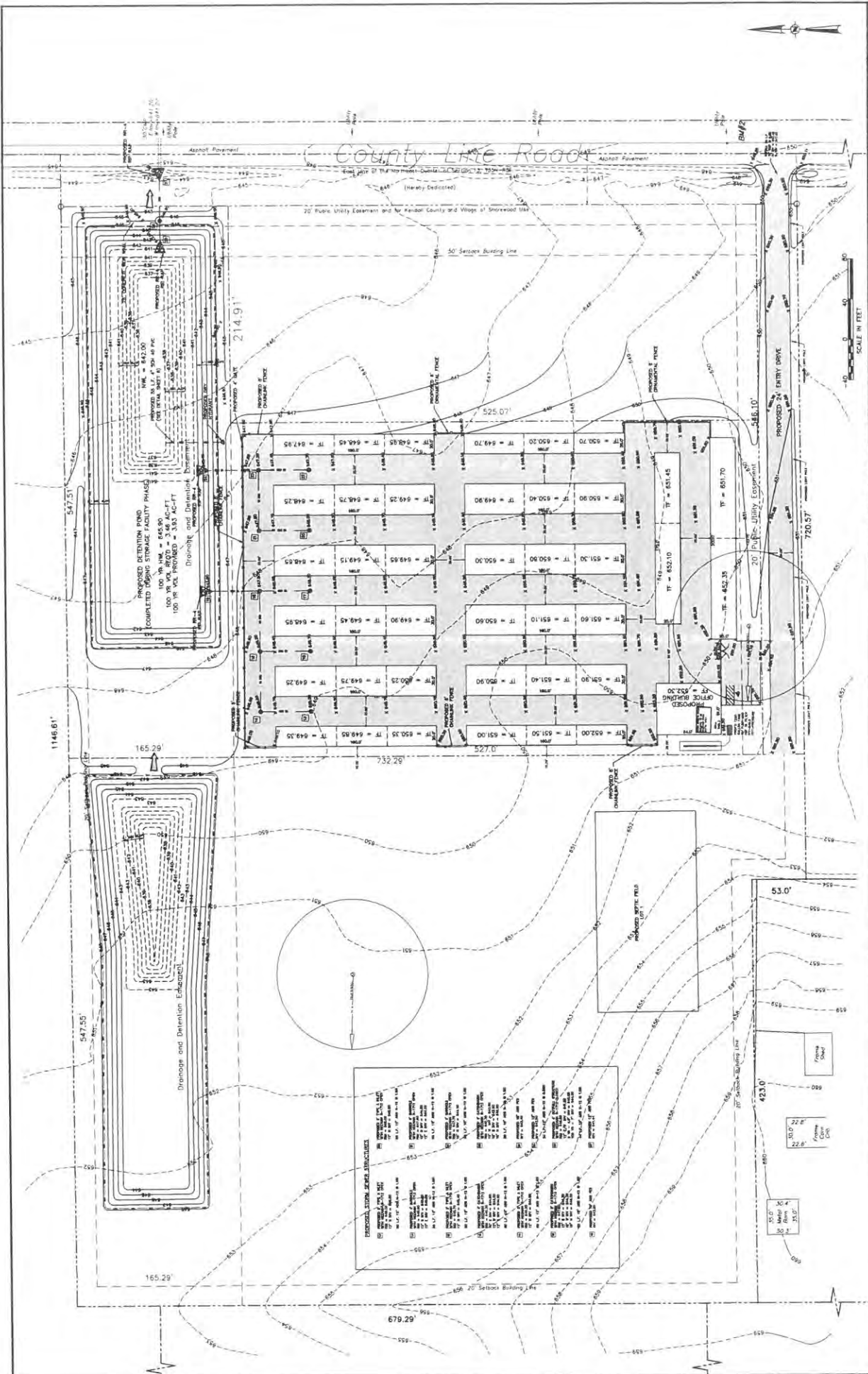
PROJECT NO. 18-447-02  
 SHEET NO. 5  
 SCALE 1" = 40'  
 DATE JAN 16, 2020  
 OF 8 SHEETS

FOUR SEASONS STORAGE FACILITY  
 OVERALL CIVIL SITE PLAN

PREPARED FOR  
 JAMES & DENISE MAFFEO  
 1223 BUELL AVE, JOUET, IL

TEBRUGGE ENGINEERING  
 1105 PINEBUSH STREET - BITE A - FARMINGTON, IL 62506  
 PHONE: 618-780-7414  
 WWW.TEBRUGGEENGINEERING.COM





ENR/C

PROJECT NO. 18-447-D  
 SHEET NO. 6  
 SCALE 1" = 40'  
 DATE JAN 18, 2020  
 OF PLATES

FOUR SEASONS STORAGE FACILITY  
 CIVIL SITE PLAN

PREPARED FOR:  
 JAMES & DENISE MAFFEO  
 1223 BUELL AVE, JOLIET, IL

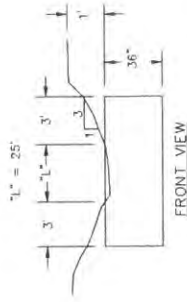
NO.	DATE	SCALE	BY	CHKD.	DESCRIPTION
1					CONCEPT SITE PLAN
2					PRELIMINARY CIVIL SITE PLAN
3					FINAL CIVIL SITE PLAN

TEBRUGGE ENGINEERING  
 1000 SOUTH BROADWAY  
 JOLIET, IL 61781  
 PHONE: 815.741.1000  
 FAX: 815.741.1001  
 WWW.TEBRUGGEENGINEERING.COM







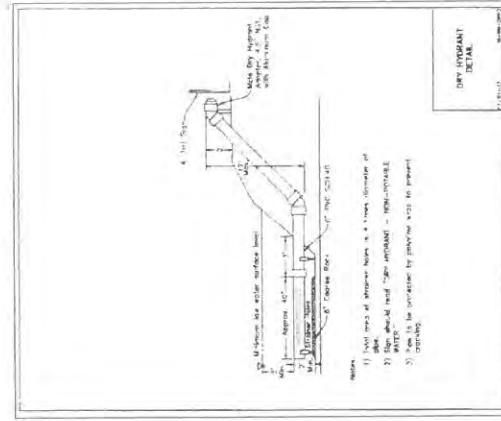
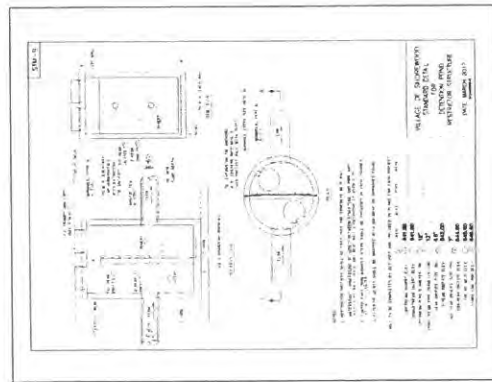


NOTE:  
 "1" IS SIZED TO PASS  
 100 YR. EVENT WITH  
 ONE FOOT DEPTH OF  
 WATER



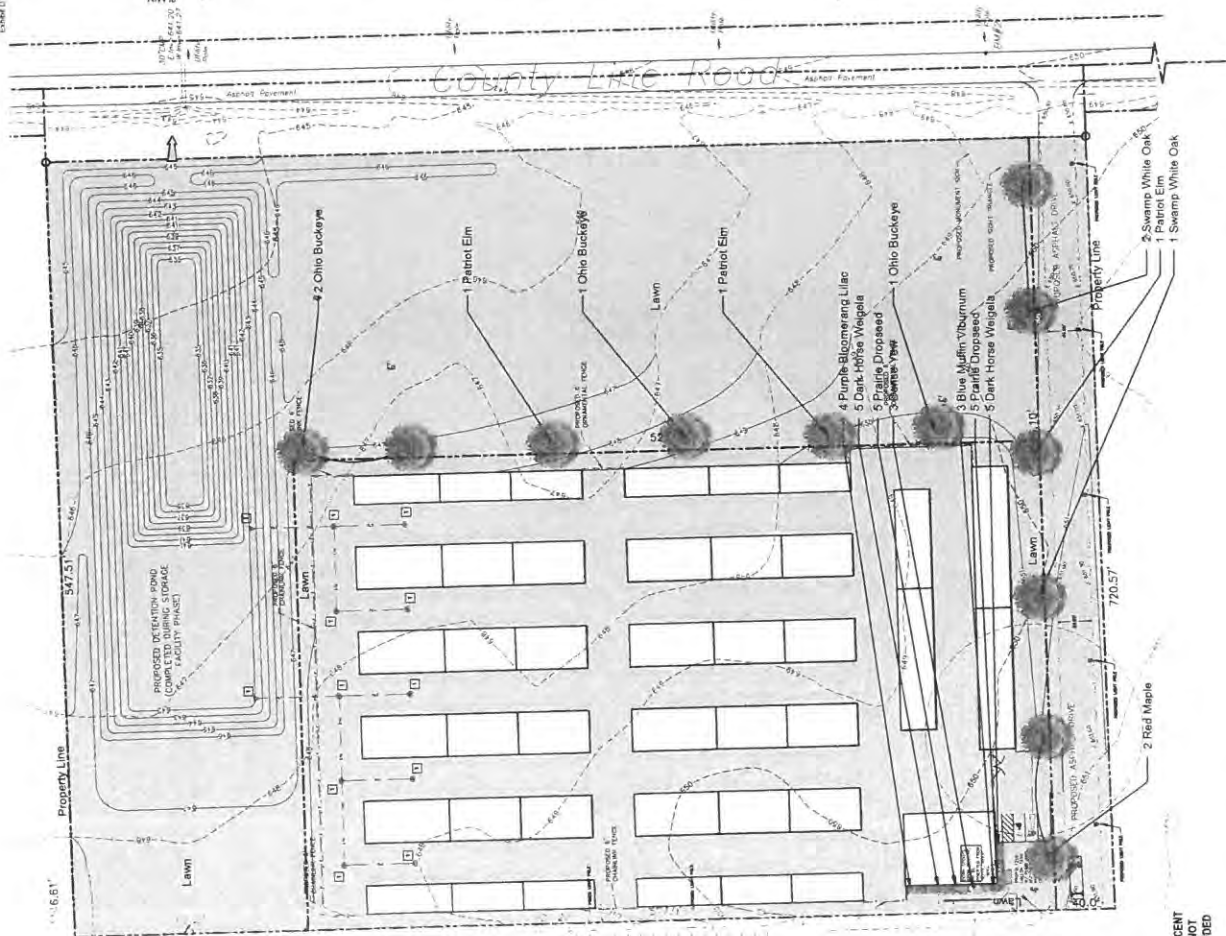
SIDE VIEW

CONCRETE OVERFLOW DETAIL  
 N.T.S.



<b>TEBRUGGE ENGINEERING</b> 1000 N. W. 10th St. MIAMI, FL 33136 PHONE: 305.361.8600    FAX: 305.361.8601 WWW.TEBRUGGEENGINEERING.COM	PREPARED FOR <b>JAMES &amp; DENISE MAFFEO</b> 1223 BUELL AVE., JOLIET, IL	PROJECT NO. 19-44732 SCALE 1" = 40' DATE JAN 18, 2020	SHEET NO. <b>8</b> OF 8 SHEETS
	FOUR SEASONS STORAGE FACILITY GENERAL NOTES & DETAILS II		

ENHANCED



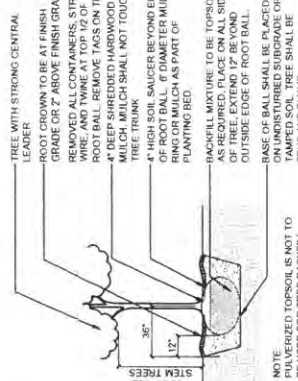
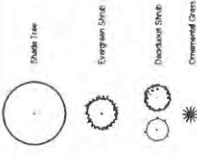
ADJACENT LOT NOT INCLUDED

Storage Unit Facility

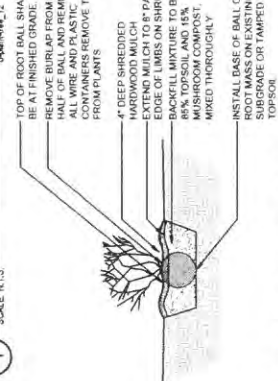
**GENERAL NOTES: LANDSCAPE**

- Notes indicated on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plan.
- Contractor shall be responsible for making immediate inquiries with all underground utilities and structures.
- All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and underground utility structures from damage during construction. All trees to be removed shall be removed from within 10 days of the start of the planting season. It is notified and shall conform to the American Horticultural Society's tree removal and preservation practices.
- Plant material shall be sized and type specified. Substitution of plant material shall be on a like-for-like basis and approved in writing by the Owner's Representative.
- Do not install plant material until it has been inspected and approved in writing by the Owner's Representative. In no case shall plant material be smaller than indicated in the specifications.
- All plant material shall be inspected and approved by the Owner's Representative prior to any and all plant material installation.
- Final location of all plant material shall be subject to approval of the Owner's Representative prior to installation.
- The landscape contractor is responsible for providing Owner's Representative with a final landscape plan showing the location and quantity of all plant material to be installed and maintained with watering until final acceptance of the project.
- Apply a mulch layer as per manufacturer's recommendation prior to installing plants. Mulch shall be a minimum of 2" deep and shall be applied in a 12" radius from the base of the plant.
- Contractor to provide landscape beds by installing 2" of Mulchroom Compost into new beds. Do not add compost to existing beds or existing trees.
- Contractor shall be responsible for providing watering conditions and shall follow best practices in specification.
- Top dress shall be installed and maintained at all disturbed areas.
- Contractor shall provide all water distributed as a result of construction.

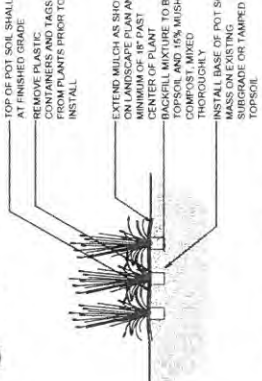
LEGEND



1 Tree Installation



2 Shrub Installation



3 Perennial & Ornamental Grass Installation

**PLANT LIST**

Shrub Tree - Ball and Burlap	Common Name
1 3" cal. Blue Mufin Viburnum	Blue Mufin Viburnum
2 3" cal. Swamp White Oak	Swamp White Oak
3 3" cal. Swamp-View	Swamp-View
4 3" cal. Ohio Buckeye	Ohio Buckeye
5 3" cal. Patriot Elm	Patriot Elm
6 3" cal. Red Maple	Red Maple

Evergreen Shrub - Ball and Burlap or Container	Common Name
1 12" H. x 12" Sp. Blue Mufin Viburnum	Blue Mufin Viburnum
2 12" H. x 12" Sp. Swamp White Oak	Swamp White Oak
3 12" H. x 12" Sp. Swamp-View	Swamp-View
4 12" H. x 12" Sp. Ohio Buckeye	Ohio Buckeye
5 12" H. x 12" Sp. Patriot Elm	Patriot Elm
6 12" H. x 12" Sp. Red Maple	Red Maple

Deciduous Shrub - Ball and Burlap or Container	Common Name
1 12" H. x 12" Sp. Blue Mufin Viburnum	Blue Mufin Viburnum
2 12" H. x 12" Sp. Swamp White Oak	Swamp White Oak
3 12" H. x 12" Sp. Swamp-View	Swamp-View
4 12" H. x 12" Sp. Ohio Buckeye	Ohio Buckeye
5 12" H. x 12" Sp. Patriot Elm	Patriot Elm
6 12" H. x 12" Sp. Red Maple	Red Maple

Perennials, Ornamental Grasses, and Grasses	Common Name
1 12" H. x 12" Sp. Blue Mufin Viburnum	Blue Mufin Viburnum
2 12" H. x 12" Sp. Swamp White Oak	Swamp White Oak
3 12" H. x 12" Sp. Swamp-View	Swamp-View
4 12" H. x 12" Sp. Ohio Buckeye	Ohio Buckeye
5 12" H. x 12" Sp. Patriot Elm	Patriot Elm
6 12" H. x 12" Sp. Red Maple	Red Maple

**Go Pro Ball Facility**  
NW Quadrant of R132 & County Line Rd  
Shawneer, Illinois

**uplandDesign Ltd**  
New Planning and Landscape Architecture  
7015 S. 25th Street, Bloomington, Illinois 61814  
618-254-1000, www.uplanddesign.com

**Landscape Plan**

**SHEET NUMBER L1.0**

**DRAW / REVISION**

DATE	REVISION / REVISION	BY
11/15/2023	Final Design	HEF/STB
11/15/2023	Perennial Planting	HEF/STB

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Exhibit E

Luminaire Schedule Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and efficacy used

Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Air Term Lumens	lum. Watts	Air Watts	III	Description	Manufacturer
L	1	A	PAR230-160-474	1x160E	3145	2180	150	167	CR01	PAR230-160-474	HAMIL OUTDOOR
L	1	A	PAR230-160-W-800	2x160-DEWB1	2172	4305	150	207	CR02	PAR230-160-W-800	HAMIL OUTDOOR
L	1	AS	PAR230-110W-729C	1x110E	800	500	15	17	LEW0	PAR230-110-W-729C	HAMIL OUTDOOR
L	43	T	1X0.374-150-4	1x150E	76	76	87	87	CR03	1X0.374-150-4	HAMIL OUTDOOR

Calculator Summary

Label	Celltype	Units	Avg	Min	Max	Avg 90%	Max 90%	Description
PAR230-160E	FC	0.45	0.1	0.0	0.0	0.1	0.1	PAR230-160E
PAR230-160W-800	FC	1.1	0.1	0.0	0.0	0.1	0.1	PAR230-160W-800
PAR230-110W-729C	FC	2.36	0.3	0.0	0.0	0.3	0.3	PAR230-110W-729C
1X0.374-150-4	FC	1.98	0.1	0.0	0.0	0.1	0.1	1X0.374-150-4

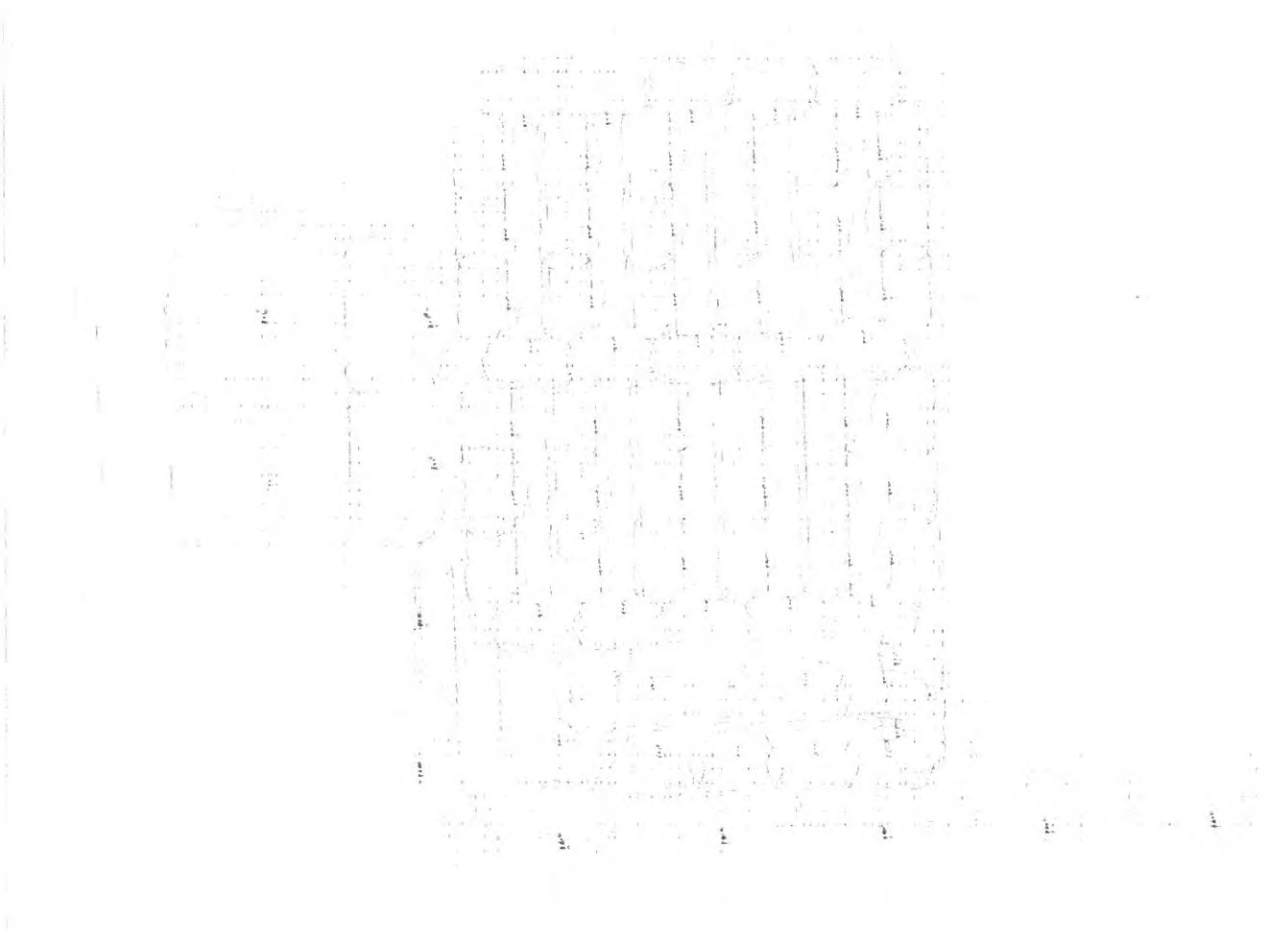
PG Brighton is neither licensed nor insured to determine code compliance. Code compliance review by others.

  
 Project Name: GO PRO BASEBALL SITE  
 Project No: 2024-0001  
 Date: 10/15/2024  
 Drawn by: [Name]  
 Checked by: [Name]

GO PRO BASEBALL SITE  
 FEDERAL CO

Page 1 of 2

Exhibit E



PG Engineers is neither a licensed nor insured to determine code compliance. Code compliance review by others.

PG  
ENGINEERS

Project Name: **GO PRO BASEBALL SITE**  
Location: **YENOMI CO. II**

Drawn By: **Paul Crabin**  
Checked By: **David H. Crabin**  
Scale: **1" = 30'**

Project No. \_\_\_\_\_  
Date: \_\_\_\_\_

Page 2 of 3

Exhibit E

Line	Code	Quantity	Unit	Amount	Material	Labor	Subtotal	Overhead	Total
1	100	100	Yd	100	100	100	100	100	100
2	100	100	Yd	100	100	100	100	100	100
3	100	100	Yd	100	100	100	100	100	100
4	100	100	Yd	100	100	100	100	100	100
5	100	100	Yd	100	100	100	100	100	100
6	100	100	Yd	100	100	100	100	100	100
7	100	100	Yd	100	100	100	100	100	100
8	100	100	Yd	100	100	100	100	100	100
9	100	100	Yd	100	100	100	100	100	100
10	100	100	Yd	100	100	100	100	100	100
11	100	100	Yd	100	100	100	100	100	100
12	100	100	Yd	100	100	100	100	100	100
13	100	100	Yd	100	100	100	100	100	100
14	100	100	Yd	100	100	100	100	100	100
15	100	100	Yd	100	100	100	100	100	100
16	100	100	Yd	100	100	100	100	100	100
17	100	100	Yd	100	100	100	100	100	100
18	100	100	Yd	100	100	100	100	100	100
19	100	100	Yd	100	100	100	100	100	100
20	100	100	Yd	100	100	100	100	100	100
21	100	100	Yd	100	100	100	100	100	100
22	100	100	Yd	100	100	100	100	100	100
23	100	100	Yd	100	100	100	100	100	100
24	100	100	Yd	100	100	100	100	100	100
25	100	100	Yd	100	100	100	100	100	100
26	100	100	Yd	100	100	100	100	100	100
27	100	100	Yd	100	100	100	100	100	100
28	100	100	Yd	100	100	100	100	100	100
29	100	100	Yd	100	100	100	100	100	100
30	100	100	Yd	100	100	100	100	100	100
31	100	100	Yd	100	100	100	100	100	100
32	100	100	Yd	100	100	100	100	100	100
33	100	100	Yd	100	100	100	100	100	100
34	100	100	Yd	100	100	100	100	100	100
35	100	100	Yd	100	100	100	100	100	100
36	100	100	Yd	100	100	100	100	100	100
37	100	100	Yd	100	100	100	100	100	100
38	100	100	Yd	100	100	100	100	100	100
39	100	100	Yd	100	100	100	100	100	100
40	100	100	Yd	100	100	100	100	100	100
41	100	100	Yd	100	100	100	100	100	100
42	100	100	Yd	100	100	100	100	100	100
43	100	100	Yd	100	100	100	100	100	100
44	100	100	Yd	100	100	100	100	100	100
45	100	100	Yd	100	100	100	100	100	100
46	100	100	Yd	100	100	100	100	100	100
47	100	100	Yd	100	100	100	100	100	100
48	100	100	Yd	100	100	100	100	100	100
49	100	100	Yd	100	100	100	100	100	100
50	100	100	Yd	100	100	100	100	100	100
51	100	100	Yd	100	100	100	100	100	100
52	100	100	Yd	100	100	100	100	100	100
53	100	100	Yd	100	100	100	100	100	100
54	100	100	Yd	100	100	100	100	100	100
55	100	100	Yd	100	100	100	100	100	100
56	100	100	Yd	100	100	100	100	100	100
57	100	100	Yd	100	100	100	100	100	100
58	100	100	Yd	100	100	100	100	100	100
59	100	100	Yd	100	100	100	100	100	100
60	100	100	Yd	100	100	100	100	100	100
61	100	100	Yd	100	100	100	100	100	100
62	100	100	Yd	100	100	100	100	100	100
63	100	100	Yd	100	100	100	100	100	100
64	100	100	Yd	100	100	100	100	100	100
65	100	100	Yd	100	100	100	100	100	100
66	100	100	Yd	100	100	100	100	100	100
67	100	100	Yd	100	100	100	100	100	100
68	100	100	Yd	100	100	100	100	100	100
69	100	100	Yd	100	100	100	100	100	100
70	100	100	Yd	100	100	100	100	100	100
71	100	100	Yd	100	100	100	100	100	100
72	100	100	Yd	100	100	100	100	100	100
73	100	100	Yd	100	100	100	100	100	100
74	100	100	Yd	100	100	100	100	100	100
75	100	100	Yd	100	100	100	100	100	100
76	100	100	Yd	100	100	100	100	100	100


  
 Project Name: **GO PRO BASEBALL SITE**
  
 Prepared by: **FENDALL CO. E**
  
 Date: 11/11/2011

**MINOR AMENDMENT TO EXISTING SPECIAL USE**

**EXTENDING THE DEADLINE FOR INSTALLING FENCING AND LANDSCAPING ON PROPERTY LOCATED APPROXIMATELY 0.15 MILES NORTH OF THE INTERSECTION OF ROUTE 52 AND COUNTYLINE ROAD ON THE WEST SIDE OF COUNTYLINE ROAD (PIN: 09-13-200-010) IN SEWARD TOWNSHIP**

*WHEREAS*, Section 13:08 of the Kendall County Zoning Ordinance permits the Kendall County Planning, Building and Zoning Committee of the Kendall County Board to approve minor amendments to existing special use permits and provides the procedure through which minor amendments to existing special use permits are granted; and

*WHEREAS*, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the B-3 Highway Business District and consists of approximately 4.01 acres located approximately 0.15 miles north of the intersection of Route 52 and County Line Road on the west side of County Line Road (PIN: 09-13-200-010), in Seward Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

*WHEREAS*, on September 15, 2020, the Kendall County Board approved Ordinance 2020-14 which granted a special use permit for an indoor/outdoor storage business at the subject property; and

*WHEREAS*, Condition Number 4.B of Ordinance 2020-14 stated that the fencing and landscaping had to be installed within 240 days of the approval of the special use permit; and

*WHEREAS*, on April 12, 2021, the Kendall County Planning, Building and Zoning Committee granted a minor amendment to Ordinance 2020-14 extending the deadline for installing the fencing and landscaping to October 31, 2021, and allowing for an additional extension if the additional extension was approved by the Kendall County Planning, Building and Zoning Committee; and

*WHEREAS*, the subject property is currently owned by Four Seasons Storage, LLC as represented by James and Denise Maffeo and hereinafter shall be referred to as “Petitioner”; and

*WHEREAS*, on or about September 1, 2021, Petitioner’s representative filed a petition for a minor amendment to Condition Number 4.B of Ordinance 2020-14 as allowed by the minor amendment to Ordinance 2020-14 granted by the Planning, Building and Zoning Committee dated April 12, 2021, to extend the deadline for installing the fencing and landscaping to June 1, 2022; and

**NOW, THEREFORE, BE IT ORDAINED, BY THE PLANNING, BUILDING AND ZONING COMMITTEE OF THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS**, as follows:

1. The Planning, Building and Zoning Committee of the Kendall County Board finds that the requested minor amendment will result in equal or better performance than the original condition imposed and the property will still be in substantial compliance with the previously approved Ordinance 2020-14.
2. The Planning, Building and Zoning Committee of the Kendall County Board hereby grants approval of Petitioner’s petition for a minor amendment to Condition Number 4.B of Ordinance 2020-14 by allowing the deadline for installing the fencing and landscaping outlined in Ordinance 2020-14 and minor amendment to Ordinance 2020-14 dated April 12, 2021, to be extended until June 1, 2022; this deadline may be extended beyond June 1, 2022, if requested by the property owner and if the Planning, Building and Zoning Committee deems such an extension necessary.
3. This minor amendment shall be treated as a covenant running with the land and is binding on the

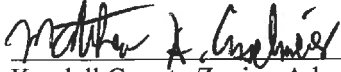
State of Illinois  
County of Kendall

Zoning Petition  
#21-34

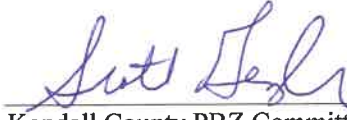
successors, heirs, and assigns as to the same special use conducted on the property.

*IN WITNESS OF*, this minor amendment to an existing special use permit has been enacted by a majority vote of the Planning, Building and Zoning Committee of the Kendall County Board and is effective this 13<sup>th</sup> day of September, 2021.

Attest:



\_\_\_\_\_  
Kendall County Zoning Administrator  
Matthew H. Asselmeier



\_\_\_\_\_  
Kendall County PBZ Committee Chairman  
Scott Gengler



**LEGAL DESCRIPTION OF TRACT 2 (B-3 Special Use Parcel):**

That Part of the Northeast Quarter of Section 13, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northeast Corner of said Northeast Quarter; thence Southerly, along the East Line of said Northeast Quarter, 1142.05 feet; thence Westerly, parallel with the North Line of said Northeast Quarter, 599.06 feet; thence Southerly, parallel with the West Line of said Northeast Quarter, 165.29 feet for the point of beginning; thence Easterly, parallel with said North Line, 332.25 feet; thence Southerly, parallel with said West Line, 525.07 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter; thence Westerly, parallel with said North Line, 332.25 feet to a line drawn Southerly from the point of beginning, parallel with said West Line; thence Northerly, parallel with said West Line, 527.0 feet to the point of beginning in Seward Township, Kendall County, Illinois.

**From:** [Daniel J Kramer](#)  
**To:** [Matt Asselmeier](#); [Scott Koepfel](#); [Scott Gengler](#)  
**Subject:** RE: [External]Four Seasons Storage  
**Date:** Monday, May 2, 2022 1:07:58 PM

---

Matt I sent an e-mail last week asking to extend the Landscaping Date until October 1,2022. The fencing is totally complete. The buildings are up for the first phase and look beautiful. I know that is an unusual comment for a storage facility but the Owners did a great job on the architecture and fencing both. With the wet spring and mud Oct. 1, 2022 would work.

Very Truly Yours,

Daniel J. Kramer  
Attorney at Law  
1107A S. Bridge Street  
Yorkville, IL. 60560  
Phone-630.553.9500  
Fax-630.553.5764

NOTICE: This communication is covered by the Electronic Communications Privacy Act found at 18 USC 2510 et. seq. and is intended to remain confidential and is subject to the applicable attorney/client and or work product privileges. If you are not the intended recipient of this message, or if this message has been addressed to you in error, please immediately alert the sender by reply e-mail and then delete this message and all attachments. Do not deliver, distribute or copy this message and/or any attachments and do not disclose the contents or take any action in reliance upon the information contained in this communication or any attachments if you are not the intended recipient.

---

**From:** Matt Asselmeier <masselmeier@co.kendall.il.us>  
**Sent:** Monday, May 2, 2022 11:15 AM  
**To:** Daniel J Kramer <dkramer@dankramerlaw.com>; Scott Koepfel <skoepfel@kendallcountyil.gov>; Scott Gengler <sgengler@co.kendall.il.us>  
**Subject:** RE: [External]Four Seasons Storage

Dan:

Any update on this one?

Thanks,

Matthew H. Asselmeier, AICP, CFM  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498

PH: 630-553-4139

Fax: 630-553-4179

---

**From:** Daniel J Kramer [<mailto:dkramer@dankramerlaw.com>]

**Sent:** Wednesday, April 27, 2022 2:49 PM

**To:** Matt Asselmeier <[masselmeier@co.kendall.il.us](mailto:masselmeier@co.kendall.il.us)>; Scott Koeppel <[skoeppel@kendallcountyil.gov](mailto:skoeppel@kendallcountyil.gov)>; Scott Gengler <[sgengler@co.kendall.il.us](mailto:sgengler@co.kendall.il.us)>

**Subject:** [External]Four Seasons Storage

**CAUTION** - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Matt You inquired about fencing and landscaping compliance by June 1, 2022. The fencing is in and the buildings in terms of architecture for a storage facility look outstanding. I have asked Clients to let me know if they will have landscaping installed by June 1, 2022. It is predominantly on east side of buildings (slightly downhill). I stopped by last Thurs and it looked awfully wet. Blacktop road etc is in and looks great. I think some dry weather is needed or it will be a sea of mud. I will let you know as soon as I hear.

Very Truly Yours,

Daniel J. Kramer  
Attorney at Law  
1107A S. Bridge Street  
Yorkville, IL. 60560  
Phone-630.553.9500  
Fax-630.553.5764

NOTICE: This communication is covered by the Electronic Communications Privacy Act found at 18 USC 2510 et. seq. and is intended to remain confidential and is subject to the applicable attorney/client and or work product privileges. If you are not the intended recipient of this message, or if this message has been addressed to you in error, please immediately alert the sender by reply e-mail and then delete this message and all attachments. Do not deliver, distribute or copy this message and/or any attachments and do not disclose the contents or take any action in reliance upon the information contained in this communication or any attachments if you are not the intended recipient.



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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141 Fax (630) 553-4179

**MEMORANDUM**

---

To: Planning, Building and Zoning Committee  
From: Matthew H. Asselmeier, AICP, CFM, Senior Planner  
Date: May 2, 2022  
Re: Drainage Issue at 7405 Audrey Avenue (Lot 48 of Rosehill)

The owner of the subject property contacted the Planning, Building and Zoning Department and requested assistance regarding drainage.

A drainage easement is located along the eastern property line of the subject property. This easement was dedicated to Kendall County. The related pages from the plat are attached.

WBK Engineering, LLC prepared a scope of work to investigate the matter. The proposal is attached.

If you have any questions regarding this memo, please let me know.

MHA

Encs.: Rosehill Plat  
WBK Engineering, LLC Price Quote



# Rosehill Subdivision Oswego and Kendall Townships Kendall County Illinois

State of Illinois )  
County of Kane )  
I, Christina A. King, Trust Officer  
do hereby certify that OC Second National Bank as Trustee  
No. 8775 is the owner of the land described in the foregoing  
surveyor's certificate and has caused the same to be surveyed, subdivided and platted as  
shown by the annexed plat for the uses and purposes therein set forth as allowed and  
permitted by statute in relation to the filing of a Plat of Subdivision, Chicago  
Kendall County, Illinois. The premises are located within Community Unit School  
District No. 115.  
Dated at Aurora, Illinois, this 27th day of July, 2003.

By: Christina A. King Attest: Melinda M. Davis  
Trust Officer

State of Illinois )  
County of Kane )  
I, NICKI KIRK, a Notary Public in and for the State of Illinois,  
do hereby certify that Christina A. King is the Trust Officer and Melinda M. Davis is the Trustee who  
are personally known to me to be the same persons whose names are subscribed to the  
foregoing owner's certificate appeared before me this day in person and acknowledged the  
execution of the annexed plat and accompanying instrument as their free and voluntary act.  
Given under my hand and Notarial Seal, this 27th day of JULY, 2003.

Nicki Kirk  
Notary Public



State of Illinois )  
County of Kendall )  
I, Marky Schwartz, do hereby certify that all matters  
pertaining to the Highway requirements as described in the  
regulations governing plats adopted by the County Board of  
Kendall County, as they pertain to the annexed plat, have been complied with.  
Dated this 27th day of July, 2003.



ATTEST: Marky Schwartz  
Mayor

State of Illinois )  
County of Kendall )  
I, Francis C. Kloos, County Engineer of Kendall County, do  
hereby certify that the annexed plat has been examined by me  
and operates a sewage disposal system capable of meeting or  
exceeding all applicable State and local rules and regulations.  
Approved this 27th day of July, 2003.

Francis C. Kloos  
Kendall Township Highway Commissioner

State of Illinois )  
County of Kendall )  
I, Paul Anderson, do hereby certify that all matters  
pertaining to the Highway requirements as described in the  
regulations governing plats adopted by the County Board of  
Kendall County, as they pertain to the annexed plat, have been complied with.  
Dated this 27th day of July, 2003.

Paul Anderson  
County Engineer

Approved by the United City of Yorkville Urban Commission,  
this 27th day of July, 2003 A.D.

Paul Anderson  
Chairman

Approved this 27th day of September, 2003 A.D.

Paul Anderson  
Plat & Zoning Committee, Chairman

Approved by the Plan Commission,  
this 27th day of July, A.D. 2003.

Paul Anderson  
Chairman

State of Illinois )  
County of Kendall )  
I, Paul Anderson, do hereby certify that all matters  
pertaining to the Highway requirements as described in the  
regulations governing plats adopted by the County Board of  
Kendall County, as they pertain to the annexed plat, have been complied with.  
Dated this 27th day of July, 2003.

Paul Anderson  
Plat & Zoning Committee, Chairman

State of Illinois )  
County of Kendall )  
I, Paul Anderson, do hereby certify that all matters  
pertaining to the Highway requirements as described in the  
regulations governing plats adopted by the County Board of  
Kendall County, as they pertain to the annexed plat, have been complied with.  
Dated this 27th day of July, 2003.

Paul Anderson  
Chairman of County Board

State of Illinois )  
County of Kendall )  
I, Paul Anderson, do hereby certify that all matters  
pertaining to the Highway requirements as described in the  
regulations governing plats adopted by the County Board of  
Kendall County, as they pertain to the annexed plat, have been complied with.  
Dated this 27th day of August, 2003.

Paul Anderson  
County Clerk



Kendall County Right-to-Farm Notice

Kendall County has a long, rich tradition in agriculture and respects the role that farming  
continues to play in shaping the economic identity of the county. Property that supports  
agriculture in any way is an important part of our heritage. The County Board is committed to  
constructing a residence or facility near this zoning should be aware that normal  
agriculture practices may result in occasional smells, dust, sights, noise, and unique hours  
of operations that may be disruptive to adjacent areas.

Land Cash Fees Notice

All lots as delineated in the above plat are subject to payments of fees pursuant to the  
Land Cash Ordinance of Kendall County as administered by the Kendall County Building  
and Zoning Office, and is a covenant running with the land. A recordable release will be  
issued upon payment of such fees.

General Easement Provision

An easement is hereby reserved for and granted to Near Gas Company, the successors  
and assigns, in all streets, alleys and other public ways and places shown on this plat,  
said easement to be for the installations, maintenance, relocation and removal of gas  
facilities.

An easement is hereby reserved for and granted to SBC Telephones Company,  
Communications Company, and A.T. & T. Broadband Cable Television and their  
successors and assigns, in all streets, alleys and other public ways and places shown on this plat,  
and where indicated in the legend for "Utility Easement", to install, lay, construct, renew,  
operate and maintain conduits and cables, with all necessary equipment for the purpose  
of providing utility services to the premises shown on this plat. The right to enter upon the  
premises granted the right to use the streets for said purposes, the right to enter upon the  
lots at all times to install, lay, construct, renew, operate and maintain within said  
easement areas said conduits, cables, and other equipment; and finally the right is hereby  
granted that interfere with any of the said public utility equipment. No permanent buildings or  
trees shall be placed on said easement, but some may be used for gardens, shrubs,  
flower beds, etc. No utility lines shall be installed, do not then or later interfere with the driveway  
uses or the rights granted herein.

Approved this 27th day of July, 2003.

Paul Anderson  
Kendall County Health Department

## UTILITY Easement Provisions

A permanent non-exclusive easement is hereby reserved for and granted to the  
County of Kendall and to all public utility lines and other companies of any kind operating  
under franchises granting them rights in the County of Kendall including, but not limited  
to, the following companies: SBC Telephone Company, Commonwealth Edison Company,  
American Telephone and Telegraph Company, and the Illinois Power Company.  
The Grantee, its, on, upon, across, over, under and through the areas shown by dashed  
lines and labeled "Utility Easement" on this plat of subdivision and where indicated in the  
above legend for the purpose of installing, constructing, inspecting, operating, replacing,  
renewing, maintaining, repairing, reconstructing, upgrading, and otherwise using utility  
lines and facilities, including, but not limited to, telephone or other utility lines and apparatuses, and  
such other installations and service connections as may be required to furnish public  
utility services to the premises shown on this plat. The easement shall extend to the  
Grantee may also be necessary together with the right of the Grantee to install and  
placed hereon for the necessary personnel and equipment to do any or all of the above  
work. No permanent buildings or trees shall be placed on said easements, but the  
Grantee may place thereon any structures, signs, or other utility lines and apparatuses, and  
may or later interfere with the driveway uses and rights. Fences shall not be erected  
upon said easements in any way which will restrict the uses herein granted except where  
indicated otherwise on this plat. The right to enter upon the lots at all times to install, lay,  
plants that interfere with the operation of or access to said utility installations, on,  
upon, across, over, under, or through said easements. The Grantee shall not be  
responsible for the maintenance of any utility lines or apparatuses shown on this plat.  
Landscaping removed during exercise of the herein given rights. Replacement of items so  
removed shall be the responsibility of the then lot owner.

## Drainage Easement Provisions

A permanent non-exclusive easement is hereby reserved for and granted to the  
County of Kendall and to all public utility lines and other companies of any kind operating  
under franchises granting them rights in the County of Kendall including, but not limited  
to, the following companies: SBC Telephone Company, Commonwealth Edison Company,  
American Telephone and Telegraph Company, and the Illinois Power Company.  
The Grantee, its, on, upon, across, over, under and through the areas shown by dashed lines and labeled  
"Drainage Easement" on this plat of subdivision, or where otherwise noted in the above  
legend for the purpose of installing, constructing, inspecting, operating, replacing, renewing,  
maintaining, repairing, reconstructing, upgrading, and otherwise using drainage systems  
and apparatuses and any and all manholes, pipes, connections, catch basins, and  
other structures, including, but not limited to, stormwater detention and retention facilities, subsurface drainage systems  
and apparatuses and any and all manholes, pipes, connections, catch basins, and  
other structures, including, but not limited to, stormwater detention and retention facilities, subsurface drainage systems  
with the right of access across the real estate outlined hereon for the necessary  
personnel and equipment to do any or all of the above work. In furtherance of the  
proposing affirmative rights, the following covenants shall run with said land in perpetuity:  
The Grantee shall not be responsible for the maintenance of any such drainage  
uses or structures shall be placed on said Drainage Easement, but the premises may be  
used for landscaping and other purposes that do not then or later interfere with the  
operation of or access to said drainage systems and apparatuses shown on this plat.  
Drainage Easement, and; Fences shall not be erected upon said Drainage Easement in any  
way which will restrict the uses herein granted. The right is also hereby granted to the  
Grantee to remove any unpermitted buildings or structures, to cut down, trim, or remove  
any trees or shrubs that interfere with the operation of or access to said drainage systems  
and apparatuses shown on this plat. The right to enter upon the lots at all times to install, lay,  
plants that interfere with the operation of or access to said utility installations, on,  
upon, across, over, under, or through said easements. The Grantee shall not be  
responsible for the maintenance of any utility lines or apparatuses shown on this plat.  
Landscaping removed during exercise of the herein given rights. Replacement of items so  
removed shall be the responsibility of the then lot owner.

## Conservation Easement Provisions

A non-exclusive Conservation Easement for the protection of Parcel A, B and that part  
of Lot 59 and that part of Lot 60, is hereby reserved for and granted to the  
Kendall County Board of Conservation Easement, its successors and assigns for the following purposes:  
Subdivision Homeowners Association, the easement and assigns for the following purposes:  
to accept and contract surface water discharge from adjacent upstream property;  
To maintain said land in its natural, scenic and open condition, and;  
To enter said land at all reasonable times for the purpose of inspecting said land to  
determine if the grantor, his heirs or assigns, is complying with the covenants and  
conditions of this grant.

To conduct controlled burns and other management activities that will improve and  
maintain the natural condition of said easement area. In furtherance of the foregoing  
affirmative rights, the grantor makes the following covenants on behalf of himself, his  
heirs and assigns, which covenants shall run with said land in perpetuity:  
There shall be no dredged or fill material placed upon said land after completion of  
construction, except excavation needed for the retention of aquatic life, or for the  
purpose of maintaining the easement area in its natural state. The easement shall be used for  
the purposes of the easement, and shall not be used for any other purpose.  
There shall be no buildings or structures, including signs, constructed upon said  
land.

There shall be no destruction of trees and shrubs on said land, except for prudent  
forestry management which may be necessary to improve the health of the forest,  
damaged, diseased, or dead vegetation which may threaten human occupation of said  
land.

There shall be no plowing of said land nor shall there be any mining, removal of topsoil,  
sand, rock, gravel, minerals or other material from said land.

There shall be no grazing or keeping of livestock or domestic animals of any kind on said  
land, and;  
There shall be no operation of incompatible, dump trucks, motorcycles, all-terrain vehicles  
or any other types of motorized vehicles on said land.

Said "Conservation Easement" may be changed, modified or abrogated only upon written  
approval of said Grantee, or its successor.

State of Illinois )  
County of Kendall )

This instrument No. 03-2-297,  
was filed  
for record in the records of the  
County of Kendall, Illinois,  
on August 27, 2003, at 11:11 o'clock  
A.M. in book \_\_\_\_\_ of \_\_\_\_\_ page \_\_\_\_\_.

Paul Anderson  
Kendall County Recorder  
By Paul Anderson



RECORDED IN  
PLAT BOOK NO. 110  
PAGE NO. 100  
PLAT OF SUBDIVISION  
FILED FOR RECORD IN  
KENDALL COUNTY, ILLINOIS  
AUGUST 27, 2003  
PLAT OF SUBDIVISION

opportunity number



# PROPOSAL

Submitted To: ..... ..... ..... Primary Contact: ..... .....	Submitted By: WBK Engineering, LLC ..... ..... Primary Contact: ..... .....
--	---

# PROJECT INFORMATION

Project Name: .....

Address: .....

City / State / Zip: .....

General Location: .....

<b>SCOPE OF SERVICES</b>	Cost (Not-to-Exceed)	Lump Sum	Time and Materials (T&M)
--------------------------	----------------------	----------	--------------------------

Task Name: \_\_\_\_\_

Deliverable: \_\_\_\_\_

.....	
	<i>Task Budget</i>
Budget for Reimbursable Expenses (Cost Plus 10%): .....	
Total Amount Budgeted For All Services Rendered: .....	

**Additional Tasks on Following Pages.**

We propose to bill you monthly based on the attached Schedule of Charges (if applicable). We establish our contract in accordance with the attached General Terms and Conditions. These General Terms and Conditions are expressly incorporated into and are made an integral part of this contract for professional services. We reserve the right to increase our fees by five percent (5%) on December 31st of each calendar year.

WBK Authorization By (Please Print): .....	Signature .....	Date .....
--	-----------------	------------

The Proposal, Schedule of Charges, and General Terms & Conditions are satisfactory and are hereby accepted. You are authorized to begin the work as specified. Payments will be made as outlined above.

Client Authorization By (Please Print): .....	Signature .....	Date .....
---	-----------------	------------

## ADDITIONAL TASKS

---

Task Name:

Deliverable:

---

---

*Task Budget*

Task Name:

Deliverable:

---

---

*Task Budget*

Task Name:

Deliverable:

---

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*Task Budget*



## **ASSUMPTIONS**

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- That the site was never used for storage of hazardous materials, and therefore the cost of an environmental assessment, mitigation, clean-up and permitting services are not included.
- That all utilities proposed to be used are of adequate capacity and depth, and are immediately adjacent to the parcel. The sanitary sewer will be designed for domestic waste only; process waste collection or treatment design is not expected and is not included in this scope.
- That neither floodplain nor wetlands exist on the site, and therefore the cost of wetland assessment, mitigation design, and flood studies have not been included.
- That topographic or boundary survey is not included in base cost.
- That geotechnical borings and analysis is not included in this proposal. If it is determined that a study will be necessary we will assist you in soliciting a proposal for this work.



---

**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

**MEMORANDUM**

---

To: Kendall County Planning, Building and Zoning Committee

From: Matthew H. Asselmeier, AICP, CFM Senior Planner

Date: May 2, 2022

Re: Approval of Annual NPDES Report

---

Kendall County is required to submit certain documents annually by June 1st as required by its NPDES Permit.

Attached please find the proposed Annual Report.

The 2022 Annual Report is similar to the 2021 Annual Report.

There is a One Thousand Dollar (\$1,000) submittal fee, which has been unchanged for several years.

If you have any questions, please let me know.

MHA

Enc. Proposed Annual Report



# Illinois Environmental Protection Agency

Bureau of Water • 1021 N. Grand Avenue E. • P.O. Box 19276 • Springfield • Illinois • 62794-9276

## Division of Water Pollution Control ANNUAL FACILITY INSPECTION REPORT

### for NPDES Permit for Storm Water Discharges from Separate Storm Sewer Systems (MS4)

*This fillable form may be completed online, a copy saved locally, printed and signed before it is submitted to the Compliance Assurance Section at the above address. Complete each section of this report.*

Report Period: From March, 2021 To March, 2022

Permit No. ILR40 0261

#### MS4 OPERATOR INFORMATION: (As it appears on the current permit)

Name: Kendall County Mailing Address 1: 111 West Fox Street

Mailing Address 2: \_\_\_\_\_ County: Kendall

City: Yorkville State: IL Zip: 60560 Telephone: 630-553-4141

Contact Person: Matthew Asselmeier Email Address: masselmeier@co.kendall.il.us  
(Person responsible for Annual Report)

#### Name(s) of governmental entity(ies) in which MS4 is located: (As it appears on the current permit)

Kendall County

#### THE FOLLOWING ITEMS MUST BE ADDRESSED.

A. Changes to best management practices (check appropriate BMP change(s) and attach information regarding change(s) to BMP and measurable goals.)

- |  |                          |   |                          |
|--|--------------------------|---|--------------------------|
| 1. Public Education and Outreach             | <input type="checkbox"/> | 4. Construction Site Runoff Control       | <input type="checkbox"/> |
| 2. Public Participation/Involvement          | <input type="checkbox"/> | 5. Post-Construction Runoff Control       | <input type="checkbox"/> |
| 3. Illicit Discharge Detection & Elimination | <input type="checkbox"/> | 6. Pollution Prevention/Good Housekeeping | <input type="checkbox"/> |

B. Attach the status of compliance with permit conditions, an assessment of the appropriateness of your identified best management practices and progress towards achieving the statutory goal of reducing the discharge of pollutants to the MEP, and your identified measurable goals for each of the minimum control measures.

C. Attach results of information collected and analyzed, including monitoring data, if any during the reporting period.

D. Attach a summary of the storm water activities you plan to undertake during the next reporting cycle ( including an implementation schedule.)

E. Attach notice that you are relying on another government entity to satisfy some of your permit obligations (if applicable).

F. Attach a list of construction projects that your entity has paid for during the reporting period.

**Any person who knowingly makes a false, fictitious, or fraudulent material statement, orally or in writing, to the Illinois EPA commits a Class 4 felony. A second or subsequent offense after conviction is a Class 3 felony. (415 ILCS 5/44(h))**

Owner Signature: \_\_\_\_\_

Scott R. Gryder

Printed Name: \_\_\_\_\_

Date: \_\_\_\_\_

Kendall County Board Chairman

Title: \_\_\_\_\_

EMAIL COMPLETED FORM TO: [epa.ms4annualinsp@illinois.gov](mailto:epa.ms4annualinsp@illinois.gov)

or Mail to: ILLINOIS ENVIRONMENTAL PROTECTION AGENCY  
WATER POLLUTION CONTROL  
COMPLIANCE ASSURANCE SECTION #19  
1021 NORTH GRAND AVENUE EAST  
POST OFFICE BOX 19276  
SPRINGFIELD, ILLINOIS 62794-9276

This Agency is authorized to require this information under Section 4 and Title X of the Environmental Protection Act (415 ILCS 5/4, 5/39). Failure to disclose this information may result in: a civil penalty of not to exceed \$50,000 for the violation and an additional civil penalty of not to exceed \$10,000 for each day during which the violation continues (415 ILCS 5/42) and may also prevent this form from being processed and could result in your application being denied. This form has been approved by the Forms Management Center.

Illinois Environmental Protection Agency  
**ANNUAL FACILITY INSPECTION REPORT**  
for NPDES Permit for Storm Water Discharges from Separate Storm Sewer Systems (MS4)

**Kendall County, Illinois (NPDES Permit No. ILR400261)**  
**YEAR 1: March 2021-March 2022**

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## Part 1. Changes to Best Management Practices

There are no changes to the Best Management Practices in Year 1 (March 2021-March 2022) for the six minimum control measures as described in the Notice of Intent for Kendall County submitted February 18<sup>th</sup>, 2021.

Note: **X** indicates BMPs performed that were proposed for Year 1 in NOI  
 + indicates BMPs performed that were not originally proposed for Year 1 in NOI

<b>A. Public Education and Outreach</b>	
<b>X</b>	A.1 Distributed Paper Material
<b>X</b>	A.2 Speaking Engagement
	A.3 Public Service Announcement
<b>X</b>	A.4 Community Event
	A.5 Classroom Education Material
<b>X</b>	A.6 Other Public Education
<b>B. Public Participation/Involvement</b>	
	B.1 Public Panel
	B.2 Educational Volunteer
<b>X</b>	B.3 Stakeholder Meeting
	B.4 Public Hearing
	B.5 Volunteer Monitoring
	B.6 Program Coordination
<b>X</b>	B.7 Other Public Involvement
<b>C. Illicit Discharge Detection and Elimination</b>	
<b>X</b>	C.1 Storm Sewer Map Preparation
	C.2 Regulatory Control Program
<b>X</b>	C.3 Detection/Elimination Prioritization Plan
<b>X</b>	C.4 Illicit Discharge Tracing Procedures
<b>X</b>	C.5 Illicit Source Removal Procedures
<b>X</b>	C.6 Program Evaluation and Assessment
<b>X</b>	C.7 Visual Dry Weather Screening
	C.8 Pollutant Field Testing
	C.9 Public Notification
	C.10 Other Illicit Discharge Controls

<b>D. Construction Site Runoff Control</b>	
<b>X</b>	D.1 Regulatory Control Program
<b>X</b>	D.2 Erosion and Sediment Control BMPs
<b>X</b>	D.3 Other Waste Control Programs
<b>X</b>	D.4 Site Plan Review Procedures
	D.5 Public Information Handling Procedures
<b>X</b>	D.6 Site Inspection/Enforcement
<b>X</b>	D.7 Other Construction Site Runoff Controls
<b>E. Post-Construction Runoff Control</b>	
	E.1 Community Control Strategy
	E.2 Regulatory Control Program
<b>X</b>	E.3 Long-Term O&M Procedures
	E.4 Pre-Construction Review of BMP
<b>X</b>	E.5 Site Inspections During Construction
	E.6 Post-Construction Inspections
<b>X</b>	E.7 Other Post-Const. Runoff Controls
<b>F. Pollution Prevention/Good Housekeeping</b>	
<b>X</b>	F.1 Employee Training Program
	F.2 Inspection and Maintenance Program
	F.3 Municipal Operations Storm Water Control
<b>X</b>	F.4 Municipal Operation Waste Disposal
<b>X</b>	F.5 Flood Management/Assess Guidelines
<b>X</b>	F.6 Other Municipal Operations Controls

## **Part 2. Status of Compliance with Permit Conditions**

*(Provide the status of compliance with permit condition, an assessment of the appropriateness of your identified best management practices and progress towards achieving the statutory goal of reducing the discharge of pollutants to the maximum extent practicable [MEP], and your identified measurable goals for each of the minimum control measures.)*

Kendall County submitted a Notice of Intent on February 18<sup>th</sup>, 2021, which initiated a new 5-year permit cycle. The BMPs listed in the 2021 NOI were selected to meet the requirements of the NPDES Phase II program and reduce nonpoint source pollution in Kendall County.

The status of BMPs and measurable goals performed in Year 1 (March 2020-March 2021) are described below.

### **A. Public Education and Outreach**

#### **A.1 Distributed Paper Material**

*Measurable Goals: 1) Track number of people requesting to see the County's Plan on an annual basis.*

Due to the increased preference of electronic documents and the effort to minimize paper waste, Kendall County provides much of their information on the County's website. Kendall County continues to provide links on their website to PDFs of the Stormwater Management Program Plan, the NOI, and Annual Reports. The website also includes materials about sources of stormwater pollution and ways to minimize pollutants. The County's website includes EPA web links, as well as web links to other sites that contain information about the benefits of green infrastructure and rain gardens, impacts of climate change on water resources, and the impacts of climate change on the Midwest.

Kendall County typically tracks the number of views the County website receives annually. In Year 1, the NPDES documents received 252 pageviews.

#### **A.2 Speaking Engagement**

*Measurable Goals: Number of annual presentations*

The Kendall County Soil and Water Conservation District (SWCD) gave a presentation on the benefits of using cover crops in residential gardens for the Kendall County Advisory Council. There were 10 people present at the presentation.

#### **A.4 Community Event**

*Measurable Goals: Increased interest and attendance in annual workshops/seminars.*

The Kendall County Soil and Water Conservation District (SWCD) hosted their annual used oil drop off recycling event on June 19, 2021. At the event, 1,540 gallons of used oil, 60 gallons of antifreeze, and one large 3'x3'x2' box of used oil filters were collected.

The SWCD offered a cover crop seed sale for individuals interested in using cover crops in their home gardens or small-acre farms.

#### **A.6 Other Public Involvement**

*Measurable Goals: Inquiries to linked websites and annual increase in hits to website*

Kendall County tracks the number of views the County website receives annually. In Year 1, the NPDES documents received 252 page views, Groundwater information received 420 views, and Stormwater received 3,092 views.

Information and resources on rain gardens, using native vegetation in residential landscapes to reduce ponding and flooding, using native vegetation to filter stormwater runoff, and general stormwater information was shared with 8 individuals throughout the reporting period.

### **B. Public Participation/Involvement**

#### **B.3 Stakeholder Meetings**

*Measurable Goals: Hold an annual public meeting to establish a positive dialog.*

The Kendall County Stormwater Management Oversight Committee held an annual public meeting on October 19, 2021, at 9:00am in Yorkville, IL. The meeting was held to receive public input regarding stormwater management related regulations and enforcement and to discuss proposed changes to the Kendall County Stormwater Management Ordinance.

At the meeting, 10 of the 10 committee members were present. Also in attendance was the Kendall County Senior Planner and one additional person.

#### **B.7 Other Public Involvement**

*Measurable Goals: Inquiries to linked websites and annual increase in hits to website.*

Kendall County tracks the number of views the County website receives annually. In Year 1, the NPDES documents received 252 page views, Groundwater information received 420 views, and Stormwater received 3,092 views.

### **C. Illicit Discharge Detection and Elimination**

#### **C.1 Storm Sewer Map Preparation**

*Measurable Goals: Review storm sewer mapping annually.*

In August 2021, a soils layer was added to the County's GIS mapping layer. Kendall County will continue to update the storm sewer mapping as necessary.

#### **C.3 Detection/Elimination Prioritization Plan**

*Measurable Goals: Track the number of illicit dischargers discovered and track removal process.*



Kendall County continues to work with the Health Department on an Illicit Discharge Detection and Elimination program to identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4.

There was one illicit discharge investigation during Year 1 at 609 Wheeler Road on October 6, 2021. The County was unable to confirm that the discharge was sewage, however, the owner stated there was a backup in the septic system (in the sewer line or tank). The line ultimately backed up into the property's unfinished gravel basement. From the basement, the sewage was picked up by the sump pump and discharged to the nearby ditch. The owner worked with a sewage disposal company to correct the situation.

The Highway Department performs stormwater related inspections as necessary throughout the County as they relate to road maintenance.

#### **C.4 Illicit Discharge Tracing Procedures**

*Measurable Goals: Track number of illicit discharges discovered and track removal process annually.*

Kendall County continues to work with the Health Department on an Illicit Discharge Detection and Elimination program to identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4.

There was one illicit discharge investigation during Year 1 at 609 Wheeler Road on October 6, 2021. The County was unable to confirm that the discharge was sewage, however, the owner stated there was a backup in the septic system (in the sewer line or tank). The line ultimately backed up into the property's unfinished gravel basement. From the basement, the sewage was picked up by the sump pump and discharged to the nearby ditch. The owner worked with a sewage disposal company to correct the situation.

The County has an Outfall Inspection Procedure Flow Chart (Figure 2) in their Kendall County Stormwater Management Program Plan for detecting and tracing discharges. There is also an Indirect Illicit Discharge Tracking Form available in Appendix 5.6 of the Kendall County Stormwater Management Program Plan for use by County personnel.

#### **C.5 Illicit Source Removal Procedures**

*Track the number of illicit dischargers discovered and track removal process.*

Kendall County continues to work with the Health Department on an Illicit Discharge Detection and Elimination program to identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4.

There was one illicit discharge investigation during Year 1 at 609 Wheeler Road on October 6, 2021. The County was unable to confirm that the discharge was sewage, however, the owner stated there was a backup in the septic system (in the sewer line or tank). The line ultimately backed up into the property's unfinished gravel basement. From the basement, the sewage was picked up by the sump pump and discharged to the nearby ditch. The owner worked with a sewage disposal company to correct the situation.

The County has an 8-step protocol in place for ensuring the removal of illicit discharges. This protocol is explained under Section 3.3.D.3 of the Kendall County Stormwater Management Program Plan.

#### **C.6 Program Evaluation and Assessment**

*Measurable Goals: Annual evaluation surveys.*

Kendall County sent out an annual evaluation survey to all 9 townships within the County in Year 1 to get input on how they can continue to prevent stormwater pollution. Four townships completed the survey. The survey results are included at the end of this report in Appendix 1.

#### **C.7 Visual Dry Weather Screening**

*Measurable Goals: Track the number of illicit dischargers discovered and track removal process.*

Kendall County continues to work on an Illicit Discharge Detection and Elimination program to identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4.

There was one illicit discharge investigation during Year 1 at 609 Wheeler Road on October 6, 2021. The County was unable to confirm that the discharge was sewage, however, the owner stated there was a backup in the septic system (in the sewer line or tank). The line ultimately backed up into the property's unfinished gravel basement. From the basement, the sewage was picked up by the sump pump and discharged to the nearby ditch. The owner worked with a sewage disposal company to correct the situation.

The County has a Stormwater Outfall Inspection Data Form available in Appendix 5.3 of the Kendall County Stormwater Management Program Plan for use by County personnel.

### **D. Construction Site Runoff Control**

#### **D.1 Regulatory Control Program**

*Measurable Goals: Implementation of the Kendall County Stormwater Ordinance.*

In May of 2021, the Kendall County Stormwater Ordinance was updated to reflect Bulletin 75 released in March 2020, specifically in Section 202. Kendall County continues to implement and comply with the Kendall County Stormwater Ordinance.

Kendall County has been working with a review consultant since 2008 who continues to provide stormwater, engineering, wetland, and Soil Erosion and Sediment Control (SESC) review for proposed developments. The consultant conducted SESC inspections at the FMWRD Operations & Maintenance Building Site during the past reporting period on behalf of Kendall County. The table below provides a breakdown of the projects and the number of SESC inspections completed by the consultant in Year 1.

<b>Construction Project</b>	<b>Date SESC Inspections Started</b>	<b>Ongoing Project or Project Completed</b>	<b># of Inspections Completed in Year 1</b>
FMWRD O&M Building	July 2019	Project completed	4 inspections
Vet & Kennel at Bell and Ridge	October 2020	Ongoing project	1 inspection
Joliet Park District – Grove Road	April 2020	Ongoing project	2 inspections
Nicor Gas Pipeline – Miller Rd and Creek Rd	November 2021	Project Completed	1 inspection
276 Rte. 52	June 2021	Ongoing project	1 inspection
Four Seasons Storage	June 2021	Ongoing project	1 inspection
Go Pro	June 2021	Ongoing project	3 inspections
2025 Simmons	June 2021	Ongoing project	1 inspection
4819 Rte. 52	June 2021	Project completed	1 inspection
Sable Creek Homestead	July 2021	Project completed	1 inspection

**Soil Erosion and Sediment control inspections were also completed by the Kendall County SWCD throughout the year.**

**D.2 Erosion and Sediment Control BMPs**

*Measurable Goals: Adoption of County ordinance amendments as developed.*

**The County outlines the Soil Erosion and Sediment Control requirements for construction sites in Article 3 of the Kendall County Stormwater Management Ordinance.**

**In May of 2021, the Kendall County Stormwater Ordinance was updated to reflect Bulletin 75 released in March 2020 .**

**D.3 Other Waste Control Program**

*Measurable Goals: Adoption of County ordinance amendments as developed.*

**No amendments to the Other Waste Control Program were developed because none were needed this year.**

**D.4 Site Plan Review Procedures**

*Measurable Goals: Adoption of ordinance amendments as developed.*

**All construction projects are required to have a Soil Erosion and Sediment Control Plan in place prior to construction as stated in Sec. 301 of the Ordinance. The SESC Plan must be prepared in accordance with the requirements of the Ordinance as well as the standards and specifications contained in the most recent Illinois Urban Manual.**

**No amendments to the Site Plan Review Procedures were developed because none were**

needed this year.

#### **D.6 Site Inspection/Enforcement Procedures**

*Measurable Goals: Review enforceable procedures for construction site inspections and update as necessary.*

**Construction site inspections are enforced under Sec. 303 and Sec. 304 of the Kendall County Stormwater Management Ordinance.**

**If a site is not in compliance with the Ordinance, the property owner has 7 days to correct the issue. If the issue is not corrected in that time frame, a Stop-Work Order will be issued, and the permit may be revoked.**

**The County will continue working with a consultant who will conduct SESC inspections at Kendall County constructions sites. The County will also continue to work with the Kendall County Soil & Water Conservation District to conduct stormwater inspections.**

#### **D.7 Other Construction Site Runoff Controls**

*Measurable Goals: Soil Erosion and Sediment Control (SESC) inspections will be monitored and filed until final site acceptance by Kendall County.*

**Kendall County evaluates their Construction Site Runoff Control Program by monitoring and recording Construction Site Runoff Control compliance.**

**The County will continue working with a consultant who will conduct SESC inspections at Kendall County construction sites. The County will also continue to work with the Kendall County Soil & Water Conservation District to conduct stormwater inspections.**

### **E. Post-Construction Runoff Control**

#### **E.3 Long Term O&M Procedures**

*Measurable Goals: Review Kendall County Stormwater Management Ordinance and update and necessary.*

**Kendall County continues to monitor and enforce long term maintenance requirements of the Kendall County Stormwater Management Ordinance. No revisions were made in the past year.**

#### **E.5 Site Inspections During Construction**

*Measurable Goals: Implementing ordinance amendments, as necessary.*

**Kendall County continues to monitor and enforce soil erosion and sediment control requirements of the Kendall County Stormwater Management Ordinance under Sec. 303 and Sec. 304. No amendments were developed in the past year.**

**Kendall County will update the Kendall County Stormwater Management Ordinance to include enforcement procedures as necessary.**

The County will continue working with a consultant who will conduct SESC inspections at Kendall County constructions sites until final stabilization is achieved.

**E.7 Other Post-Construction Runoff Controls**

*Measurable Goals: Collaborate with other MS-4's in Kendall County and stakeholders, including the Kendall County Soil and Water Conservation District, to evaluate relevant flood control techniques to determine the potential effects due climate change.*

The County will continue to provide an evaluation survey to get feedback about County programs.

**F. Pollution Prevention/Good Housekeeping**

**F.1 Employee Training Program**

*Measurable Goals: Increased participation at workshops.*

Kendall County provides links on the County website to EPA's websites about green infrastructure and climate change. They also have EPA information posted on the County website about NPDES and clean water. This information is available to County staff, townships, and the public. The Kendall County SWCD has developed a variety of training materials which include presentations related to erosion and sediment control, best management practices, and associated regulations. These materials can be requested from the SWCD as needed.

Kendall County's Senior Planner participated in the following in Year 1: IAFSM's "Introduction to FEMA Part 1: What does FEMA really do?" in June of 2021 and the 2022 IAFSM Annual Conference in March of 2022. The certificates associated with these continuing education workshops can be found in Appendix 2.

**F.4 Municipal Operation Waste Disposal**

*Measurable Goals: Minimize the impact of County operations on stormwater runoff.*

Kendall County continues to collect litter and track the amount of material collected. Kendall County collected 5.13 tons of garbage from within County Right-of-Way in Year 1. Kendall County continues to minimize the discharge of pollutants from vehicle washing by treating the wash water by collection in a sediment basin or using an inlet filter prior to discharge. The County continues to properly store building materials, building products, construction waste, trash, landscape materials, fertilizers, pesticides, herbicides, chemical storage tanks, deicing materials, detergents, and other materials to guard against exposure to precipitation and stormwater.

**F.5 Flood Management/Assess Guidelines**

*Measurable Goals: Incorporate revised floodplain guidelines and DFIRMs by reference as necessary.*

**Kendall County's Senior Planner is a Certified Floodplain Manager. This certification will help the County reach its goals listed in the ordinance by providing the Senior Planner with knowledge to assess and deal with the issues of flooding and its damaging effects.**

**Kendall County did not revise the Kendall County Stormwater Management Ordinance to incorporate more floodplain guidelines and DFIRMs by reference in Year 1.**

**F.6 Other Municipal Operations Controls**

*Measurable Goals: Evaluation of programs as necessary.*

**Kendall County sent out an annual evaluation survey to all 9 townships within the County in Year 1 to get input on how they can continue to prevent stormwater pollution. Four townships completed the survey. The survey results are included at the end of this report in Appendix 1.**

### **Part 3. Information and Data Collection Results**

*(Provide information and water quality sampling/monitoring data related to illicit discharge detection and elimination collected during the reporting period.)*

**There was one illicit discharge investigation during Year 1 at 609 Wheeler Road on October 6, 2021. The County was unable to confirm that the discharge was sewage, however, the owner stated there was a backup in the septic system (in the sewer line or tank). The line ultimately backed up into the property's unfinished gravel basement. From the basement, the sewage was picked up by the sump pump and discharged to the nearby ditch. The owner worked with a sewage disposal company to correct the situation.**

## Part 4. Summary of Next Reporting Period Stormwater Activities

*(Present a summary of the storm water activities you plan to undertake during the next reporting cycle, including and implementation schedule in the sections following the table.)*

The table shown below summarizes the BMPs committed to for Year 2 of the NOI (March 2022-March 2023). Specific BMPs and measurable goals for Year 2 program development activities are presented in the sections following the table.

Note: X indicates BMPs committed to for Year 2 in NOI

<b>A. Public Education and Outreach</b>	
X	A.1 Distributed Paper Material
X	A.2 Speaking Engagement
	A.3 Public Service Announcement
X	A.4 Community Event
	A.5 Classroom Education Material
X	A.6 Other Public Education
<b>B. Public Participation/Involvement</b>	
	B.1 Public Panel
	B.2 Educational Volunteer
X	B.3 Stakeholder Meeting
	B.4 Public Hearing
	B.5 Volunteer Monitoring
	B.6 Program Coordination
X	B.7 Other Public Involvement
<b>C. Illicit Discharge Detection and Elimination</b>	
X	C.1 Storm Sewer Map Preparation
	C.2 Regulatory Control Program
X	C.3 Detection/Elimination Prioritization Plan
X	C.4 Illicit Discharge Tracing Procedures
X	C.5 Illicit Source Removal Procedures
X	C.6 Program Evaluation and Assessment
X	C.7 Visual Dry Weather Screening
	C.8 Pollutant Field Testing
	C.9 Public Notification
	C.10 Other Illicit Discharge Controls

<b>D. Construction Site Runoff Control</b>	
X	D.1 Regulatory Control Program
X	D.2 Erosion and Sediment Control BMPs
X	D.3 Other Waste Control Programs
X	D.4 Site Plan Review Procedures
	D.5 Public Information Handling Procedures
X	D.6 Site Inspection/Enforcement Procedures
X	D.7 Other Construction Site Runoff Controls
<b>E. Post-Construction Runoff Control</b>	
	E.1 Community Control Strategy
	E.2 Regulatory Control Program
X	E.3 Long-Term O&M Procedures
	E.4 Pre-Construction Review of BMP Designs
X	E.5 Site Inspections During Construction
	E.6 Post-Construction Inspections
X	E.7 Other Post-Construction Runoff Controls
<b>F. Pollution Prevention/Good Housekeeping</b>	
X	F.1 Employee Training Program
	F.2 Inspection and Maintenance Program
	F.3 Municipal Operations Storm Water Control
X	F.4 Municipal Operation Waste Disposal
X	F.5 Flood Management/Assess Guidelines
X	F.6 Other Municipal Operations Controls



## **A. Public Education and Outreach**

### **A.1 Distributed Paper Material**

*Measurable Goals: Track number of people requesting to see the County's Plan on an annual basis*

**Kendall County will maintain educational links on their website providing information on what residents can do to minimize and reduce stormwater runoff pollution, the benefits of green infrastructure and rain gardens, and the impacts of climate change. The County will add the Year 1 NPDES Annual Report and keep the new NOI posted their website for public viewing. The County will track the number of people requesting and viewing the Stormwater Management Program Plan, the NOI, and Annual Reports in Year 2.**

### **A.2 Speaking Engagement**

*Measurable Goals: Number of annual presentations.*

**The County will continue to work with the Kendall County Health Department and the Kendall County Soil and Water Conservation District to increase the number of presentations on BMPs.**

### **A.4 Community Event**

*Measurable Goals: Increased interest and attendance in annual workshops/seminars.*

**Kendall County will work with the Kendall County Soil and Water Conservation (SWCD), the Forest Preserve District, and other county departments to co-sponsor workshops and seminars.**

### **A.6 Other Public Education**

*Measurable Goals: Inquiries to linked websites on annual increase in hits to website.*

**Kendall County will maintain the current links on their website and track the number of views on the Kendall County NPDES webpage.**

## **B. Public Participation/Involvement**

### **B.3 Stakeholder Meetings**

*Measurable Goals: Hold an annual public meeting to establish positive dialogue.*

**The County is currently making an effort to establish a dialogue with local communities in the County to coordinate stormwater management efforts. Kendall County has completed the Stormwater Management Program Plan and will continue to maintain adherence to the plan. The County will hold an annual public meeting to provide input into the MS4 program and will comply with State and local public notice requirements when implementing public participation and involvement activities. The County will work to identify any environmental justice areas and include the public participation in these issues.**

**B.7 Other Public Involvement**

*Measurable Goals: Inquiries to linked websites and annual increase in hits to website.*

The County will place new and maintain current links on their website to the websites of local watershed committees and conservation groups to further promote public education. The County will track the number of views on the NPDES website and related links.

**C. Illicit Discharge Detection and Elimination**

**C.1 Storm Sewer Map Preparation**

*Measurable Goals: Review storm sewer mapping annually.*

Kendall County will continue field verifying locations of features in Year 2 and maintain mapping layer of storm sewer systems in GIS.

**C.3 Detection/Elimination Prioritization Plan**

*Measurable Goals: Track number of illicit dischargers discovered and track removal process.*

Kendall County will work with the Kendall County Health Department, the Kendall County Highway Department, and the townships to address illicit discharges and identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4.

**C.4 Illicit Discharge Tracing Procedures**

*Measurable Goals: Track number of illicit dischargers discovered and track removal process annually.*

Kendall County will address, identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4. The County will perform dry and wet weather monitoring as necessary.

**C.5 Illicit Source Removal Procedures**

*Measurable Goals: Track number of illicit dischargers discovered and track removal process.*

Kendall County will address, identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4. The County will issue notices to source of illicit discharge discovered under the tracing process for removal of discharge under the Kendall County Stormwater Management Ordinance with compliance dates.

**C.6 Program Evaluation and Assessment**

*Measurable Goals: Annual evaluation surveys.*

Kendall County will evaluate their Illicit Discharge Detection and Elimination Program by having participants fill out an evaluation for using a tool such as Survey Monkey™.

**C.7 Visual Dry Weather Screening**

*Measurable Goals: Track the number of illicit dischargers discovered and track removal process.*

**Kendall County will identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4. Kendall County will do periodical visual monitoring of outfalls during dry weather to determine non-stormwater discharges and their significance.**

**D. Construction Site Runoff Control**

**D.1 Regulatory Control Program**

*Measurable Goals: Implementation of the Kendall County Stormwater Ordinance.*

**Kendall County's Stormwater Management Ordinance includes revised regulations for stormwater management, plan reviews, and long-term maintenance. The County will continue implementation and compliance with the Stormwater Ordinance.**

**D.2 Erosion and Sediment Control BMPs**

*Measurable Goals: Adoption of ordinance amendments as developed.*

**Although the County currently has a Soil Erosion and Sediment Control (SESC) requirement within the Kendall County Stormwater Management Ordinance, the ordinance will be updated to incorporate additional BMPs and revisions to the Illinois Urban Manual as necessary.**

**D.3 Other Waste Control Program**

*Measurable Goals: Adoption of ordinance amendments as developed.*

**Although the County currently has a Soil Erosion and Sediment Control (SESC) requirement within the Kendall County Stormwater Management Ordinance, the ordinance will be updated to include regulations for waste control on construction sites as necessary.**

**D.4 Site Plan Review Procedures**

*Measurable Goals: Adoption of ordinance amendments as developed.*

**Although the County currently has a Soil Erosion and Sediment Control (SESC) requirement within the Kendall County Stormwater Management Ordinance, the ordinance will be updated to include enforcement procedures and a site inspection checklist as necessary.**

**D.6 Site Inspection/Enforcement Procedures**

*Measurable Goals: Review enforceable procedures for construction site inspections and update as necessary.*

**Although the County currently has a Soil Erosion and Sediment Control (SESC) requirement within the Kendall County Stormwater Management Ordinance, the ordinance will be updated to include revised enforcement procedures and a site inspection checklist as**

necessary.

**D.7 Other Construction Site Runoff Controls**

*Measurable Goals: Soil Erosion and Sediment Control (SESC) inspections will be monitored and filed until final site acceptance by Kendall County.*

**Kendall County will document and enforce SESC requirements in the Kendall County Stormwater Management Ordinance.**

**The County will continue working with a consultant who will conduct SESC inspections at Kendall County construction sites. The County will also continue to work with the Kendall County Soil & Water Conservation District to conduct stormwater inspections.**

**E. Post-Construction Runoff Control**

**E.3 Long-Term O&M Procedures**

*Measurable Goals: Review Kendall County Stormwater Management Ordinance and update as necessary.*

**The Kendall County Stormwater Management Ordinance will include revised regulations for long term maintenance that will be updated as necessary. The County will monitor and enforce long term maintenance requirements of the Kendall County Stormwater Management Ordinance.**

**E.5 Site Inspections During Construction**

*Measurable Goals: Implementing ordinance amendments, as necessary.*

**Although the County currently has a Soil Erosion and Sediment Control (SESC) requirement within the Kendall County Stormwater Management Ordinance, the ordinance will be updated to include revised enforcement procedures and a site inspection checklist, as necessary.**

**The County will continue working with a consultant who will conduct SESC inspections at Kendall County constructions sites until final stabilization is achieved.**

**E.7 Other Post-Construction Runoff Controls**

*Measurable Goals: The County will evaluate relevant flood control techniques to determine the potential effects due to climate change.*

**Kendall County will collaborate with other MS4's in Kendall County and stakeholders, including the Kendall County Soil and Water Conservation District, to evaluate relevant flood control techniques to determine the potential effects due to climate change. In Year 2, the County will begin implementing strategies created by the collaboration effort.**

## **F. Pollution Prevention/Good Housekeeping**

### **F.1 Employee Training Program**

*Measurable Goals: Increased participation at workshops.*

The Health, PBZ, SWCD, and Highway Department personnel will participate in annual training programs, as available funding and opportunities allow. Training for County Staff and contractors on methods to prevent and reduce discharge of pollutants to the maximum extent practicable will be offered, as necessary. Training materials will be available to County Staff from the EPA and the State regarding prevention and reduction of stormwater pollution from activities such as park and open space maintenance, fleet and building maintenance and deicing practices. In addition, training materials that explain how flood management projects impact water quality, non-point source pollution control, green infrastructure controls, and aquatic habitat will be made available to employees upon request by employees.

### **F.4 Municipal Operation Waste Disposal**

*Measurable Goals: Minimize the impact of County operations on stormwater run-off.*

In order to minimize the impact of County operations on stormwater run-off, the following actions will be taken:

The Highway Department will continue to collect litter from County highways and track the amount of material collected and properly disposed.

The County will minimize discharge of pollutants from County owned vehicle washing by treating the wash water by collection in a sediment basin or using an inlet filter prior to discharge.

The County will properly store County-owned building materials, building products, construction waste, trash, landscape materials, fertilizers, pesticides, herbicides, chemical storage tanks, deicing materials, detergents, and other materials to guard against exposure to precipitation and stormwater.

The County has procedures in place to respond to spills and leaks to prevent exposure to stormwater infrastructure on County-owned property.

The County will perform inspections to maintain the integrity of the County owned stormwater systems.

The County will continue to store deicing material in the permanent Kendall County Highway Department salt storage facility.

### **F.5 Flood Management/Assess Guidelines**

*Measurable Goals: Incorporate revised floodplain guidelines and DFIRMS by reference, as necessary.*

Kendall County will incorporate the revised floodplain guidelines and DFIRMs from FEMA in the Kendall County Stormwater Management Ordinance to assist with flood related issues, as necessary.

### **F.6 Other Municipal Operations Controls**

*Measurable Goals: Evaluation of program as necessary.*

**Kendall County will continue to evaluate their Pollution Prevention/Good Housekeeping program, as necessary.**

## **Part 5. Notice of Qualifying Local Program**

**Kendall County does not rely on any other government entity to satisfy permit obligations.**

## Part 6. Construction Projects Conducted During Year 1

(Provide a list of construction projects your entity has paid for during the reporting period)

Construction Project	Description
Ridge Road & Holt Road Intersection Improvement	<p>This project is located in the area of the Ridge Road and Holt Road intersection. This site is 7.7 acres with a disturbed area of 3.6 acres. The intersection will be reconstructed along the existing alignment with new impervious area to add new lanes. Other major work items include culvert installation, storm sewer, and earthwork. The project started in April 2021 and ended in November 2021.</p> <p><b>Section No. 16-00135-00-RP</b></p>
River Road Bridge Construction over the Rob Roy Creek	<p>The project is located on River Road, in the jurisdiction of the Little Rock Road District, about 0.25 miles east of Fox River Drive. The site is 1.4 acres and will disturb 1.8 acres. The project consists of constructing a precast deck beam bridge and will include excavation and embankment fill; guardrail; pavement, and stone riprap erosion protection. The project started in July 2021 and ended in October 2021.</p> <p><b>Section No. 19-06128-00-BR</b></p>
Eldamain Road - Road Extension and Bridge Construction	<p>This project involves extending the roadway from River Road to West Highpoint Road with a new Bridge over the Fox River. Permits have been obtained for instream work in the Fox River.</p> <p><b>Section No. 19-00153-00-BR</b></p>



## **APPENDIX 1**

### **2021 NPDES ANNUAL EVALUATION SURVEY RESPONSES**

NPDES Annual Evaluation Survey Questions  
Kendall County

**Public Education and Outreach**

1. What topics are you interested in learning more about that the County could provide information on for the public? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
  - A. How to properly store and dispose of common household products such as fuel, oil, paint, etc.  
Most Interested (1) Na-Au-Say (1) Oswego  
Middle Interested  
Least Interested (1) Lisbon
  - B. How to incorporate green infrastructure such as rain gardens, rain barrels, or permeable pavement onto my property to improve rainwater runoff.  
Most Interested  
Middle Interested (1) Lisbon  
Least Interested (1) Na-Au-Say (1) Oswego
  - C. How to compost to reduce the amount of waste my household generates.  
Most Interested (1) Lisbon (1) Seward  
Middle Interested (1) Na-Au-Say (1) Oswego  
Least Interested
2. Do you utilize the stormwater information listed on the County's website at <https://www.co.kendall.il.us/departments/planning-building-zoning/npdes?>
  - A. Yes (1) Seward
  - B. No (1) Na-Au-Say (1) Lisbon (1) Oswego
3. Do you find the stormwater information listed on the County's website helpful?
  - A. Yes (1) Seward
  - B. No
  - C. Do not utilize information on County Website (1) Na-Au-Say (1) Lisbon (1) Oswego

**Public Participation/Involvement**

1. Do you think the County offers enough volunteer opportunities for members of the community?
  - A. Yes (1) Seward
  - B. No
  - C. Not familiar with County volunteer opportunities (1) Na-Au-Say (1) Lisbon (1) Oswego

2. Do you utilize the volunteer opportunities information listed on the County's website at <https://www.co.kendall.il.us/departments/administration-services/volunteer-opportunities>?
  - A. Yes
  - B. No (1) Na-Au-Say (1) Lisbon (1) Oswego (1) Seward
  
3. Do you find the volunteer opportunities information listed on the County's website helpful?
  - A. Yes (1) Seward
  - B. No
  - C. Not familiar with County volunteer opportunities (1) Na-Au-Say (1) Lisbon (1) Oswego
  
4. What volunteer opportunities would you be interested in participating in in the future? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
  - A. River clean-up
  - B. Electronic recycling
  - C. Household waste (fuel, oil, paint, etc.) recycling
    - Little Rock-
    - Bristol-
    - Oswego-Electronic recycling, Household waste recycling, River clean-up
    - Fox-
    - Kendall-
    - Na-Au-Say-Electronic recycling
    - Big Grove-
    - Lisbon-Household waste recycling, Electronic recycling, River clean-up
    - Seward-Household waste recycling
    - Blank-

**Illicit Discharge Detection & Elimination**

1. If an illicit discharge is identified by a Township staff member or reported to the Township office, do you work with the County to get it removed?
  - A. Yes
  - B. No
  - C. Have not identified illicit discharge. (1) Na-Au-Say (1) Lisbon (1) Oswego (1) Seward
  
2. Do you feel the County is doing a sufficient job in identifying, tracking, and removing illicit discharges and non-stormwater discharges that are significant polluters within the County?
  - A. Yes (1) Seward
  - B. No

- C. There have not been illicit discharges identified within my Township. (1) Na-Au-Say (1) Lisbon (1) Oswego
3. What can the County do to better identify and track illicit discharges?
- A. Perform more visual inspections at outfalls throughout the County.
  - B. Once an illicit discharge is identified perform more grab samples downstream of the location.
  - C. Both of the above. (1) Lisbon (1) Oswego (1) Seward
  - D. None of the above. (1) Na-Au-Say
  - E. Other:
- 
- 

**Construction and Post-Construction Runoff Control**

1. Do you feel that the County does an adequate job inspecting soil erosion and sediment control on construction sites within your township?
- A. Yes (1) Na-Au-Say (1) Lisbon (1) Oswego (1) Seward
  - B. No
  - C. There have not been construction projects within my Township during the past year.
2. What can the County do to better monitor soil erosion and sediment control issues on construction sites?
- Silt Fencing/Possible Plugged Culverts After Flooding (Seward)
- 
- 

**Pollution Prevention/Good Housekeeping**

1. Do you feel the County provides adequate training to staff members to keep them informed on stormwater pollution prevention practices?
- A. Yes
  - B. No (1) Lisbon (1) Oswego (1) Seward
2. Do you feel the County is taking necessary measures to reduce flooding throughout the County?
- A. Yes
  - B. No (1) Na-Au-Say (1) Lisbon (1) Oswego (1) Seward

General comments or questions regarding Stormwater Management and/or NPDES requirements:

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Responding Townships:

Na-Au-Say

Lisbon

Oswego

Seward

## **APPENDIX 2**

### CONTINUING EDUCATION CERTIFICATES



Illinois Association for Floodplain and Stormwater Management

## Certificate of Training

Matthew Asseimeier  
has satisfactorily completed training during the

### 2022 IAFSM Annual Conference

Conducted by  
The Illinois Association for Floodplain and Stormwater Management

Location: Normal, Illinois  
Date: March 8<sup>th</sup> and 9<sup>th</sup>, 2022

PDH Credits: 11.5  
CEC Credits: 10

Diane Bouckaert, PE, CFM, CPESC  
Chair, Education Outreach Committee



Illinois Association for Floodplain and Stormwater Management

## Certificate of Training

Matthew Aselmeier

has satisfactorily completed training during the

### **Introduction to FEMA Part 1: What Does FEMA Really Do?**

Conducted by

The Illinois Association for Floodplain and Stormwater Management Young Professionals Group

Location: Virtual

Date: June 23, 2021

PDH Credits: 1

CEC Credits: 1

A handwritten signature in black ink, appearing to read "Diane Bouckaert".

Diane Bouckaert, PE, CFM CPESC  
Chair, Education Outreach Committee





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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141 Fax (630) 553-4179

**MEMORANDUM**

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To: Kendall County Planning, Building and Zoning Committee

From: Matthew H. Asselmeier, AICP, CFM Senior Planner

Date: May 3, 2022

Re: Proposed Intergovernmental Agreement Between Kendall County and the Village of Plattville

The intergovernmental agreement between Kendall County and the Village of Plattville expires in July.

Three (3) permits were issued in Plattville in 2021 and zero (0) investigations occurred in Plattville in 2021.

The proposed narrative portion of the agreement is attached. Other than the dates, no changes to agreement are proposed.

As of the date of this memo, the Village of Plattville has not reviewed this proposal.

If you have any questions, please let me know.

Thanks,

MHA

ENC: Proposed IGA Narrative

**INTERGOVERNMENTAL AGREEMENT BETWEEN THE VILLAGE OF  
PLATTVILLE AND THE COUNTY OF KENDALL**

THIS AGREEMENT, made this day \_\_\_\_ of July, 2022 by and between the VILLAGE OF PLATTVILLE, a body corporate and politic, and the COUNTY OF KENDALL, a body corporate and politic; WITNESSETH:

WHEREAS, the Village of Plattville was incorporated by act of the voters on March 21<sup>st</sup>, 2006; and

WHEREAS, Article VII, Section 10 of the Illinois Constitution and the Intergovernmental Cooperation Act (5 ILCS 220/1 *et seq.*) permits units of local government to obtain or share services and to jointly contract, combine or transfer any power, privilege, function or authority among themselves; and

WHEREAS, the Village of Plattville and County of Kendall are units of local government within the meaning of Article VII, Section 1 of the Illinois Constitution of 1970 who are authorized to enter into intergovernmental agreements pursuant to the Intergovernmental Cooperation Act, 5 ILCS 220/1 *et seq.*, and

WHEREAS, the Local Land Resource Management Planning Act (50 ILCS 805/6) provides that a municipality and a County may enter into intergovernmental agreements for joint or compatible planning, local land resource management administration and zoning ordinance enforcement; and

WHEREAS; the Village of Plattville adopted a Comprehensive Plan on July 27, 2009, and

WHEREAS, all the property located within the described boundaries of the Village of Plattville have been heretofore subject to the building and zoning codes of the County of Kendall, and to the Countywide Stormwater Management Ordinances; and

WHEREAS, the parties desire to continue that relationship.

NOW, THEREFORE, it is hereby agreed as follows:

- 1) The above recitals are incorporated by reference as if fully set forth herein.
- 2) That the Village of Plattville has by ordinance duly adopted the Zoning Ordinance of the County of Kendall, the Building Code of the County of Kendall, the Subdivision Control Ordinance of the County of Kendall, and the Countywide Stormwater Management Ordinances as its own and further agrees that any subsequent text amendments to said ordinances and plans, as may be

adopted by Kendall County from time to time, shall be adopted and incorporated by the Village of Plattville as its own.

3) That for the consideration of \$1 the receipt and sufficiency of which is hereby acknowledged, the County of Kendall agrees to continue administering the County Ordinances for the Village of Plattville as described in Paragraph (2) above and in accordance with the procedures attached hereto as Exhibit A and incorporated herein by reference all of which have been duly adopted by the Village of Plattville, and apply them to all properties located within the municipal boundaries of the Village of Plattville.

4) In addition to the consideration addressed in Paragraph 3 above, the Village of Plattville shall be responsible for all costs associated with the enforcement of the Zoning Ordinance of the County of Kendall, the Subdivision Control Ordinance of the County of Kendall, and the Countywide Stormwater Ordinance for cases within the boundaries of the Village of Plattville. At the written request of the Village of Plattville, Kendall County shall provide an estimated cost for investigating individual alleged violations. Upon approval of the cost estimate by the Village of Plattville, Kendall County will conduct the necessary investigation and bill the Village of Plattville accordingly. The Village of Plattville shall reimburse the County of Kendall for any actual costs incurred acting on behalf of the Village of Plattville as provided herein.

5) The Village of Plattville shall defend with counsel of the County's own choosing, indemnify and hold harmless the County of Kendall, its past, present, and future board members, elected officials, insurers, employees and agents from and against any and all claims, liabilities, obligations, losses, penalties, fines, damages, expenses, and costs relating thereto, including, but not limited to, attorney's fees and other legal expenses, which the County, its board members, elected officials, insurers, employees and/or agents may sustain, incur or be required to pay arising in any manner out of the County's performance or alleged failure to perform its obligations pursuant to the Agreement.

6) That the Village of Plattville shall secure, pay for, and maintain throughout the period during which services are provided under this Agreement, auto liability and general liability insurance with minimum limits of coverage equal to or greater than those limits maintained by the Village on the date of the execution of this agreement attached hereto as Ex. B and incorporated herein by reference. The Village's auto liability and general liability coverage shall be primary coverage in circumstances of alleged or proved errors or negligence by the County or the County's employees. The Village's coverage shall name the County of Kendall as an additional insured, with its members, representatives, officers, agents and employees. A certificate of insurance evidencing the required coverage and the appropriate additional insurer's endorsement shall be furnished to the County upon execution of this Agreement. Such insurance shall be modifiable or cancelable only upon written notice by registered mail, mailed to the County at least ninety (90) days in advance of such modification or cancellation. The Village shall furnish a copy of its insurance policies for examination by the County at any time upon demand of the County.

7) That this Agreement shall be for a term of one (1) year, commencing on the date of execution hereof, subject to annual renewal by the parties at least 30 days before the anniversary date each year, said renewal to be in writing.

8) This Agreement may be terminated by either party upon 30 days written notice to the other party.

9) This Agreement represents the entire Agreement between the parties and there are no other promises or conditions in any other Agreement whether oral or written. This Agreement supersedes any prior written or oral agreements between the parties and may not be modified except in writing acknowledged by both parties.

10) This Agreement may be executed in counterparts (including facsimile signatures), each of which shall be deemed to be an original and both of which shall constitute one and the same Agreement.

11) The County of Kendall and the Village of Plattville each hereby warrant and represent that their respective signatures set forth below have been and are on the date of this Agreement duly authorized by all necessary and appropriate corporate and/or governmental action to execute this Agreement.

12) This Agreement shall be construed in accordance with the law and Constitution of the State of Illinois and if any provision is invalid for any reason such invalidations shall not render invalid other provisions which can be given effect without the invalid provision. Any legal proceeding related to enforcement of this Agreement shall be brought in the Circuit Court of Kendall County, Illinois, Twenty-Third Judicial Circuit.

13) This Agreement and the rights of the parties hereunder may not be assigned (except by operation of law), and the terms and conditions of this Agreement shall inure to the benefit of and be binding upon the respective successors and assigns of the parties hereto. Nothing in this Agreement, express or implied, is intended to confer upon any party, other than the parties and their respective successors and assigns, any rights, remedies, obligations or liabilities under or by reason of such agreements.

14) Nothing contained in this Agreement, nor any act of Kendall County or the Village pursuant to this Agreement, shall be deemed or construed by any of the parties hereto or by third persons, to create any relationship of third party beneficiary, principal, agent, limited or general partnership, joint venture, or any association or relationship involving Kendall County and the Village. Further, nothing in this agreement should be interpreted to give Kendall County or the Village any control over the other's employees or imply a power to direct the employees of the other government body, which neither entity may exercise.

15) Any notice from either party to the other party hereto shall be in writing and shall be deemed served if mailed by prepaid certified mail addressed as follows:

Kendall County Administrator  
111 West Fox Street  
Yorkville, Illinois 60560

Village of Plattville  
P.O. Box 1173  
Yorkville, Illinois 60560

16) Nothing in this agreement shall be deemed to change or alter the jurisdiction of either the Village or Kendall County in any respect beyond the matters agreed upon in this agreement, including, but not limited to their powers and duties.

VILLAGE OF PLATTVILLE

COUNTY OF KENDALL

BY: \_\_\_\_\_  
Village President

BY: \_\_\_\_\_  
Chairman of Kendall County Board

ATTEST: \_\_\_\_\_  
Village Clerk

ATTEST: \_\_\_\_\_  
Kendall County Clerk

## **Exhibit A**

### **Procedure for Processing Zoning & Subdivision Cases For The Village Of Plattville Under County/Municipal Intergovernmental Agreement**

Under the terms of the intergovernmental Agreements executed between the Village of Plattville and Kendall County, the County PBZ staff as well as the Kendall County ZPAC, Concept Review Committee, Regional Planning Commission, and Zoning Board of Appeals, will serve as the municipal staff and the municipal recommending bodies in providing the Village Board with recommendations on applications for zoning map amendments, Special Uses, subdivision plat approvals and zoning variance requests involving properties within the corporate boundaries or proposed for annexation into the corporate boundaries of the municipality. In each instance, the Village Board of the municipality shall be responsible for acting on the recommendations supplied and adopting any related ordinances approving such requests. The following outline shall be followed when filing and processing such applications:

1. Pre-Application Meeting:

Prior to the submission of any applications, the petitioner shall schedule a joint “pre-application” meeting with County staff and representatives of the affected municipality to review the proposed request and provide preliminary feedback as well as guidance regarding the steps involved in the processing of the application.

2. Filing of an Application:

a.) Using the applicable application forms and handouts provided by the County, the petitioner will submit the requisite number of copies of application and supporting documents and plans along with all required fees to the Kendall County Planning Building and Zoning Department (PBZ).

b.) Simultaneous to that filing, the applicant shall forward an original copy of the application forms along with a copy of all related plans and supporting documents to the Village Clerk of the affected municipality for creation of the Village’s Official file on the matter.

3. Review and Processing of Zoning Map Amendments and Special Uses:

a.) Zoning Map Amendments and Special Uses, shall first be forwarded to the Zoning and Platting Advisory Committee (ZPAC) for review and recommendation. In addition to the regular attendees of the County’s ZPAC Committee, representatives from

## Exhibit A

the affected municipality will be invited to participate as sitting members of the committee.

- b.) The PBZ staff will prepare a preliminary staff report and schedule the matter for review at the next available ZPAC meeting.
- c.) The County will prepare and post the required agendas and will forward a copy of the agenda and staff report to the affected Village Clerk for filing of the report and posting of the agenda in an approved municipal location.
- d.) After review by ZPAC, their recommendation shall be forwarded to the next available meeting of the Kendall County Regional Plan Commission (KCRPC) for conduct of a public meeting, review and recommendation.
- e.) All notices required per the Kendall County Zoning Ordinance and Plan Commission By-Laws shall be mailed and published prior to the meeting by the petitioner. Copies of the notices shall be supplied by the petitioner to both the county and affected municipality for inclusion in the related case files.
- f.) The County shall forward copies of the agenda, staff report and minutes of the ZPAC meeting to KCRPC as well as the Clerk of the affected municipality along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application for inclusion the Official Village file.
- g.) The County shall post copies of the agenda as required per County policies.
- h.) The Village Clerk shall also be responsible for posting of the agenda in an approved municipal location.
- i.) Following review and recommendation by the Regional Plan Commission, petitions involving a zoning map amendment shall be forwarded to the next available meeting of the Kendall County Zoning Board of Appeals (ZBA) for the conduct of the formal Public Hearing on the zoning matter as well as a review of the findings of fact and development of a recommendation to be submitted to the Village Board for their consideration and action.
- j.) All notices required per State Statute, the County Zoning Ordinance and ZBA By-Laws shall be mailed and published prior

## Exhibit A

to the meeting by the petitioner. Copies of the notices shall be supplied by the petitioner to both the county and affected municipality for inclusion in the related case files.

- k.) The County shall be responsible for posting of the hearing sign on the affected property at least 15 days prior to the hearing.
- l.) The County shall forward copies of the agenda, staff report and copy of the minutes of the KCRPC meeting to the ZBA as well as to the Clerk of affected municipality for filing along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application.
- m.) The County shall post copies of the ZBA agenda as required per County policies. The Village clerk shall also be responsible for posting of the agenda in an approved municipal location.
- n.) If the application involves a request for a Special Use, the petition shall be forwarded to the next available meeting of the Kendall County Zoning Board of Appeals (ZBA) for the conduct of the formal Public Hearing on the Special Use as well as a review of the findings of fact and development of a recommendation to be submitted to the Village Board for their consideration and action.
- o.) All required notices required per State Statute and the County Zoning Ordinance shall be mailed and posted prior to the meeting by the petitioner. Copies of the notices shall be supplied by the petitioner to both the county and affected municipality for inclusion in the related case files.
- p.) The County shall be responsible for posting of the hearing sign on the affected property at least 15 days prior to the hearing.
- q.) The County shall forward copies of the agenda, staff report and minutes of the KCRPC meeting to the ZBA as well as the Clerk of affected municipality for filing along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application.
- r.) The County shall post copies of the agenda as required per County policies.
- s.) The Village clerk shall also be responsible for posting of the agenda in an approved municipal location.



## **Exhibit A**

- t.) Following review and recommendation by the ZBA, PBZ staff will forward to the appropriate Village Board a report summarizing all of the recommendations and actions taken by each of the review and recommending bodies along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application.
- u.) Along with the report, PBZ staff will prepare a draft ordinance approving the requested map amendment or Special Use for action by the Village Board. The summary report and draft ordinance in addition to a copy of the minutes of the ZBA meeting shall be forwarded to the appropriate Village Clerk for filing and scheduling of the matter for action by the Village Board at the next available Board meeting.
- v.) In the event a related annexation hearing is required, the Clerk shall coordinate with the applicant to insure proper notice has been supplied and shall be responsible for the preparation and posting of Board's Agenda.
- w.) Following action by the Village Board, the Village Clerk shall submit certified copies of any ordinances adopted by the Board in approving the request, to the County Clerk for recording.
- x.) The Village Clerk shall also submit a copy of the ordinance(s) to the PBZ office for inclusion in the related case file.

#### 4. Review and Processing of Preliminary and Final Subdivision Plats:

- a.) Preliminary and/or Final Plats, shall first be forwarded to the Zoning and Platting Advisory Committee (ZPAC) for review and recommendation. In addition to the regular attendees of the County's ZPAC Committee, representatives from the affected municipality will be invited to participate as sitting members of the committee.
- b.) The PBZ staff will prepare a preliminary staff report and schedule the matter for review at the next available ZPAC meeting.
- c.) The County will prepare and post the required agendas and will forward a copy of the agenda and staff report to the ZPAC members and the affected Village Clerk for filing of the report and posting of the agenda in an approved municipal location.

## Exhibit A

- d.) After review by ZPAC, their recommendation shall be forwarded to the next available meeting of the Kendall County Regional Plan Commission (KCRPC) for conduct of a public meeting, review and recommendation.
- e.) All required notices required per the Kendall County Zoning Ordinance and Plan Commission By-Laws shall be mailed and published prior to the meeting by the petitioner.
- f.) The County shall forward copies of the agenda, staff report and a copy of the minutes of the ZPAC meeting to the KCRPC as well as the Clerk of affected municipality along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application for inclusion the Official Village file.
- g.) The County shall post copies of the agenda as required per County policies.
- h.) The Village clerk shall also be responsible for posting of the agenda in an approved municipal location.
- i.) Following review and recommendation by the KCRPC, PBZ staff will prepare a report to the appropriate Village Board summarizing all of the recommendations and actions taken by each of the review and recommending bodies.
- j.) In addition to the summary the report, PBZ staff will prepare a draft ordinance approving the requested Preliminary and/or Final Plat for action by the Village Board. The summary report and draft ordinance shall NOT be forwarded to the appropriate Village Clerk for scheduling of the matter for action by the Village Board until such time as formal approval of the related preliminary and/or final engineering plans and or other supporting documents or agreements has been granted.
- k.) Once these approvals are received, PBZ staff will forward the summary report and draft ordinance in addition to a copy of the minutes of the KCRPC meeting to the appropriate Village Clerk along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application.

## **Exhibit A**

- l.) The Village Clerk shall then schedule the matter for action by the Village Board and prepare the related agendas for posting.
- m.) Following action by the Village Board, the Village Clerk shall submit certified copies of any ordinances adopted by the Board in approving the request, to the County Clerk for recording.
- n.) The Village Clerk shall also submit a copy of the ordinance(s) to the PBZ office for inclusion in the related case file.

### 5. Review and Processing of Zoning Variance:

- a.) Zoning Variances shall be forwarded to the next available meeting of the Kendall County Zoning Board of Appeals (ZBA) for the conduct of the formal Public Hearing on the matter as well as a review of the findings of fact and development of a recommendation to be submitted to the Village Board for their consideration and action.
- b.) All notices required per State Statute, the County Zoning Ordinance and ZBA By-Laws shall be mailed and published prior to the meeting by the petitioner. Copies of the notices shall be supplied by the petitioner to both the county and affected municipality for inclusion in the related case files.
- c.) The County shall be responsible for posting of the hearing sign on the affected property at least 15 days prior to the hearing.
- d.) The County shall prepare and forward copies of the agenda and staff report to the ZBA as well as the Clerk of affected municipality for filing along with copies of any related plans, documents or supporting information submitted to the county by the petitioner in support of the application.
- e.) The County shall post copies of the agenda as required per County policies.
- f.) The Village clerk shall also be responsible for posting of the agenda in an approved municipal location.
- g.) Following review and recommendation by the ZBA, the PBZ staff will forward a report summarizing the findings and recommendations made by ZBA along with copies of any related plans, documents or supporting information submitted to the

## **Exhibit A**

county by the petitioner in support of the application. Along with the report, PBZ staff will prepare a draft ordinance approving the variance for action by the Village Board.

- h.) The summary report, draft ordinance and minutes of the ZBA meeting shall be forwarded to the appropriate Village Clerk for filing and scheduling of the matter for action by the Village Board at the next available Board meeting.
- i.) The Village Clerk shall be responsible for the preparation and posting of Board's Agenda.
- j.) Following action by the Village Board, the Village Clerk shall submit certified copies of any ordinances adopted by the Board in approving the request, to the County Clerk for recording.
- k.) The Village Clerk shall also submit a copy of the ordinance(s) to the PBZ office for inclusion in the related case file.



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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

**MEMORANDUM**

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To: Kendall County Planning, Building and Zoning Committee  
From: Matthew H. Asselmeier, AICP, CFM, Senior Planner  
Date: May 3, 2022  
Re: Notice of State Award-Certified Local Government Grant

In December 2021, Kendall County submitted a Certified Local Government Grant application with the State to conduct a historic structure survey in unincorporated Kendall and Bristol Townships with the exception of that portion of Helmar located in Kendall Township. The grant was for Twenty-Nine Thousand, Seven Hundred Fifty Dollars (\$29,750); the County's match was Twelve Thousand, Seven Hundred Fifty Dollars (\$12,750); the total project cost was Forty-Two Thousand, Five Hundred Dollars (\$42,500).

On April 28, 2022, the County received the attached Notice of State Award. The State requires this document to be signed prior to sending the grant agreement documents.

Accordingly, Staff requests that the Planning, Building and Zoning Committee recommend that the County Board Chairman sign the attached Notice of State Award.

If you have any questions regarding this memo, please let me know.

MHA

Enc.: Notice of State Award

## Illinois Grant Accountability and Transparency Notice of State Award

STATE OF ILLINOIS GRANT INFORMATION	
State Award Identification	Name of State Agency (Grantor): Department Of Natural Resources Department/Organziation Unit: Grant Management and Assistance DNR
State Award ID Number (SAIN)	1655-33234
State Program Description	The Certified Local Government (CLG) matching grants program in Illinois serves as a resource for participating city and county governments to develop and sustain effective local preservation programs and projects that are critical to preserving local historic resources. The State Historic Preservation Office (SHPO) of the Illinois Department of Natural Resources (IDNR) administers the Illinois CLG grant program utilizing federal funding it receives from the U.S. Department of Interior, National Park Service (NPS) Historic Preservation Fund (HPF) Program. Under this program, the NPS requires that at least ten percent (10%) of Illinois' annual federal allocation from the HPF be subgranted exclusively to participating CLGs. Currently, there are 81 CLGs in Illinois. Contingent on resolution of the federal budget for its fiscal year 2018, the SHPO anticipates approximately \$110,000 to \$150,000 will be available—on a competitive basis—for this round of grants.
Annoucnment Type	Initial
Agency (Grantor) Contact Information	Name: Susan Duke Phone: 217 782 7481 Email: DNR.Grants@Illinois.gov

GRANTEE INFORMATION	
Grantee / Subrecipient Information	Name: Kendall County Address: 111 West Fox Street, Yorkville, IL 60560 Phone: Email:
Grantee Identification	GATA: [REDACTED] UEI: [REDACTED] FEIN: [REDACTED]
Period of Performance	Start Date: 5/1/2022 End Date: 6/30/2023

FUNDING INFORMATION			
FUND	CSFA	CFDA	AMOUNT
Historic Preservation Fund CLG	[REDACTED]		\$29,750.00
<b>TOTAL</b>			<b>\$29,750.00</b>

*(M) Currently used by State of Illinois for "Match" or "Maintenance of Effort" (MOE) requirements on Federal Funding. Funding is subject to Federal Requirements and may not be used by Grantee for other match requirements on other awards.*

TERMS AND CONDITIONS	
Grantee Indirect Cost Rate Information	Rate: 10% Base: De Minimis Period: 12/1/2021-11/30/2022
Research & Development	No
Cost Sharing or Matching Requirements	No
Uniform Term(s)	CODE of FEDERAL REGULATIONS Title 2: Grants and Agreements PART 200 - Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards (2 CFR 200)  Grant Accountability and Transparency Act (GATA), 30 ILCS 708/1  Illinois Administrative Code
Grantor-Specific Term(s)	
Program-Specific Term(s)	

## Illinois Grant Accountability and Transparency Notice of State Award

### SPECIFIC CONDITIONS ASSIGNED TO GRANTEE - FISCAL AND ADMINISTRATIVE

#### The nature of the additional requirements

**GATA Conditions:**

**03 - Financial and Programmatic Reporting**

Requires development of a plan to correct deficiencies identified in the risk assessment. The state agency may request to review documentation of the plan at its discretion.

**Agency Adjustments / Explanation:**

None

#### The reason why the additional requirements are being imposed

**GATA Conditions:**

**03 - Financial and Programmatic Reporting**

Medium to high risk increases the likelihood that grant revenues and expenditures will be inaccurate that could result in misreporting, and an abusive environment.

**Agency Adjustments / Explanation:**

None

#### The nature of the action needed to remove the additional requirement, if applicable

**GATA Conditions:**

**03 - Financial and Programmatic Reporting**

Grantee must submit documentation of implementation of new or enhanced accounting system, mitigating controls or a combination of both.

**Agency Adjustments / Explanation:**

None

#### The time allowed for completing the actions, if applicable

**GATA Conditions:**

**03 - Financial and Programmatic Reporting**

One year.

**Agency Adjustments / Explanation:**

None

#### The method for requesting reconsideration of the additional requirements imposed

**GATA Conditions:**

**03 - Financial and Programmatic Reporting**

One year.

**Agency Explanation:**

Must be in writing.

**Illinois Grant Accountability and Transparency  
Notice of State Award**

**SPECIFIC CONDITIONS ASSIGNED TO GRANTEE - MERIT-BASED REVIEW**

**The nature of the additional requirements**

**Agency Adjustments / Explanation:**

**The reason why the additional requirements are being imposed**

**Agency Adjustments / Explanation:**

**The nature of the action needed to remove the additional requirement, if applicable**

**Agency Adjustments / Explanation:**

**The time allowed for completing the actions, if applicable**

**Agency Adjustments / Explanation:**

**The method for requesting reconsideration of the additional requirements imposed**

**Agency Explanation:**

Must be in writing.



**Illinois Grant Accountability and Transparency  
Notice of State Award****SPECIFIC CONDITIONS ASSIGNED TO GRANTEE - PROGRAMMATIC****The nature of the additional requirements****Agency Adjustments / Explanation:****The reason why the additional requirements are being imposed****Agency Adjustments / Explanation:****The nature of the action needed to remove the additional requirement, if applicable****Agency Adjustments / Explanation:****The time allowed for completing the actions, if applicable****Agency Adjustments / Explanation:****The method for requesting reconsideration of the additional requirements imposed****Agency Explanation:**

Must be in writing.

**SIGNATURE PAGE**

**Circle one:** Accept NOSA / Reject NOSA

\_\_\_\_\_  
Institution / Organization

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name of Official

\_\_\_\_\_  
Title (Chief Financial Officer or equivalent)

\_\_\_\_\_  
Date of Execution



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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

**MEMORANDUM**

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To: Planning, Building and Zoning Committee  
From: Matthew H. Asselmeier, AICP, CFM, Senior Planner  
Date: May 3, 2022  
Re: Plumbing Contract

---

The Planning, Building and Zoning Department has been informed that Randy Erickson was no longer available to do plumbing inspections.

Brian Holdiman researched possible replacements and recommended Anthony Mayer of Mayer Plumbing, LLC. The email containing Brian Holdiman's recommendation is attached.

The redlined version of the proposed contract is attached. The following changes are proposed:

1. Throughout the document, replace Randy Erickson and Erickson Construction with Anthony Mayer and Mayer Plumbing, LLC. This includes updating the business' address.
2. In Section 1, the State Plumbing Code is updated from the 2004 edition to the 2014 edition.
3. In Section 6, the hours of availability are changed to 7:00 a.m. – 5:00 p.m.

Staff recommends that the proposed contract be forwarded to the Kendall County State's Attorney's Office for review.

Pete Ratos from the United City of Yorkville is presently doing plumbing inspections for the County under the terms of the existing intergovernmental agreement between the County and Yorkville.

If you have any questions regarding this memo, please let me know.

MHA

Encs.: Plumbing Contract Emails  
Redlined Contract

**From:** Scott Koepfel  
**Sent:** Tuesday, May 3, 2022 8:35 AM  
**To:** Brian Holdiman <[BHoldiman@co.kendall.il.us](mailto:BHoldiman@co.kendall.il.us)>  
**Subject:** Re: Plumbing Inspector

Brian,

Thanks for the research and well thought out email. I agree with Tony as your choice. I like that he's a local professional. Please have Matt add him to the PB&Z agenda.

Thank you

Scott

Scott Koepfel  
Kendall County Administrator

---

**From:** Brian Holdiman <[BHoldiman@co.kendall.il.us](mailto:BHoldiman@co.kendall.il.us)>  
**Sent:** Tuesday, May 3, 2022 6:52:55 AM  
**To:** Scott Koepfel <[skoepfel@kendallcountyil.gov](mailto:skoepfel@kendallcountyil.gov)>  
**Subject:** Plumbing Inspector

Scott,

I have conducted some research in regards to a replacement plumbing inspector for Randy Erickson. I have had conversations with several area code officials, local contractors and an inspection firm. Historically Kendall County has used a local qualified licensed plumber for the position as it is sporadic work and during my tenure and before the County has prided itself on excellent customer service and a spirit of working together with the local contractors and residents. My recommendation would be we continue with this policy by contracting again with a local qualified licensed plumber as it will be easier to schedule inspections, there will be more flexibility in scheduling and inspections will be more consistent.

In Illinois in order to inspect plumbing you have to be an Illinois State Licensed Plumber. To become licensed you have to do an apprenticeship under a licensed plumber and then pass the State test. It is preferred but not required that you also become a certified plumbing inspector in the State. I obtained this information from one of the IDPH State Inspectors Andrew Thiese.

Tony Mayer owner of Mayer plumbing is my recommendation to replace Randy. His company is based in Oswego and he lives in unincorporated Oswego as well. He is a State Licensed Plumber and he has reviewed the insurance requirements provided by Leslie and he has also reviewed the current contract we have with Randy and he can meet all the expectations. He is sitting for the certified plumbing inspectors test today (May 3). He is available to start upon approval of the contract.

I have also spoke with Pete Ratos (City of Yorkville) in regards to the IGA we have with them and he is of the opinion the IGA will continue to be renewed as he supports it along with Mayor Purcell. That being said should a conflict of interest arise with Tony Mayer we could use Pete to perform plumbing inspections as needed.

Please let me know your thoughts.

*Respectfully,*

**Brian Holdiman**

*Code Official - The County of Kendall - Planning, Building & Zoning -111 West Fox Street room 203 Yorkville IL 60560  
Office: (630) 553-4134 Cell: (630) 774-1161 Fax: (630) 553-4179*

**PLUMBING INSPECTIONS AGREEMENT BETWEEN KENDALL COUNTY, ILLINOIS  
AND ~~RANDY ERICKSON-ANTHONY MAYER, D.B.A. ERICKSON CONSTRUCTION  
MAYER PLUMBING LLC~~**

THIS Agreement is entered into the day and year set forth below between *KENDALL COUNTY, ILLINOIS* (hereinafter "Kendall County") and ~~RANDY ERICKSON-ANTHONY MAYER~~, d.b.a ~~ERICKSON CONSTRUCTION MAYER PLUMBING LLC~~, with its principal offices at ~~1218 Lakewood Drive, Somonauk, IL 60552~~ **4 Hickory Lane, Oswego, IL 60543** (hereinafter referred to as "Inspector"). In consideration of the mutual covenants hereinafter set forth, and other good and valuable consideration, the parties hereto agree as follows:

1. **Scope of Services:** Inspector will provide Kendall County with necessary inspection services to ensure the adherence to minimum regulations governing the design, installation and construction of plumbing systems to protect the public health against the hazards of inadequate, defective or unsanitary plumbing installations. In doing so, Inspector shall perform inspections of properties in conformance with the, Kendall County Building Code and Illinois State Plumbing Code, ~~2004~~ **2014** (77 Ill. Adm. Code 890), as may be amended from time to time. Such inspections shall include, but not be limited to, rough plumbing inspections, under floor plumbing inspections, final plumbing inspections before occupancy, and necessary re-inspections along with any other inspections that are requested by Kendall County to ensure compliance with, and enforcement of, the Kendall County Building Code and Illinois State Plumbing Code.
2. Inspections must be completed using the proper Kendall County reports/forms. Prior to the commencement of any requested inspection, Kendall County will prepare and provide all necessary inspection reports/forms for use by the inspector. Following an inspection, the original, completed inspection reports/forms shall be returned to the Kendall County Planning, Building & Zoning Department within twenty-four (24) hours after completion of the inspection.
3. **Fees & Reimbursements** for the above described work shall be a \$150.00 flat fee per inspection or re-inspection performed, regardless of size, type or time necessary to complete inspection. Inspector shall issue monthly invoices to Kendall County for his services, unless no inspections were performed in a given month.
4. Payment shall be made in accordance with the Illinois Local Government Prompt Payment Act, as amended (50 ILCS 505/1 *et seq.*).
5. Kendall County shall provide notice at least one (1) business day prior to when there is a foreseeable need for an inspection to take place. However, should an emergency inspection be necessary as determined by a Kendall County Code Official, Vender agrees to provide such service upon notification.

6. Inspector's availability is to be ~~12:00 PM – 4:30 P.M.~~ **7:00 AM – 5:00 PM**, Monday – Friday, except on County Holidays. Inspector must also be available in the case of emergency as determined by the Kendall County Code Official.
7. Inspector must make himself available to testify in any court proceedings within Kendall County in respect to plumbing inspections and enforcement of the Kendall County Building Code and Illinois State Plumbing Code.
8. Inspector must provide a current telephone number at all times to the Kendall County Administration office, and be available at that number to communicate with Planning, Building & Zoning Department staff.
9. Should inspector not be available to perform inspections at any time, Inspector is to provide the County with notice of his unavailability at least forty-eight (48) hours in advance.
10. Inspector shall maintain an Illinois Plumbers license in good standing at all times and shall upon demand provide a copy to Kendall County at no additional cost. As of the time of signing this Agreement, Inspector is certifying that his plumbing license is current and in good standing.
11. Inspector shall not subcontract the services provided under this agreement to a third-party inspector without the prior written consent of Kendall County. It is also understood and agreed that ~~Randy Erickson~~ **Anthony Mayer** shall be the only inspector authorized to perform inspections on behalf of ~~Erickson Construction~~ **Mayer Plumbing LLC** pursuant to this contract, and that he shall not employ another inspector to fulfill the duties prescribed herein.
12. Inspections performed under this Agreement shall be completed using Inspector's own equipment, tools and vehicles, and Kendall County shall not be responsible for reimbursing the Inspector for mileage or any other expenses incurred.
13. Inspector is an Independent Inspector and is not an employee of, partner of, agent of, or in a joint venture with Kendall County. Inspector understands and agrees that Inspector is solely responsible for paying all wages, benefits and any other compensation due and owing to Inspector's officers, employees, and agents for the performance of services set forth in the Agreement. Inspector further understands and agrees that Inspector is solely responsible for making all required payroll deductions and other tax and wage withholdings pursuant to state and federal law for Inspector's officers, employees and/or agents who perform services as set forth in the Agreement. Inspector also acknowledges its obligation to obtain appropriate insurance coverage for the benefit of Inspector, Inspector's officers, employees and agents and agrees that Kendall County is not responsible for providing any insurance coverage for the benefit of Inspector, Inspector's officers, employees and agents. Inspector hereby indemnifies and agrees to waive any right to recover alleged damages, penalties, interest, fees (including attorneys' fees), and/or costs from

Kendall County, and their past, present and future board members, officials, employees, insurers, and agents for any alleged injuries that Inspector, its officers, employees and/or agents may sustain while performing services under the Agreement. Inspector shall exercise general and overall control of its officers and employees.

14. This Agreement shall be construed in accordance with the law and Constitution of the State of Illinois and if any provision is invalid for any reason such invalidations shall not render invalid other provisions which can be given effect without the invalid provision. The parties agree that the venue for any legal proceedings between them shall be the Circuit Court of Kendall County, Illinois, Twenty-Third Judicial Circuit, State of Illinois.
15. Inspector agrees to indemnify and hold harmless, and defend with counsel of Kendall County's own choosing, Kendall County, including their past, present, and future board members, elected officials, insurers, employees, and agents from and against claims, liabilities, obligations, losses, penalties, fines, damages, and expenses and costs relating thereto, including but not limited to reasonable attorneys' fees and other legal expenses, which Kendall County, their board members, elected officials, insurers, employees, and/or agents may sustain, incur or be required to pay arising out of Inspector's performance or failure to adequately perform its obligations pursuant to this Agreement.

Nothing contained herein shall be construed as prohibiting Kendall County, its past, present, and future board members, elected officials, directors, officers, agents and employees, from defending through the selection and use of their own agents, attorneys and experts, any claims, suits, demands, proceedings and actions brought against them. Pursuant to Illinois law, 55 ILCS 5/3-9005, any attorney representing the County, under this paragraph, shall be approved by the Kendall County State's Attorney and shall be appointed a Special Assistant State's Attorney. Kendall County's participation in its defense shall not remove Inspector's duty to indemnify, defend, and hold Kendall County harmless, as set forth above.

Kendall County does not waive its defenses or immunities under the Local Government and Governmental Employees Tort Immunity Act (745 ILCS 10/1 *et seq.*) by reason of indemnification or insurance. Indemnification shall survive the termination of this contract.

16. Inspector will obtain and continue in force, during the term of this Agreement, all insurance as set forth below. Each insurance policy shall not be cancelled or changed without thirty (30) days prior written notice, given by the Inspector to Kendall County at the address set forth below for receipt of notice. Before starting work hereunder, Inspector shall deposit with Kendall County certificates evidencing the insurance it is to provide hereunder:

Coverage shall be at least as broad as:



1. Commercial General Liability (CGL): Insurance Services Office Form CG 00 01 covering CGL on an “occurrence” basis, including products and completed operations, property damage, bodily injury and personal & advertising injury with limits no less than \$2,000,000 per occurrence. If a general aggregate limit applies, either the general aggregate limit shall apply separately to this project/location (ISO CG 25 03 or 25 04) or the general aggregate limit shall be twice the required occurrence limit.
2. Automobile Liability: ISO Form Number CA 00 01 covering any auto (Code 1), or if Inspector has no owned autos, hired, (Code 8) and non-owned autos (Code 9), with limit no less than \$1,000,000 per accident for bodily injury and property damage.
3. Workers’ Compensation: as required by the State of California, with Statutory Limits, and Employer’s Liability Insurance with limit of no less than \$1,000,000 per accident for bodily injury or disease.

If the Inspector maintains broader coverage and/or higher limits than the minimums shown above, Kendall County requires and shall be entitled to the broader coverage and/or the higher limits maintained by the Inspector. Any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to Kendall County.

#### **Other Insurance Provisions**

The insurance policies are to contain, or be endorsed to contain, the following provisions:

##### **Additional Insured Status**

Kendall County, its officers, officials, employees, and volunteers are to be covered as additional insureds on the CGL policy with respect to liability arising out of work or operations performed by or on behalf of the Inspector including materials, parts, or equipment furnished in connection with such work or operations. General liability coverage can be provided in the form of an endorsement to the Inspector’s insurance (at least as broad as ISO Form CG 20 10 11 85 or if not available, through the addition of both CG 20 10, CG 20 26, CG 20 33, or CG 20 38; and CG 20 37 if a later edition is used).

##### **Primary Coverage**

For any claims related to this contract, the Inspector’s insurance coverage shall be primary coverage at least as broad as ISO CG 20 01 04 13 as respects Kendall County, its officers, officials, employees, and volunteers. Any insurance or self-insurance maintained by Kendall County, its officers, officials, employees, or volunteers shall be excess of the Inspector’s insurance and shall not contribute with it.

##### **Notice of Cancellation**

Each insurance policy required above shall provide that coverage shall not be canceled, except with notice to Kendall County.

##### **Waiver of Subrogation**

Inspector hereby grants to Kendall County a waiver of any right to subrogation which any insurer of said Inspector may acquire against Kendall County by virtue of the payment of any loss under such insurance. Inspector agrees to obtain any endorsement that may be necessary to affect this waiver of subrogation, but this provision applies regardless of whether or not Kendall County has received a waiver of subrogation endorsement from the insurer.

#### Self-Insured Retentions

Self-insured retentions must be declared to and approved by Kendall County. Kendall County may require the Inspector to purchase coverage with a lower retention or provide proof of ability to pay losses and related investigations, claim administration, and defense expenses within the retention. The policy language shall provide, or be endorsed to provide, that the self-insured retention may be satisfied by either the named insured or Kendall County.

#### Acceptability of Insurers

Insurance is to be placed with insurers authorized to conduct business in the state with a current A.M. Best's rating of no less than A:VII, unless otherwise acceptable to Kendall County.

#### Verification of Coverage

Inspector shall furnish Kendall County with original Certificates of Insurance including all required amendatory endorsements (or copies of the applicable policy language effecting coverage required by this clause) and a copy of the Declarations and Endorsement Page of the CGL policy listing all policy endorsements to Kendall County before work begins. However, failure to obtain the required documents prior to the work beginning shall not waive the Inspector's obligation to provide them. Kendall County reserves the right to require complete, certified copies of all required insurance policies, including endorsements required by these specifications, at any time.

#### Special Risks or Circumstances

Kendall County reserves the right to modify these requirements, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.

Kendall County shall be named as Additional Insured on a Primary and Non-Contributory basis with respect to the general liability, business auto liability and excess liability insurance, as well as a waiver of subrogation with respect to the general liability and workers' compensation in favor of Kendall County. Also, Kendall County shall be designated as the certificate holder.

17. Neither party will be responsible to the other for damage, loss, injury, or interruption of work if the damage, loss, injury, or interruption of work is caused solely by conditions that are beyond the reasonable control of the parties, and without the intentional misconduct or negligence, of that party (hereinafter referred to as a "force majeure event"). To the extent not within the control of either party, such force majeure events may include: acts of God, acts of any governmental authorities, fire, explosions or other casualties, vandalism, riots or war, and unavailability of parts, materials, or supplies. A party claiming a force majeure event ("the claiming party") shall promptly

notify the other party in writing, describing the nature and estimated duration of the claiming party's inability to perform due to the force majeure event. The cause of such inability to perform will be remedied by the claiming party with all reasonable dispatch.

18. Upon the occurrence of any material default or breach of Agreement by either party, the injured party (i.e., the non-breaching and/or non-defaulting party) may, at its option, upon notice to the other in writing, declare this Agreement to be in default, and at any time thereafter, so long as the other party shall not have remedied or caused to be remedied all outstanding defaults and/or breaches within a reasonable period of time as determined by Kendall County, the injured party may elect, in accordance with law and any other Agreement between the parties to: (a) Proceed by appropriate court action at law or in equity to enforce performance by the defaulting party of its obligations under this Agreement and/or to recover damages for breach thereof; and/or (b) By notice in writing to the defaulting party, cancel or terminate this Agreement. In any action with respect to this Agreement, the parties are free to pursue any legal remedies at law or in equity. If Kendall County is required to take legal action to enforce performance of any of the terms, provisions, covenants and conditions of this Agreement, and by reason thereof, Kendall County is required to use the services of an attorney, then Kendall County shall be entitled to reasonable attorneys' fees, court costs, and expenses incurred by Kendall County pertaining thereto and in enforcement of any remedy, including costs and fees relating to any appeal.
19. Inspector agrees to comply with any and all applicable federal, state or local laws and regulatory requirements and to secure such licenses as may be required for its employees to conduct business in the state, municipality, county, or location. Such obligation includes, but is not limited to, environmental laws, civil rights laws, prevailing wage and labor laws.
20. Inspector certifies that Inspector, its parent companies, subsidiaries, and affiliates are not barred from entering into this Agreement as a result of a violation of either 720 ILCS 5/33E-3 or 5/33E-4 (bid rigging or bid rotating) or as a result of a violation of 820 ILCS 130/1 *et seq.* (the Illinois Prevailing Wage Act).
21. Inspector, its officers, employees, and agents agree not to commit unlawful discrimination and agree to comply with all applicable provisions of the Illinois Human Rights Act, Title VII of the Civil Rights Act of 1964, as amended, the Americans with Disabilities Act, the Age Discrimination in Employment Act, Section 504 of the Federal Rehabilitation Act, and all applicable rules and regulations.
22. Nothing contained in this Agreement, nor any act of Kendall County or Inspector pursuant to this Agreement, shall be deemed or construed by any of the parties hereto or by third persons, to create any relationship of third party beneficiary, principal, agent, limited or general partnership, joint venture, or any association or relationship involving Kendall County and the Inspector.

23. When performing inspections under the terms of this Agreement, the Inspector intends that any injuries to its respective employees shall be covered and handled exclusively by Inspector's own worker's compensation insurance in place at the time of such injury. It is further agreed that all employee benefits, wage and disability payments, pension and worker's compensation claims, damage to or destruction of equipment, facilities, clothing and related medical expenses of the inspector, which may result from its activities under this Agreement, shall be the responsibility of inspector.
24. This Agreement represents the entire understanding between the parties hereto, and any modification or amendment hereof must be made in writing, and executed by both parties hereto. Furthermore, this Agreement supersedes any prior written or oral agreements between the parties, and there are no other promises or conditions in any other agreement whether oral or written.
25. Neither party shall assign, sublet, sell, or transfer its interest in this Agreement without the prior written consent of the other.
26. Any notice required or permitted to be given pursuant to this Agreement shall be duly given if sent by fax, certified mail, or courier service and received, in the case of notice to Kendall County, Kendall County Planning Building & Zoning Department, Attention: Code Enforcement Official, 111 West Fox Road, Room 203, Yorkville, Illinois, 60560, fax: (630) 553-4179 with copy sent to: County Administrator, 111 West Fox Road, Room 316, Yorkville, Illinois, 60560 and to Kendall County State's Attorney, 807 John Street, Yorkville, Illinois, 60560, fax (630) 553-4204. And, in the case of Inspector, to: **Randy Erickson, d.b.a Erickson Construction, 1218 Lakewood Drive, Somonauk, IL 60552 Anthony Mayer, d.b.a. Mayer Plumbing LLC, 4 Hickory Lane Oswego, IL 60543.**
27. This Agreement may be executed in counterparts (including facsimile signatures), each of which shall be deemed to be an original and both of which shall constitute one and the same Agreement.
28. Kendall County and Inspector each hereby warrant and represent that their respective signatures set forth below have been and are on the date of this Agreement duly authorized by all necessary and appropriate corporate and/or governmental action to execute this Agreement.
29. In the event Kendall County is in default under the Agreement because funds are not appropriated for a fiscal period subsequent to the one in which the Agreement was entered into which are sufficient to satisfy all or part of the County's obligations under this Agreement during said fiscal period, the County agrees to provide prompt written notice of said occurrence to Inspector. In the event of a default due to non-appropriation of funds, Kendall County has the right to terminate the Agreement upon providing thirty (30) days written notice to Inspector. No additional payments, penalties and/or early termination charges shall be required upon termination of the Agreement.

30. This Agreement shall be in full force and effect for a period of three (3) years from the date of the last signature below, however it may be renewed for subsequent one (1) year terms upon written agreement signed by both parties.

31. This Agreement may be terminated by Kendall County upon written notice delivered to Inspector at least thirty (30) calendar days prior to the effective date of termination. No additional payments, penalties and/or early termination charges shall be required upon termination of the Agreement.

**IN WITNESS WHEREOF**, the parties hereto caused this Agreement to be executed as set forth below.

~~RANDY ERICKSON, ANTHONY  
MAYER D.B.A. ERICKSON  
CONSTRUCTION-MAYER PLUMBING  
LLC~~  
BY: \_\_\_\_\_

~~NAME: \_\_\_\_\_ RANDY \_\_\_\_\_ ERICKSON  
ANTHONY MAYER~~

TITLE: \_\_\_\_\_

DATE: \_\_\_\_\_

**KENDALL COUNTY, ILLINOIS**

BY: \_\_\_\_\_

NAME: SCOTT R. GRYDER

TITLE: KENDALL COUNTY BOARD  
CHAIRMAN

DATE: \_\_\_\_\_



4-1-22 Pictures



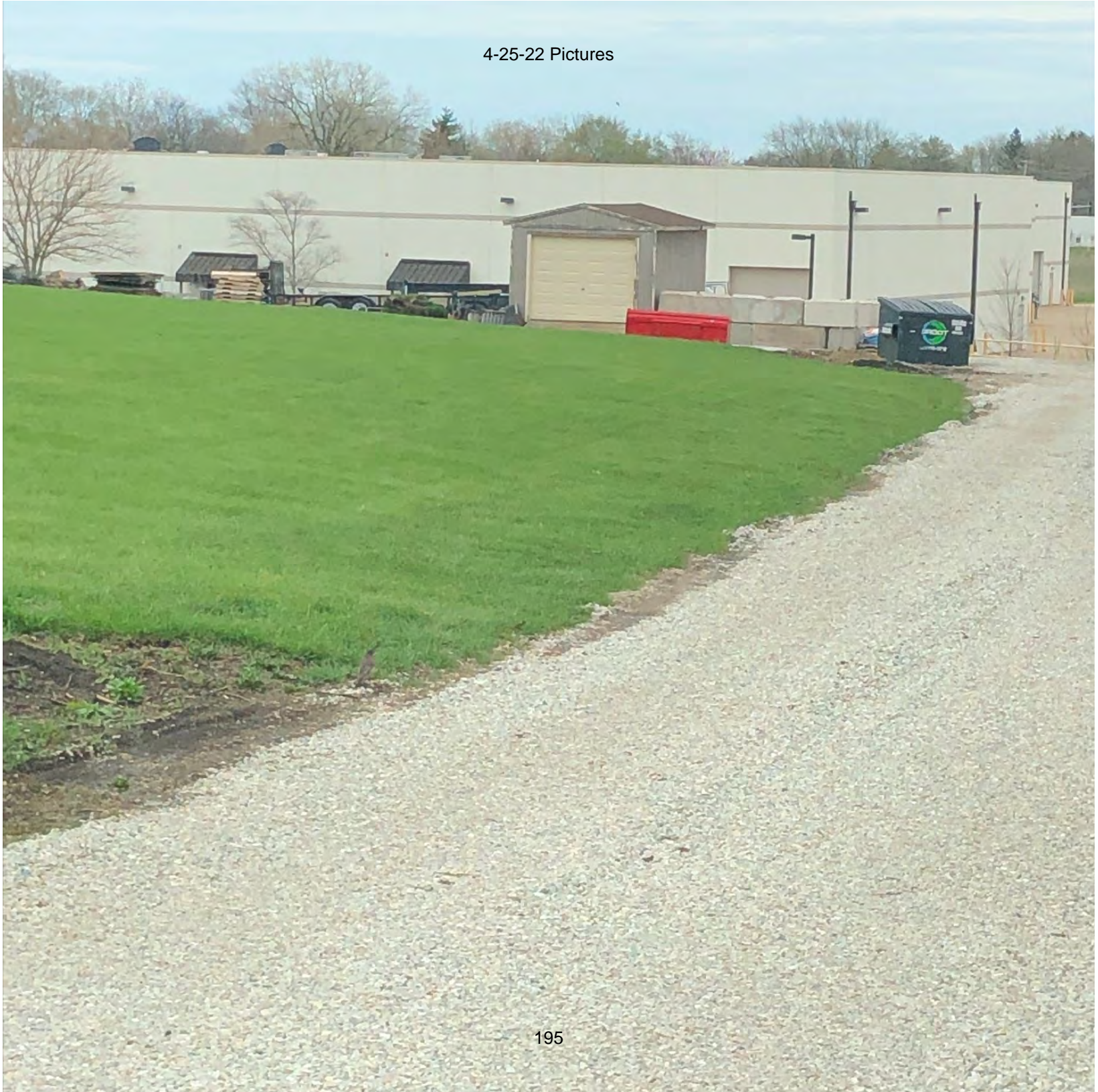








4-25-22 Pictures







4-25-22 Pictures



4-25-22 Pictures





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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

**MEMORANDUM**

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To: Planning, Building and Zoning Committee  
From: Matthew H. Asselmeier, AICP, CFM, Senior Planner  
Date: May 3, 2022  
Re: Enforcement of Special Use Conditions-5681 Whitewillow

---

Below please find an update on the unresolved case at 5681 Whitewillow Road.

1. Ordinance 2005-37-Special Use Permit for a Landscaping Business at 5681 Whitewillow Road  
Issue: Condition 6 requires a right-of-way dedication  
How Department Became Aware of Violation: Property owner submitted a special use permit for a craft fair.  
Current Status: The County Highway Engineer is working with the property owner to complete the necessary documents for the dedication.

If you have any questions regarding this memo, please let me know.

MHA

Encs.: Ordinance 2005-37  
4-25-22 Klaas Email



ORDINANCE NUMBER 2005 - 37

GRANTING A SPECIAL USE  
TIMOTHY WALLACE

WHEREAS, Timothy Wallace filed a Special Use Permit application within the A-1 district for 50 +/- acres located at the intersection of Brisbin and Whitewillow Roads in Seward Township as depicted in Exhibit "A" and legally described as follows:

That part of the North Half (N 1/2) of the Northwest Quarter (NW ¼) of Section Thirty-One (31), Township Thirty-Five (35) North, Range Eight (8), East of the Third Principal Meridian, described as follows: Commencing at the Northwest (NW) Corner of said Northwest Quarter (NW ¼), said point being the Point of Beginning; thence along the North Line of said Northwest Quarter (NW ¼) North 89 Degrees 28 Minutes 50 Seconds East for a distance of 1789.78 feet to a point on the East Line of said Northwest Quarter (NW ¼); thence along said East Line South 00 Degrees 35 Minutes 51 Seconds East for a distance of 1294.24 feet; thence South 88 Degrees 58 Minutes 23 Seconds West for a distance of 1803.50 feet to a point on the West Line of said Northwest Quarter (NW ¼); thence along said West Line North 00 Degrees 00 Minutes 00 Seconds East for a distance of 415.62 feet; thence North 90 Degrees 00 Minutes 00 Seconds East for a distance of 590.52 feet; thence North 00 Degrees 00 Minutes 00 Seconds East for a distance of 295.06 feet; thence South 90 Degrees 00 Minutes 00 Seconds West for a distance of 590.52 feet to a point on said West Line; thence along said West Line North 00 Degrees 00 Minutes 00 Seconds East for a distance of 599.60 feet to the point of beginning, containing 49.707 acres, more or less, all located in the County of Kendall, State of Illinois.

WHEREAS, said petition is to allow retail and wholesale of nursery and landscape supplies; and

WHEREAS, the Kendall County Board finds that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance;

NOW, THEREFORE, BE IT ORDAINED, that the Kendall County Board hereby grants approval of the special use zoning permit to allow retail and wholesale of nursery and landscape supplies subject to the following conditions:

1. Any truck traffic will not exceed the limits posted by the Kendall County Highway Department.
2. Development of the site in substantial conformance with the site plan attached here to as Group Exhibit "A".
3. The provision of permanent bathroom facilities within 90 days of zoning approval for customers and employees.
4. Review and approval of the proposed well and septic design by the Department of Environmental Health.
5. For aesthetic purposes, landscape materials for sale, such as mulch and decorative stone, will not be stored in the required front yard.

6. Formal dedication of the right-of-way agreed upon by the petitioner and the County for Whitewillow (50 feet from the centerline of the road) and Brisbin Roads (45 feet from the centerline of the road) within 90 days of receipt of the Special Use permit.

Failure to comply with the terms of this ordinance may be cited as a basis for amending or revoking this special use permit.

IN WITNESS OF, this ordinance has been enacted on June 21<sup>st</sup>, 2005.

Attest:



Paul Anderson  
Kendall County Clerk

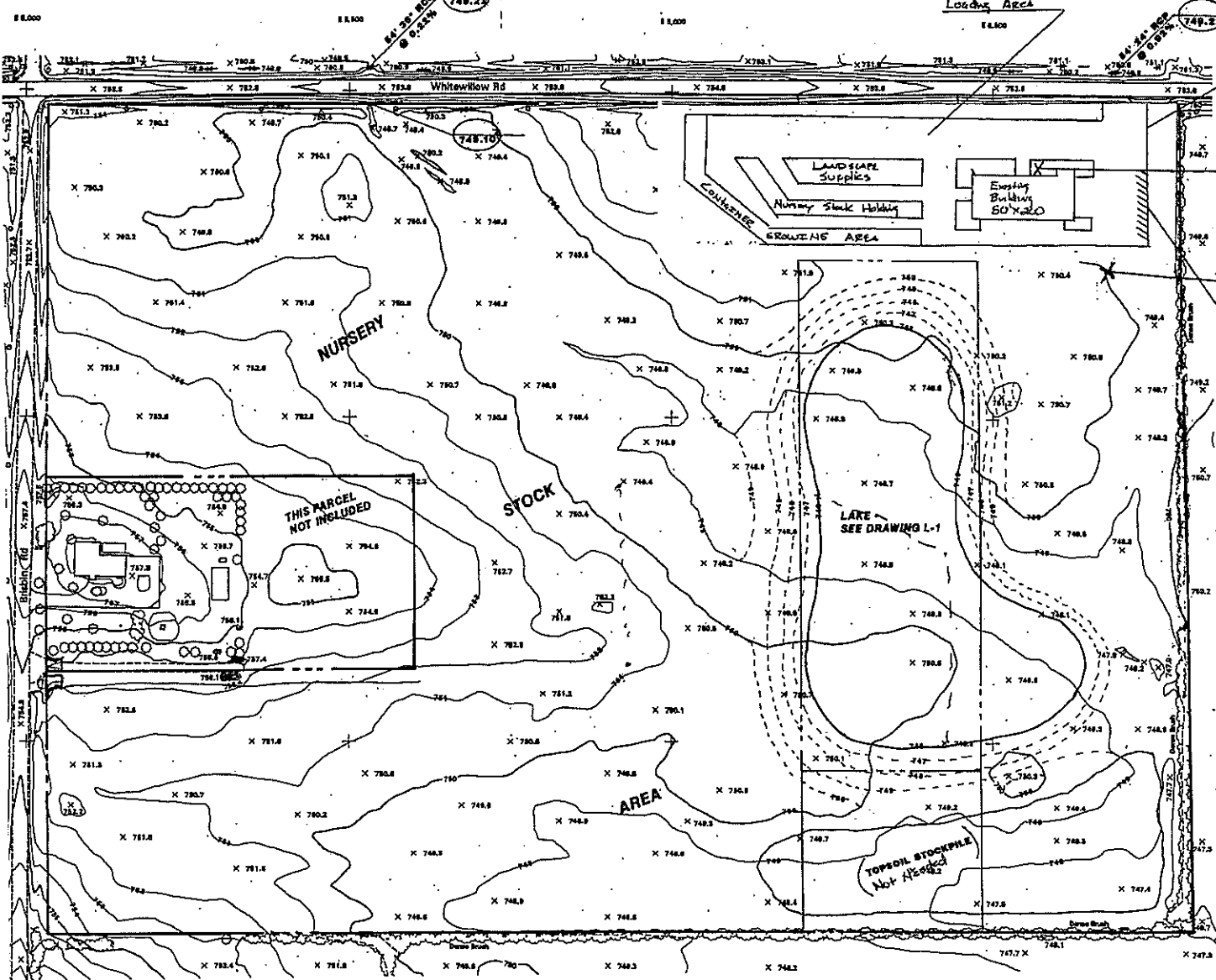


John A. Church  
Kendall County Board Chairman

THIS DRAWING IS THE PROPERTY OF THE SIDWELL COMPANY AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE SIDWELL COMPANY.



P.I.N. 09-31-100-005



Existing 15" Concrete curb around  
outside of yard

Well - to be located in front  
of building approximately 200' from  
road

Septic - to be located w back of  
building approximately 250' away  
from well

Parking - 62 to 15 stalls 45'  
w accordance with the following  
dimensions ↓

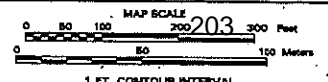
TYPICAL PARKING DIMENSIONS

Parking Angle (degrees)	Stall Width Parallel to Aisle (ft)	Stall Depth to Well (ft)	Stall Depth to Interlock (ft)	Aisle Width/Wall (ft)	Modules <sup>2</sup> Well to Interlock (ft)	Modules <sup>2</sup> Interlock to Interlock (ft)
45	12.7	17.5	15.3	12.0	47.0	43.0
9.0 ft stall	13.4	17.6	15.3	11.0	48.0	42.0
9.5 ft stall						

Revisions:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**THE SIDWELL COMPANY**  
GIS & Mapping Solutions  
575 Maxwell Court  
St. Charles, Illinois 60174-3492  
Tel: 630.329.1000



## Matt Asselmeier

---

**From:** Fran Klaas  
**Sent:** Monday, April 25, 2022 8:43 AM  
**To:** Matt Asselmeier  
**Cc:** Scott Koeppel; Scott Gengler  
**Subject:** RE: Whitewillow Road Dedication

Phil Young is actively working on the plat and legal descriptions. Should have some additional information soon.

Francis C. Klaas, P.E. Kendall County Engineer 6780 Route 47, Yorkville, IL 60560 (630) 553-7616 [fklaas@co.kendall.il.us](mailto:fklaas@co.kendall.il.us)

---

**From:** Matt Asselmeier  
**Sent:** Monday, April 25, 2022 8:09 AM  
**To:** Fran Klaas <[FKlaas@co.kendall.il.us](mailto:FKlaas@co.kendall.il.us)>  
**Cc:** Scott Koeppel <[skoeppe@co.kendall.il.us](mailto:skoeppe@co.kendall.il.us)>; Scott Gengler <[sgengler@co.kendall.il.us](mailto:sgengler@co.kendall.il.us)>  
**Subject:** RE: Whitewillow Road Dedication

Fran:

Any update on this ROW dedication?

Thanks,

Matthew H. Asselmeier, AICP, CFM  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498  
PH: 630-553-4139  
Fax: 630-553-4179

---

**From:** Fran Klaas  
**Sent:** Monday, February 28, 2022 10:46 AM  
**To:** Matt Asselmeier <[masselmeier@co.kendall.il.us](mailto:masselmeier@co.kendall.il.us)>  
**Cc:** Scott Koeppel <[skoeppe@co.kendall.il.us](mailto:skoeppe@co.kendall.il.us)>; Scott Gengler <[sgengler@co.kendall.il.us](mailto:sgengler@co.kendall.il.us)>  
**Subject:** RE: Whitewillow Road Dedication

No update yet.

Francis C. Klaas, P.E. Kendall County Engineer 6780 Route 47, Yorkville, IL 60560 (630) 553-7616 [fklaas@co.kendall.il.us](mailto:fklaas@co.kendall.il.us)

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**From:** Matt Asselmeier  
**Sent:** Monday, February 28, 2022 10:43 AM  
**To:** Fran Klaas <[FKlaas@co.kendall.il.us](mailto:FKlaas@co.kendall.il.us)>  
**Cc:** Scott Koeppel <[skoeppe@co.kendall.il.us](mailto:skoeppe@co.kendall.il.us)>; Scott Gengler <[sgengler@co.kendall.il.us](mailto:sgengler@co.kendall.il.us)>  
**Subject:** RE: Whitewillow Road Dedication



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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

**MEMORANDUM**

---

To: Planning, Building and Zoning Committee  
From: Matthew H. Asselmeier, AICP, CFM, Senior Planner  
Date: May 3, 2022  
Re: Possible Intergovernmental Agreements with Oswego and Seward Townships for Additional Code Enforcement

---

The Planning, Building and Zoning Department previously reached out to Oswego and Seward Townships to see if they would each be in favor of paying Nine Thousand Dollars (\$9,000) per year for five (5) hours per week of additional code enforcement in their respective township.

At their Annual Meeting in April, Oswego Township adopted a garbage dumping ordinance and a recreational vehicle and trailer parking ordinance. Oswego Township was considering adding additional hours to their Code Enforcement Officer.

Seward Township is still evaluating the proposal.

Related emails and Oswego Township's ordinances are attached.

If you have any questions regarding this memo, please let me know.

MHA

Encs.: 4-14-22 West Email  
Oswego Ordinances  
5-3-22 and 4-13-22 O'Brien Emails

## Matt Asselmeier

---

**From:** Joe West <jwest@oswegotownship.com>  
**Sent:** Thursday, April 14, 2022 6:52 AM  
**To:** Matt Asselmeier  
**Cc:** Donna Stanley; Scott Koeppel; Scott Gengler  
**Subject:** Re: [EXTERNAL] Code Enforcement Question

No we have not. We are looking at adding extra hours to our code enforcement officer.

Get [Outlook for iOS](#)

---

**From:** Matt Asselmeier <masselmeier@co.kendall.il.us>  
**Sent:** Wednesday, April 13, 2022 7:58:41 AM  
**To:** Joe West <jwest@oswegotownship.com>  
**Cc:** Donna Stanley <dstanley@oswegotownship.com>; Scott Koeppel <skoeppel@co.kendall.il.us>; Scott Gengler <sgengler@co.kendall.il.us>  
**Subject:** [EXTERNAL] Code Enforcement Question

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Joe:

Did Oswego Township decide if they were agreeable to the County's proposal for additional code enforcement?

Thanks,

Matthew H. Asselmeier, AICP, CFM  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498  
PH: 630-553-4139  
Fax: 630-553-4179

**OSWEGO TOWNSHIP  
KENDALL COUNTY, ILLINOIS**

**ORDINANCE No. 2022-05**

**AN ORDINANCE ADOPTING GARBAGE DUMPING RESTRICTIONS WITHIN  
OSWEGO TOWNSHIP, KENDALL COUNTY, ILLINOIS**

**ANNUAL TOWN MEETING OF ELECTORS  
April 12, 2022**

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**ORDINANCE NO. 2022-05**

**AN ORDINANCE ADOPTING GARBAGE DUMPING RESTRICTIONS WITHIN OSWEGO TOWNSHIP, KENDALL COUNTY, ILLINOIS**

**WHEREAS**, Oswego Township is a unit of local government operating under the laws of the State of Illinois (“Township”); and

**WHEREAS**, Section 30-120 of the Illinois Township Code, 60 ILCS 1/30-120, authorizes the electors of Oswego Township to adopt ordinances preventing the deposit of night soil, garbage or other offensive substances within the limits of Oswego Township; and

**WHEREAS**, the Highway Commissioner of Oswego Township has general charge of the roads and maintenance thereof within the Oswego Township Road District as provided by Section 6-201.8 of the Illinois Highway Code, 605 ILCS 5/6-201.8, and

**WHEREAS**, the Township, by its electors, hereby finds that the proper preservation and maintenance of Oswego Township Road District roads, streets, alleys, highways and rights-of-way (cumulatively, “Roads”) requires that they be kept free and clear of any and all obstructions, including garbage, offal, fecal matter, night soil, junk, trash, refuse, rubbish, debris, discarded personal property, manure (except the normal storage on a farm of manure for agricultural purposes), garbage cans, receptacles, storage containers, or other offensive substances upon public or private property (cumulatively, “Garbage”), or to permit such objects to remain upon such property, within the Township or upon Roads within the Township; and

**WHEREAS**, the Township, by its electors, hereby finds and determines that the regulation of the aforesaid Garbage on Township Roads is necessary in order to provide for the safety of those motorists and pedestrians using such Roads, and that the prohibition of depositing Garbage within the Township, excepting refuse disposal facilities regulated by the Illinois Department of Public Health and Kendall County, is in the best interests of the public health,



safety and welfare; and

**NOW, THEREFORE, BE IT ORDAINED** by the electors of Oswego Township, Kendall County, Illinois (the “Electors”) at their annual meeting held on April 12, 2022, as follows:

**Section 1. Definitions.** For the purpose of this Ordinance, the following terms shall have the meanings set forth hereinbelow:

- A. Without limiting the generality of this Ordinance, “Garbage” shall mean any and all waste matter, whether reusable or not, which is offensive to the public health, safety and welfare and is specifically intended to include, without limitation, household waste, offal, fecal matter, night soil, junk, trash, refuse, rubbish, debris, discarded personal property, manure (except the normal storage on a farm of manure for agricultural purposes), abandoned or unsecured garbage cans, receptacles, storage containers, discarded furniture, lawn furniture, appliances, household fixtures, countertops, vanities, toilets, sinks, motor vehicle parts, machinery of any kind or parts thereof, metal drums or other containers, construction debris, rubbish, ashes, unnatural accumulations of dirt, paper, raw garbage, abandoned or inoperable vehicles, noxious or offensive waste, or any other offensive substances upon public or private property or Roads.
- B. “Roads” shall mean Oswego Township Road District roads, streets, alleys, highways and rights-of-way.

**Section 2. Prohibition on Depositing Garbage on Township Roads.**

No person shall place, put, maintain or allow the placement of Garbage on Roads or other

property belonging to, or located upon, any property belonging to or under the jurisdiction of the Oswego Township Road District.

**Section 3. Prohibition on Depositing Garbage Within the Township.**

- A. No person shall deposit, allow to be deposited, or permit Garbage to accumulate or remain on public or private property within Oswego Township.
- B. No person shall place household Garbage in any outside container so that the Garbage is accessible to animals.
- C. No person shall deposit, allow to be deposited or permit outdoor storage of lumber or other building materials, construction vehicles, or construction equipment, not in connection with a permitted, ongoing building project in progress on the immediate premises.
- D. It shall not be a violation of this Section 3 to deposit Garbage in sealed containers in locations and at times authorized by a unit of local government, or when acting under the direction of public officials during specially designated cleanup days.
- E. Each day on which the Garbage remains in violation of this Ordinance following the Removal Deadline, as set forth below, shall be considered a separate and distinct violation.

**Section 4. Enforcement.**

- A. The Highway Commissioner and Oswego Township Ordinance Enforcement Officer are authorized to enforce this Ordinance.
- B. When Garbage, building materials, or other offensive matter are deposited or permitted to remain in a location in violation of this Ordinance, the Highway

Commissioner or Oswego Township Ordinance Enforcement Officer shall issue a notice to abate to the owner of the real property associated with the violation, by (i) conspicuously posting such notice to abate on the front door of the property and (ii) by mailing a copy of such notice to abate via certified mail, return receipt requested, to the owner of the property at the address to which the most recent property tax bill was sent. The notice to abate shall specify the nature and location of the offense, a statement of acts necessary to abate the violation, and a date certain no more than seven (7) days from the date of issuance of the notice to abate (“Removal Deadline”) to remove or otherwise properly dispose of the Garbage or other offending materials or substances. The notice to abate shall inform the owner, lessee, and/or occupants that failure to timely abate the violation by the Removal Deadline will result in the issuance of a subsequent notice(s) of violation imposing fines for each day on which the Garbage remains following the Removal Deadline and may also provide that the Township may seek injunctive relief providing for the removal of the Garbage at the owner’s expense.

- C. Notices of violation shall be served in the same manner provided hereinabove for the notice to abate and shall specify the date, time and nature and location of the offense and shall serve as a summons and complaint to appear in the Kendall County Circuit Court in accordance with the procedures set forth in 60 ILCS 1/100-10(d-5).
- D. When the Highway Commissioner or Ordinance Enforcement Officer finds Garbage obstructing the Roads or a public sidewalk, or a driveway entrance to any property, or in any other manner creates a dangerous or unsafe condition such that removal without delay is reasonably necessary to protect public health and safety, then such

Garbage violation may be summarily abated by the Highway Commissioner or Ordinance Enforcement Officer and a violation notice shall be issued without first issuing a notice to abate. The Township may seek judgment against the owner, lessee, or occupant of the property (whomever is found liable for a violation of this Ordinance) for its removal costs, in addition to any other penalties imposed by this Ordinance.

- E. In any prosecution of a charge for violation of this Ordinance, proof that the particular Garbage described in the notice of violation or complaint, together with proof that the defendant named in the complaint was at the time of such violation the lawful owner of said property, shall constitute prima facie evidence that the lawful owner of such property was the person who placed such Garbage at the point where, and for the time during which such violation occurred.

**Section 5. Penalty.** Any person convicted of a violation of this Ordinance shall be punishable by a fine of up to \$500. Fines shall be established and enforced by Kendall County Circuit Court pursuant to section 60 ILCS 1/100-10(d-5)(1). Upon a finding of liability, Oswego Township may seek court and associated legal fees.

**Section 6. Implementation.** The Electors hereby authorize and direct the Oswego Township Board of Trustees, the Oswego Township Supervisor, Clerk, Highway Commissioner, Ordinance Enforcement Officer, and Attorney to take any and all actions necessary to inform the public about the restrictions imposed by this Ordinance and to enforce the provisions of this Ordinance consistent with the terms set forth herein.

**Section 7. Savings Clause.** If any section, paragraph, clause, or provision of this resolution shall be held invalid, the validity thereof shall not affect any of the other provisions of this resolution.

**Section 8. Resolution of Conflicts.** All resolutions in conflict herewith are hereby repealed to the extent of such conflict.

**Section 9. Effective Date.** This Ordinance shall be in full force and effect from after its passage, publication and approval as provided by law.

ADOPTED by a <sup>Unanimous</sup> vote of \_\_\_\_\_ to \_\_\_\_\_ by the electors of Oswego Township on April 12, 2022.

APPROVED this 12<sup>th</sup> day of April, 2022.

**OSWEGO TOWNSHIP**

  
Moderator

ATTEST:   
Township Clerk

**OSWEGO TOWNSHIP  
KENDALL COUNTY, ILLINOIS**

**ORDINANCE No. 2022-06**

**AN ORDINANCE ADOPTING PARKING RESTRICTIONS FOR RECREATIONAL  
VEHICLES AND TRAILERS ON TOWNSHIP ROADS WITHIN OSWEGO  
TOWNSHIP, KENDALL COUNTY, ILLINOIS**

**ANNUAL TOWN MEETING OF ELECTORS  
April 12, 2022**

---

**ORDINANCE NO. 2022-06**

**AN ORDINANCE ADOPTING PARKING RESTRICTIONS FOR RECREATIONAL VEHICLES AND TRAILERS ON TOWNSHIP ROADS WITHIN OSWEGO TOWNSHIP, KENDALL COUNTY, ILLINOIS**

**WHEREAS**, Oswego Township is a unit of local government operating under the laws of the State of Illinois (“Township”); and

**WHEREAS**, Section 30-125 of the Illinois Township Code, 60 ILCS 1/30-125, authorizes the electors of Oswego Township to adopt ordinances regulating the standing or parking of recreational vehicles on township roads; and

**WHEREAS**, the Highway Commissioner of Oswego Township has general charge of the roads within the Oswego Township Road District as provided by Section 6-201.8 of the Illinois Highway Code, 605 ILCS 5/6-201.8, and is further authorized to regulate the standing or parking of vehicles by Section 11-208 of the Illinois Vehicle Code, 625 ILCS 5/11-208; and

**WHEREAS**, the Township, by its electors, hereby finds and determines that regulating the standing and parking of recreational vehicles on Township Roads is necessary in order to provide for the safety of those persons using such roads, streets, or highways, and for the orderly flow of traffic.

**NOW, THEREFORE, BE IT ORDAINED** by the electors of Oswego Township, Kendall County, Illinois (the “Electors”) at their annual meeting held on April 12, 2022, as follows:

**Section 1. Definitions.** For the purpose of this Ordinance, the following terms shall have the meanings set forth hereinbelow:

A. “Recreational vehicle” shall have the meaning ascribed in Section 1-169 of the

Illinois Vehicle Code, 625 ILCS 5/1-169, as amended from time to time.

- B. "Trailer" shall have the meaning ascribed in Section 1-209 of the Illinois Vehicle Code, 625 ILCS 5/1-209, as amended from time to time.
- C. "Park" or "parking" shall have the meaning ascribed in Section 1-156 of the Illinois Vehicle Code, 625 ILCS 5/1-209, as amended from time to time.
- D. "Stand" or "standing" shall have the meaning ascribed in Section 1-194 of the Illinois Vehicle Code, 625 ILCS 5/1-209, as amended from time to time.

**Section 2. Prohibition on Parking Recreational Vehicles on Township Roads.**

- A. No person shall stop, stand or park any recreational vehicle or trailer at any time on any road, street, alley, highway or other right-of-way under the jurisdiction of Oswego Township or the Oswego Township Road District.
- B. Each day that a violation of this Section 2 continues following the Removal Deadline as set forth hereinbelow shall constitute a separate and distinct violation or offense.

**Section 3. Enforcement.**

- A. The Highway Commissioner and Oswego Township Ordinance Enforcement Officer are authorized to enforce this Ordinance.
- B. When a recreational vehicle or trailer is found parked or left in violation of this Ordinance, the Highway Commissioner or Oswego Township Ordinance Enforcement Officer shall take information displayed on the vehicle that may identify its owner, such as, without limitation, a vehicle registration number or plates, and shall (i) conspicuously affix to such vehicle a notice to abate and (ii) send by certified



mail, return receipt requested, a copy of the notice to abate to the vehicle owner. The notice to abate shall specify the nature and location of the offense, and order the removal of the vehicle from the Oswego Township or Oswego Township Road District right-of-way to a lawful location by a date certain no more than seven (7) days from the date of issuance of the notice to abate (“Removal Deadline”). The notice to abate shall inform the owner that failure to timely remove the vehicle to a lawful location off of the Oswego Township or Road District roadway by the Removal Deadline shall result in the issuance of a notice(s) of violation imposing fines for each day on which the vehicle remains in an unlawful location following the Removal Deadline and may result in the impoundment of the vehicle without further notice.

- C. When the Ordinance Enforcement Officer or Highway Commissioner finds a recreational vehicle or trailer in violation of the restrictions imposed by this Ordinance and such vehicle remains unlawfully parked after the Removal Deadline, he or she shall issue a notice of violation. Notices of violation shall be served in the same manner provided hereinabove for the notice to abate and shall specify the date, time and nature and location of the offense and shall serve as a summons and complaint to appear in the Kendall County Circuit Court in accordance with the procedures set forth in 60 ILCS 1/100-10(d-5).
- D. When the Ordinance Enforcement Officer or Highway Commissioner finds a recreational vehicle or trailer in violation of the restrictions imposed by this Ordinance and the location of the vehicle obstructs a public sidewalk, leaves less than ten (10) feet of the width of the roadway free for free movement of vehicular traffic,

blocks the driveway entrance to any property abutting said roadway, or in any other manner creates a dangerous or unsafe condition such that removal is reasonably necessary to protect public safety, then such recreational vehicle or trailer shall be subject to seizure and impoundment. The Ordinance Enforcement Officer is hereby authorized to remove such hazard from the road forthwith by a designated service of the Township at the expense of the vehicle owner in addition to any other penalties imposed by this Ordinance. Notification will be made to Kendall County Sheriff's Office that removal was made. Whenever the Ordinance Enforcement Officer or Highway Commission removes or causes the removal and impoundment of a recreational vehicle or trailer from a Township or Road District road as provided in this Section, he or she shall promptly send a written notice of impoundment to the registered owner of the vehicle (or, if such owner is not ascertainable, then such notice shall be directed to the Secretary of State) including a description of the vehicle, the date, time and place from which removed, the reasons for removal, and the name, location and contact information of the place where the vehicle is stored. The owner shall have the right to reclaim his or her vehicle after presenting identification and evidence of right to possession of the vehicle and paying any and all applicable towing and impoundment charges.

- E. In any prosecution of a charge for violation of this Ordinance, the parking of any recreational vehicle or trailer as defined in this Ordinance, proof that the particular recreational vehicle or trailer described in the notice of violation or complaint was in violation of such law or regulation, together with proof that the defendant named in the notice of violation or complaint was at the time of such violation the lawful owner

of the vehicle shall constitute prima facie evidence that the lawful owner of such recreational vehicle or trailer was the person who placed such vehicle at the point where, and for the time during, which such violation occurred.

**Section 4. Penalty.** Any person convicted of a violation of this Ordinance shall be punishable by a fine of up to \$500. Fines shall be established and enforced by Kendall County Circuit Court pursuant to section 60 ILCS 1/100-10(d-5)(1). Upon a finding of liability, Oswego Township may seek court and associated legal fees.

**Section 5. Implementation.** The Electors hereby authorize and direct the Oswego Township Board of Trustees, the Oswego Township Supervisor, Clerk, Highway Commissioner, Ordinance Enforcement Officer, and Attorney to take any and all actions necessary to inform the public about the restrictions imposed by this Ordinance and to enforce the provisions of this Ordinance consistent with the terms set forth herein.

**Section 6. Savings Clause.** If any section, paragraph, clause, or provision of this resolution shall be held invalid, the validity thereof shall not affect any of the other provisions of this resolution.

**Section 7. Resolution of Conflicts.** All resolutions in conflict herewith are hereby repealed to the extent of such conflict.

**Section 8. Effective Date.** This Ordinance shall be in full force and effect from after its

passage, publication and approval as provided by law.

ADOPTED by a <sup>Unanimous</sup> vote of \_\_\_\_\_ to \_\_\_\_\_ by the electors of Oswego Township on April 12, 2022.

APPROVED this 12<sup>th</sup> day of April, 2022.

**OSWEGO TOWNSHIP**

Judy Bush  
Moderator

ATTEST: Ken Schultz  
Township Clerk

## Matt Asselmeier

---

**From:** Tim O'Brien <sewtow@aol.com>  
**Sent:** Tuesday, May 3, 2022 8:55 AM  
**To:** Matt Asselmeier  
**Cc:** Scott Koeppel; Scott Gengler; cbuck@rcklawfirm.com; lschoenstedt@rcklawfirm.com  
**Subject:** Re: [External]Re: Code Enforcement Question

Good morning:

I have sent an email to Joe West, from Oswego and have not received an answer yet.

Tim O'Brien  
Supervisor, Seward Township

-----Original Message-----

**From:** Matt Asselmeier <masselmeier@co.kendall.il.us>  
**To:** Tim O'Brien <sewtow@aol.com>  
**Cc:** Scott Koeppel <skoeppel@kendallcountyil.gov>; Scott Gengler <sgengler@co.kendall.il.us>; cbuck@rcklawfirm.com <cbuck@rcklawfirm.com>; lschoenstedt@rcklawfirm.com <lschoenstedt@rcklawfirm.com>  
**Sent:** Tue, May 3, 2022 8:32 am  
**Subject:** RE: [External]Re: Code Enforcement Question

Tim:

Is there an update on the code enforcement proposal?

Will Seward Township be discussing it further at their May meeting?

Thanks,

Matthew H. Asselmeier, AICP, CFM  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498  
PH: 630-553-4139  
Fax: 630-553-4179

---

**From:** Tim O'Brien [mailto:sewtow@aol.com]  
**Sent:** Wednesday, April 13, 2022 5:53 PM  
**To:** Matt Asselmeier <masselmeier@co.kendall.il.us>  
**Cc:** Scott Koeppel <skoeppel@co.kendall.il.us>; Scott Gengler <sgengler@co.kendall.il.us>; cbuck@rcklawfirm.com; lschoenstedt@rcklawfirm.com  
**Subject:** [External]Re: Code Enforcement Question

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good evening:

The Code Enforcement Officer was tabled at Tuesday's night's meeting.

They are in need of more information for what the Township would be getting for \$9000, i.e.

1. A monthly report of activity in Seward Township,
2. Will there be a benefit to Seward Township when the fines are recouped?
3. How many days out of the month would the Code Enforcement Officer be working for Seward Township?
4. Are we able to review the details of what has been found in Oswego?

It was a very large meeting and the lectors feel that they need more information and want to know before this is a done deal what we are getting for our money.

Please let me know.

Thank you.

Tim O'Brien  
Supervisor, Seward Township

-----Original Message-----

From: Matt Asselmeier <[masselmeier@co.kendall.il.us](mailto:masselmeier@co.kendall.il.us)>

To: Tim O'Brien <[sewtow@aol.com](mailto:sewtow@aol.com)>

Cc: Scott Koeppel <[skoepfel@co.kendall.il.us](mailto:skoepfel@co.kendall.il.us)>; Scott Gengler <[sgengler@co.kendall.il.us](mailto:sgengler@co.kendall.il.us)>

Sent: Wed, Apr 13, 2022 7:57 am

Subject: Code Enforcement Question

Tim:

Did Seward Township decide if they were agreeable to the County's proposal for additional code enforcement?

Thanks,

Matthew H. Asselmeier, AICP, CFM  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498  
PH: 630-553-4139  
Fax: 630-553-4179

## Matt Asselmeier

---

**From:** Matt Asselmeier  
**Sent:** Thursday, April 14, 2022 10:37 AM  
**To:** Tim O'Brien  
**Cc:** Scott Koeppel; Scott Gengler; cbuck@rcklawfirm.com; lschoenstedt@rcklawfirm.com  
**Subject:** RE: [External]Re: Code Enforcement Question

Tim:

Please see below for responses in red:

1. A monthly report of activity in Seward Township, This is possible. We can coordinate regarding the timing of the report and the information the Township would like included in the report.
2. Will there be a benefit to Seward Township when the fines are recouped? The County would retain any fine dollars awarded.
3. How many days out of the month would the Code Enforcement Officer be working for Seward Township? For clarification, the Code Enforcement Officer would not be an employee of Seward Township. The workload for Seward Township would be 5 hours per week, on average. Please keep in mind that these 5 hours also include court time and time to do paperwork. The Code Enforcement Officer would not necessarily be physically in Seward Township during the 5 hours they are working.
4. Are we able to review the details of what has been found in Oswego? Could you clarify this question? As of this morning, Oswego Township was still reviewing the proposal and they were exploring other alternatives.

Thanks,

Matthew H. Asselmeier, AICP, CFM  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498  
PH: 630-553-4139  
Fax: 630-553-4179

---

**From:** Tim O'Brien [mailto:sewtow@aol.com]  
**Sent:** Wednesday, April 13, 2022 5:53 PM  
**To:** Matt Asselmeier <masselmeier@co.kendall.il.us>  
**Cc:** Scott Koeppel <skoeppel@co.kendall.il.us>; Scott Gengler <sgengler@co.kendall.il.us>; cbuck@rcklawfirm.com; lschoenstedt@rcklawfirm.com  
**Subject:** [External]Re: Code Enforcement Question

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Good evening:

The Code Enforcement Officer was tabled at Tuesday's night's meeting.

They are in need of more information for what the Township would be getting for \$9000, i.e.

1. A monthly report of activity in Seward Township,
2. Will there be a benefit to Seward Township when the fines are recouped?
3. How many days out of the month would the Code Enforcement Officer be working for Seward Township?



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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

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**POLICY FOR APPLICATIONS IN CASES WHERE APPLICANTS OWE KENDALL COUNTY MONEY**

1. Whenever a party applies for a permit or zoning action with the Kendall County Planning, Building and Zoning Department, the Planning, Building and Zoning Department will check with the County Treasurer, Circuit Clerk, and online tax records to determine if the applicant owes the County funds.
2. If the applicant does not owe the County funds or if the applicant is current on an approved debt payment plan with Kendall County, the application will be processed under the Planning, Building and Department's normal operating procedures.
3. If the applicant owes the County funds or if the applicant is delinquent on payments to the County, the Planning, Building and Zoning Department shall notify the applicant in writing that a debt is owed and that the Planning, Building and Zoning Department shall not process the applicant's application under the applicant pays the debt or becomes current on a debt payment plan.
4. Upon complete payment of the debt owed to the County or upon the applicant becoming current on an approved debt payment plan, the Planning, Building and Zoning Department shall process the application under the Planning, Building and Zoning Department's normal operating procedures.

Approved by majority vote of the Planning Building and Zoning Committee on May 9, 2022.



2019 VIOLATIONS

19-045	Garay / Juarez	03-19-203-002	5408 Rt. 71		Multiple Violations	5/9/2019	12/3/2019		12/16/2019
19-046	Muniz	09-18-300-016	14674 British Rd		Multiple Violations	5/9/2019	8/1/2019		7/30/2019
19-047	Johnson	05-02-101-002	324 Austin Ct	FOFC	Prohibited Trailer Parking	5/14/2019	5/28/2019		6/21/2019
19-048	Ring	06-02-177-007	1551 Cherry Rd		Junk & Debris	5/15/2019	10/15/2019		10/22/2019
19-049	Martinez	03-12-100-004	1038 Harvey Rd		Multiple Violations	5/13/2019	8/1/2019	11/3/2021	
19-051	Likar	03-08-278-002	22 Fieldpoint Rd	Boulder Hill	Inoperable Vehicle	5/15/2019	5/29/2019		6/3/2019
19-052	Arenas	03-09-104-011	67 Old Post Rd	Boulder Hill	Inoperable Vehicle	5/15/2019	5/29/2019		6/3/2019
19-053	Rudow/Andrews	03-08-253-016	3 Gebold Dr	Boulder Hill	Prohibited Boat parking	5/15/2019	6/16/2019		6/17/2019
19-054	Tierney	03-04-405-017	44 Winrock Rd	Boulder Hill	Shed - no permit	5/15/2019	5/29/2019		5/23/2019
19-055	Hern	03-08-280-008	16 Cebold Dr	Boulder Hill	Inoperable Vehicle	5/15/2019	5/29/2019		5/29/2019
19-056	Casner	03-04-376-037	6 Crescent Ct.	Boulder Hill	Prohibited RV Parking	5/15/2019	6/12/2019		6/12/2019
19-057	Avila, Munoz, Rubio	03-05-454-008	36 Circle Dr W	Boulder Hill	Prohibited Trailer Parking	5/15/2019	6/27/2019		7/1/2019
19-058	Castillo	03-04-329-019	45 Whitney Way	Boulder Hill	Inoperable Vehicle	5/15/2019	5/29/2019		6/3/2019
19-059	Stiles	03-08-280-029	7 Fieldcrest Dr	Boulder Hill	Prohibited Boat parking	5/16/2019	5/30/2019		6/3/2019
19-060	Myles	03-08-277-020	9 Fieldpoint Rd.	Boulder Hill	Inoperable Vehicle	5/16/2019	5/30/2019		6/3/2019
19-061	Fecarotta	03-08-278-010	102 Circle Drive W	Boulder Hill	Inoperable Vehicle	5/16/2019	5/30/2019		6/3/2019
19-062	Valenzuela/Ibarra	03-04-326-006	54 Marnel Rd.	Boulder Hill	Prohibited Boat parking	5/16/2019	8/19/2019		8/28/2019
19-063	Reinert	03-08-278-017	13 Pickford Rd.	Boulder Hill	Prohibited RV Parking	5/16/2019	6/10/2019		6/10/2019
19-064	Yates	03-08-279-002	8 Pickford Rd	Boulder Hill	Prohibited RV Parking	5/16/2019	6/15/2019		6/19/2019
19-065	Lazaroski	03-08-202-015	29 Guilford Rd	Boulder Hill	Prohibited RV & Boat parking	5/16/2019	6/17/2019		6/19/2019
19-066	Machado	03-04-329-012	31 Whitney Way	Boulder Hill	Prohibited Trailer Parking	5/17/2019	5/31/2019		6/3/2019
19-067	Void								
19-068	Lamberty	03-08-277-024	17 Fieldpoint Rd.	Boulder Hill	Inoperable Vehicle	5/21/2019	6/4/2019		6/5/2019
19-069	C T&#133412	02-35-381-006	5896 Fields Dr.	FOFC	Prohibited Boat Parking	5/21/2019	6/4/2019		6/5/2019
19-070	Akers	03-04-379-002	55 Longbeach Rd	Boulder Hill	Junk & Debris	5/29/2019	9/19/2019		9/11/2019
19-071	Garcia	03-04-478-005	51 Springdale Rd	Boulder Hill	Junk & Debris	5/29/2019	6/28/2019		6/28/2019
19-072	Persons	03-09-155-005	131 Circle Dr- W	Boulder Hill	3 Inoperable Vehicles	6/3/2019	6/30/2019		7/1/2019
19-073	Porter/Fischer	02-03-400-005	522 Dickson Rd		Inoperable Vehicle/Junk & Debris	6/3/2019	6/27/2019		6/28/2019
19-074	Weder	09-15-300-008	14625 Jughandle Rd	Langeland's	Trucking Business Prohibited	6/4/2019	7/26/2019		7/23/2019
19-075	Brooks	03-04-177-023	16 Ingleshire Rd	Boulder Hill	Inoperable Vehicle	6/5/2019	7/15/2019		6/11/2019
19-076	Gallejos	03-04-281-003	5 Pendleton Pl	Boulder Hill	Prohibited trailer parking	6/10/2019	6/24/2019		6/27/2019
19-077	Gossett	03-04-155-004	6 Pembroke Rd	Boulder Hill	Prohibited trailer parking	6/10/2019	7/11/2019		7/2/2019
19-078	Smith	03-04-476-002	53 Sheffield Rd	Boulder Hill	Multiple Violations	6/10/2019	7/26/2019		7/30/2019
19-079	Gervias	03-08-227-042	35 Old Post Rd	Boulder Hill	Prohibited Trailer parking	6/10/2019	7/11/2019		7/10/2019
19-080	Ramirez	03-05-429-016	13 Circle Drive East	Boulder Hill	Prohibited Trailer parking	6/12/2019	7/20/2019		7/23/2019
19-081	Braves Realty/Jarrett	03-05-429-008	18 Greenfield Rd.	Boulder Hill	Inoperable Vehicles	6/12/2019	9/9/2019		9/11/2019
19-082	Cerny/Grzetic	03-09-103-008	51 Old Post Rd	Boulder Hill	Boat parked in required front yard	6/12/2019	7/24/2019		7/24/2019
19-083	Forbes	02-35-310-006	7747 Madeline Dr	FOFC	Prohibited Trailer parking	6/21/2019	7/5/2019		7/10/2019
19-084	Netzel	02-35-384-001	7715 Madeline Dr	FOFC	Prohibited Boat Parking	6/21/2019	7/5/2019		7/10/2019
19-085	Whaley	02-35-380-005	5727 Fields Dr	FOFC	Prohibited trailer parking	6/26/2019	7/10/2019		7/10/2019
19-086	Wollwert	03-04-452-007	67 Stratford Rd.	Boulder Hill	Business in R6 zoning	6/26/2019	7/10/2019		7/1/2019
19-087	Majey Concrete, Inc.	02-12-428-001	Lot 6-8 Commerce Rd	Light Rd Ind Park	Site work without permit	7/3/2019	8/5/2019		8/5/2019
19-088	Greenslade	03-09-152-021	18 Ridgefield Rd	Boulder Hill	Prohibited RV Parking	7/10/2019	7/20/2020		12/16/2019
19-089	Urbanova	03-04-431-002	53 Sonora Dr	Boulder Hill	RV on non approved surface	7/11/2019	7/25/2019		7/24/2019
19-090	Diaz	03-03-351-009	135 Saugatuck Rd.	Boulder Hill	Multiple Violations	7/11/2019	7/25/2019		7/24/2019
19-091	Gambino	03-05-253-027	9 W. Aldon Ct.	Boulder Hill	Junk & Debris	7/18/2019	8/25/2019		8/23/2019

2020 VIOLATIONS

Violation	Name	Parcel #	Address	Subdivision	Description	Opened	Follow up	PBZ	SAO	Closed
20-001	JK Property,% Calder	05-21-300-002	9923 Walker Rd		Multiple Violations - No permits	11/7/2019	1/13/2020			3/9/2020
20-002	Graves	04-22-300-005	9312 Millbrook Rd		Zoning Setback violations	12/3/2019	12/16/2019			12/17/2019
20-003	Gonzalez	03-09-152-019	14 Ridgely Rd.	Boulder Hill	Prohibited RV/trailer parking	12/4/2019	12/23/2019			12/24/2019
20-004	Cadena	03-03-352-004	140 Saugatuck Rd	Boulder Hill	Prohibited Banner Sign	12/11/2019	12/25/2019			12/30/2019
20-005	Municipal Bank%Besiri Adil	02-35-413-014	Audrey & Gilda Ct	FOFC	Prohibited Sign	12/11/2019	2/1/2020			3/16/2020
20-006	Municipal Bank%Besiri Adil	02-35-301-007	Fields Dr	FOFC	Prohibited Sign	12/11/2019	2/1/2020			3/16/2020
20-007	Johnson	03-04-477-025	54 Springdale Rd.	Boulder Hill	Prohibited Trailer parking	12/17/2019	1/31/2020			1/30/2020
20-008	Franzen	03-05-454-027	14 Scarsdale Rd.	Boulder Hill	Prohibited Boat parking	12/26/2019	2/18/2020			2/25/2020
20-009	Navarro	03-12-100-002	1026 Harvey Rd		Multiple Violations	11/26/2019	2/27/2020			7/6/2020
20-010	Drake	05-18-300-005	8751 C. E. Highpoint Rd	Highpoint Hills	Operating Business in R-2	1/28/2020	3/6/2020			12/3/2020
20-011	Kubica Wieslaw	03-04-408-003	106 Tealwood Rd	Boulder Hill	Prohibited Commercial truck	1/31/2020	2/29/2020			3/11/2020
20-012	Chamberlain	03-05-454-028	3 Creve Ct.	Boulder Hill	Prohibited Trailer parking	1/31/2020	2/14/2020			2/4/2020
20-013	Robles	03-04-277-019	251 Fernwood Rd	Boulder Hill	Prohibited Commercial Vehicle	2/20/2020	3/5/2020			3/11/2020
20-014	Crisci	01-05-203-003	16388 Galena Rd		Prohibited Storage Business	3/4/2020	3/18/2020			8/5/2020
20-015	ERB Properties LLC	09-13-400-006	276 Route 52		Multiple Zoning Violations	3/6/2020	4/5/2020			5/6/2020
20-016	Campos	03-08-303-001	117 Dolores St.	Shore Heights	Prohibited Trailer parking	3/3/2020	3/26/2020			6/10/2020
20-017	Henn	03-08-280-008	16 Gebold Dr.	Boulder Hill	Inoperable Vehicle	3/18/2020	4/24/2020			6/11/2020
20-018	Fox Valley Homes LLC	03-05-404-007	114 Boulder Hill Pass	Boulder Hill	Inoperable Vehicle	3/18/2020	4/1/2020			10/29/2020
20-019	Stukas	03-05-428-002	29 Circle Dr. E	Boulder Hill	Inoperable Vehicle	3/19/2020	4/2/2020			6/10/2020
20-020	Ortiz	03-04-303-008	42 Circle Dr. E	Boulder Hill	Inoperable Vehicle	3/19/2020	4/2/2020			3/25/2020
20-021	Evans	03-04-278-035	134 Heathgate Rd	Boulder Hill	Inoperable Vehicle	3/19/2020	4/2/2020			6/10/2020
20-022	Wargo	03-04-477-038	80 Springdale Rd	Boulder Hill	Junk & Debris	3/19/2020	4/2/2020			6/10/2020
20-023	Kubica Wieslaw	03-04-408-003	106 Tealwood Rd	Boulder Hill	Prohibited semi tractor parking	3/19/2020	4/2/2020			6/10/2020
20-024	Velasquez	01-20-352-018	84 Woodland Dr	Sugarbrook Estate	Stormwater & Junk and Debris	4/28/2020	5/29/2020			8/25/2020
20-025	Sec of Veteran Affairs	05-05-103-002	14 Maple Street	Fox Lawn	Multiple Violations	6/15/2020	12/31/2020			6/15/2020
20-026	Niles	08-02-402-002	94 Pletcher Dr	Plattville	Stormwater/Culvert built	6/18/2020	7/20/2020			7/31/2020
20-027	Hansel Ridge, LLC	09-13-200-002	195 Route 52		Multiple Violations	7/17/2020	9/22/2020			10/21/2020
20-028	King	03-04-378-039	43 Saugatuck Rd	Boulder Hill	Fence Violation	7/22/2020	8/22/2020			8/28/2020
20-029	Anich	03-27-301-002	3195 Plainfield Rd		Sign - No permit	7/30/2020	8/29/2020			8/28/2020
20-030	Braves%Jarrett Realty	03-08-230-005	38 Old Post Rd	Boulder Hill	Pool - No permit	7/24/2020	9/3/2020			9/2/2020
20-031	Ramirez	06-14-200-003	1152 Route 126		Deck - No permit	8/20/2020	10/23/2020			10/20/2020
20-032	Gates / Cox Landscaping	02-27-151-003	9000 Route 34	Bakers	Possible Landscaping Business	8/20/2020	10/19/2020			1/21/2021
20-033	Oliver/Balog	03-26-300-007	Lot 22	Red Hawk Landing	Possible Gun Range	8/26/2020	9/28/2020			9/28/2020
20-034	Staudacher Family Trust	02-21-200-014	9155 Kennedy Rd		Stormwater Violation	9/16/2020	10/19/2020			10/16/2020
20-035	Wisschhaus	02-21-200-028			Stormwater Violation	9/21/2020	11/13/2020			11/19/2020
20-036	Marmolejo	03-08-253-007	10 Ashlawn Ave	Boulder Hill	Driveway - No Permit	10/7/2020	10/21/2020			12/10/2020
20-037	Briscoe	09-13-200-006	192 Route 52	see V20-027	Multiple Zoning Violations	10/20/2020	11/19/2020			12/14/2020
20-038	Plainfield Board of Education	06-23-200-004	Wheeler Rd		Multiple Zoning Violations	10/22/2020	11/22/2020			12/3/2020
20-039	Moreno, Luis & Cesario	09-09-100-002	13039 McKanna Rd		Trucking Business in A-1 zoning	10/22/2020	1/15/2021			1/11/2021
20-040	Martinez	03-05-432-007	13 Durango Rd	Boulder Hill	Landscape Bus/Commercial Vehicle in R-6	10/22/2020	1/8/2021			1/14/2021
20-041	Neal	03-04-456-001	3 Wembley Rd	Boulder Hill	Prohibited Trailer parking	8/11/2020	11/28/2020			12/3/2020

2022 VIOLATIONS

Violation	Name	Parcel #	Address	Subdivision	Description	Opened	Follow up	PBZ	SAO	Closed
V22-001	Aguilar	03-07-277-001	20 Shore Ct.	Marina Village	Parking on Lawn	11/9/2021	1/23/2022			2/9/2022
V22-002	Jones	03-05-279-020	44 Briarcliff Rd.	Boulder Hill	Illegal fence height	8/6/2021	1/23/2022			4/27/2022
V22-003	Cabrera	03-04-306-027	44 Hampton Rd.	Boulder Hill	Multiple Violations	8/3/2021	1/23/2022			Under final inspection
V22-004	Lemaster	03-04-253-024	16 Winrock Rd.	Boulder Hill	Inoperable Vehicles	8/18/2021	1/23/2022			Under final inspection
V22-005	Johnson	03-04-477-025	54 Springdale Rd.	Boulder Hill	Trailer parking	11/22/2021	1/23/2022			4/22/2022
V22-006	Haehlen	03-04-277-011	235 Ferrwood Rd.	Boulder Hill	RV parking	11/24/2021	1/23/2022			2/24/2022
V22-007	Joaquin	03-27-377-015	2543 Simons Rd		Banquet facility	11/15/2021				
V22-008	Blek	01-34-300-008	14824 Millhurst Rd		Air B&B	1/3/2022	3/11/2022			2/24/2022

*closed*  
*Under final inspection*  
*7/14/22 By Winking Send*

**PRE VIOLATION REPORT  
2022**

Date Opened	Parcel #	Address	Subdivision	Description of Complaint	Inspection Date	Comments	F/Up	Closed
12/2/2021	09-13-200-006	195 Route 52 Minooka		Inoperable Vehicles & Pile of dirt	12/13/2021	Ag Building - Backfill per MA		12/20/2021
12/2/2021	03-04-408-041	124 Longbeach Rd. Montgomery	Boulder Hill	Prohibited Trailer parked in front yard	12/22/2021	Truck in setback - trailer removed		12/20/2021
12/13/2021	03-05-430-019	42 S Bereman Rd. Montgomery	Boulder Hill	Prohibited Trailer parked in front yard	1/6/2022	30 day warning 1/24/2022		3/9/2022
12/16/2021	03-05-429-031	37 S Bereman Rd. Montgomery	Boulder Hill	Prohibited Trailer parked in front yard	1/6/2022	Trailer removed		2/8/2022
12/16/2021	02-35-381-004	5879 Danielle Lane Yorkville	Fields of Farm Colony	3 trailers in front yard setback	1/6/2022	30 day warning 1/13/2022		2/18/2022
12/16/2021	03-05-430-026	158 Boulder Hill Pass Montgomery	Boulder Hill	Inoperable Vehicle	1/6/2022	30 day warning 1/24/2022		3/9/2022
12/20/2021	06-02-177-003	7 Cherokee Dr. Oswego	Oswego Plains	Building w/ permit	12/20/2021	BP applied for #04-2022-029		1/5/2022
12/20/2021	03-18-402-003	19 N. Cherry Dr. Oswego	Owners 2nd Sub	Junk & Debris	1/6/2022, 1/23/2022	No change	3/21/2022	4/12/2022
12/28/2021	03-04-406-004	49 Winrock Rd. Montgomery	Boulder Hill	Prohibited Trailer parking	1/6/22, 1/23/22	No change	4/12/2022	4/12/2022
12/29/2021	03-04-305-026	22 Wyrndham Dr. Montgomery	Boulder Hill	Junk & Debris	1/6/2022	Debris has been removed		1/19/2022
1/5/2022	03-09-152-019	14 Ridgefield Rd. Montgomery	Boulder Hill	Inoperable Vehicle	1/6/2022	Burnt car / trailer		4/14/2022
1/5/2022	03-08-227-036	23 Old Post Rd. Montgomery	Boulder Hill	Parking on non approved surface	1/6/2022	Gravel Drive Grandfathered in		1/19/2022
1/5/2022	02-34-204-004	80 Riverside St. Yorkville	Fox River Gardens	Tent	12/21/2021	Forwarded to Matt A for response		1/19/2022
1/6/2022	02-35-380-006	7796 Madeline Dr. Yorkville	FOFC	RV parked in front yard since 12/10/2021	1/5/2021	RV still driveway - f/v setback		1/21/2022
1/11/2022	03-04-253-010	44 Ingleshire Rd. Montgomery	Boulder Hill	Junk & Debris	1/23/2022	House seems empty		4/12/2022
1/13/2022	05-18-226-002	8115 E. Highpoint. Rd.	FOFC	Trailer in front yard setback	2/28/2022	Removed		3/7/2022
1/14/2022	05-03-200-027	8250 Route T1 Yorkville		Trucking Business	1/23/2022	Several Trucks Parked		2/3/2022
1/18/2022	01-19-200-009	17660 Sedgewick Rd. Sandwich		Drive Lane not hard surface per SU approval	1/18/2022	Forwarded to Matt A for response		2/12/2022
1/19/2022	05-04-300-033	9600 Route 71		Possible residence in Barn	1/18/2022	Building permit applied for		2/2/2022
1/26/2022		behind 421 Hazeltine Way		Junk & Debris	1/19/2022	Unable to observe blowing J & D		1/20/2022
2/3/2022	03-05-401-003	81 Boulder Hill Pass	Boulder Hill	Occupying a structure w/o C of O	1/27/2022	No Debris or Garbage observed		1/27/2022
2/4/2022	03-08-278-010	102 Circle Drive W Montgomery	Boulder Hill	Prohibited RV parking	2/9/2022	Applied for Permit		3/8/2022
2/7/2022	03-04-256-020	51 Hunter Dr. Montgomery	Boulder Hill	Possible Auto repair business	3/9/2022	No RV on site		3/9/2022
2/7/2022	03-05-402-008	8 Circle Dr East Montgomery	Boulder Hill	Possible Auto repair business	2/12/2022	No Evidence of auto shop		2/15/2022
2/7/2022	03-04-378-019	83 Pueblo Rd. Montgomery	Boulder Hill	Possible Auto repair business	2/12/2022	Tow vehicle, trailers, cars, hauler		4/13/2022
2/16/2022	02-24-220-027	8 Riverview Ct. Oswego	Riverview Heights	Remodel bathroom w/o permit	2/18/2022	No Evidence of auto shop		2/15/2022
2/22/2022	05-03-200-027	8250 Route 71 Yorkville		Driveway not asphaltted per Ord. 2014-21		No Evidence of violation		2/18/2022
2/24/2022	02-35-301-003	339 Austin Ct. Yorkville	Fields of Farm Colony	Box truck	3/7/2022	MA		4/3/2023
2/24/2022	03-08-202-008	54 Circle Dr. W. Montgomery	Boulder Hill	Prohibited RV parking	3/9/2022	30 day warning		4/14/2022
2/24/2022	03-05-453-007	141 Boulder Hill Pass Montgomery	Boulder Hill	POD in driveway	3/9/2022	No RV on site		3/9/2022
2/28/2022	02-36-300-014	5626 Minkler Rd. Yorkville	Squaw Valley	Trailer in setback	3/7/2022	No violation		3/7/2022
3/1/2022	02-21-151-005	30 Patricia Ln. Yorkville	Richard Blackberry Estates	Inoperable Vehicle-green truck	3/7/2022	No violation		4/13/2022
3/7/2022	03-04-154-002	37 Woodridge Rd. Montgomery	Boulder Hill	Junk & Debris	3/9/2022	30 day warning		4/12/2022
3/2/2022	02-28-403-005	804 McHugh Rd. Yorkville		Multiple Violations	3/7/2022	Moved from setback and used for family time		4/8/2022
3/10/2022	03-05-402-008	Camacho Lopez Ma Carmen	Boulder Hill	Possible Auto repair business	2/12 & 3/9	Tow vehicle, trailers, cars, hauler		4/10/2022
3/11/2022	07-07-200-022	13297 Fennel Rd. Newark	Boulder Hill	Possible Barndominium	3/15/2022	Single family home BP# 01-00-160		3/16/2022
3/16/2022	03-04-181-010	48 Pembroke Rd. Montgomery	Boulder Hill	Possible Boarding house	4/12/2022	Not enough evidence		4/12/2022
3/23/2022	03-04-458-001	3 Wembley Rd. Montgomery	Boulder Hill	Trailer Parking	4/12/2022	Not enough evidence		4/12/2022
4/12/2022	03-04-376-003	76 Circle Dr E. Montgomery	Boulder Hill	Junk & Debris	4/14/2022	No violation		4/14/2022
4/12/2922	03-04-479-032	52 Sonora Dr. Montgomery	Boulder Hill	Ambulance parked in driveway	4/12/2022	Removed		4/25/2022
4/13/2022	06-08-101-011	7126 Roberts Ct. Oswego	Grove Estates	Zoning Violation - Airbnh	4/13/2022	MA - 30 day warning		5/16/2022
4/20/2022	03-04-303-029	40 Marnel Rd. Montgomery	Boulder Hill	Unsafe Structure	4/22/2022	No Property Maintenance Code		4/22/2022
4/25/2022	01-16-201-003	15416 Miller Rd. Plano		Multiple Violations	4/27/2022	Not enough evidence		4/28/2022
4/26/2022	06-02-177-001	73 Oswego Plains Dr. Oswego	Oswego Plains	2 Horses	4/27/2022	No Horses		4/28/2022

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## Permit Summary by Category Kendall County

Permit Category	Count	Estimated Cost	Permit Fees	Land Cash
House	2	\$1,250,000	\$7,507	\$3,707
Accessory Buildings	6	\$213,937	\$862	\$0
Additions	4	\$497,350	\$1,298	\$0
Remodeling	1	\$11,000	\$460	\$0
Commercial - M Zone	1	\$204,430	\$659	\$0
Barns/Farm Buildings	3	\$106,000	\$0	\$0
Swimming Pools	6	\$261,604	\$1,200	\$0
Decks	1	\$38,030	\$200	\$0
Demolitions	1	\$2,500	\$0	\$0
Driveway	1	\$15,000	\$200	\$0
Patio	2	\$18,580	\$50	\$0
Solar	8	\$249,181	\$2,050	\$0
	36	\$2,867,612	\$14,486	\$3,707

April 2021 - 0 Houses  
46 Total Permits

YTD 2021 - 9 Houses  
107 Permits

## Permit Summary by Category by Month Kendall County

Permit Category	Total	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
House	10	1	2	5	2	0	0	0	0	0	0	0	0
Garage	1	0	0	1	0	0	0	0	0	0	0	0	0
Accessory Buildings	16	0	0	10	6	0	0	0	0	0	0	0	0
Additions	7	1	1	1	4	0	0	0	0	0	0	0	0
Remodeling	9	1	3	4	1	0	0	0	0	0	0	0	0
Commercial - M Zone	2	0	1	0	1	0	0	0	0	0	0	0	0
Commercial - B Zone	1	0	0	1	0	0	0	0	0	0	0	0	0
Barns/Farm Buildings	9	1	1	4	3	0	0	0	0	0	0	0	0
Swimming Pools	15	0	2	7	6	0	0	0	0	0	0	0	0
Decks	6	1	1	3	1	0	0	0	0	0	0	0	0
Demolitions	3	0	0	2	1	0	0	0	0	0	0	0	0
Electrical Upgrades	2	1	1	0	0	0	0	0	0	0	0	0	0
Change in Occupancy	2	1	0	1	0	0	0	0	0	0	0	0	0
Driveway	3	0	0	2	1	0	0	0	0	0	0	0	0
Patio	3	0	0	1	2	0	0	0	0	0	0	0	0
Generator	5	1	0	4	0	0	0	0	0	0	0	0	0
Solar	25	6	8	3	8	0	0	0	0	0	0	0	0
	119	14	20	49	36	0	0	0	0	0	0	0	0

Permit Approval Date Report  
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
2/18/2022	012022048	01 House	04-02-225-004	CLEAN EDGE HOMES INC	6106 POLO CLUB DR YORKVILLE, IL 60560-	THE WOODS OF SILVER SPRINGS PHASE 3	CLEAN EDGE CONSTRUCTION
3/29/2022	012022078	01 House	09-23-300-021	JAMES AND CAROL FLEMING	15611 HARE ROAD MINOOKA, IL 60447		
4/28/2022	012022085	01 House	05-12-227-003	HARDY JOHN A & CHRISTINE A	6200 WHITETAIL RIDGE COURT YORKVILLE, IL 60560	WHITETAIL RIDGE	CHARLES JAMES CUSTOM HOMES
3/9/2022	012022063	01 House	06-13-101-011	RUFFATTO, MICHAEL & ERYN	782 ROUTE 126 PLAINFIELD, IL 60544		
1/11/2022	012022030	01 House	06-07-226-004	MCCUE DEVELOPMENT INC	5556 WHITETAIL RIDGE DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	SAME
4/14/2022	012022101	01 House	04-21-125-030	MCCUE BUILDERS INC	9250 CHATHAM PL NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 3	MCCUE BUILDERS INC.
4/19/2022	012022121	01 House	02-23-302-004	SLADEK ZACHARY	7 TIMBER VIEW LN YORKVILLE, IL 60560-	TIMBER RIDGE SUB UNIT 2	OWNER
3/7/2022	012022060	01 House	05-12-227-005	MURRAY, KYLE & ANNA	7221 CLUBHOUSE DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	SAME
3/22/2022	012022084	01 House	05-12-276-002	ARMSTRONG ERRIN & SHIRLEY	7461 CLUBHOUSE DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	JPM CUSTOM HOMES
4/29/2022	022022108	02 Garage	02-10-227-003	BRINEY GREGORY MICHAEL	67 W LARKSPUR LN BRISTOL, IL 60512-	WILLOWBROOK UNIT 3	COACH HOUSE GARAGES
3/30/2022	032022103	03 Accessory Buildings	04-21-251-001	LEDESMA PAUL A & VIRGINIA M	15593 PROSPECT HILL DR NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 3	

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Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
3/9/2022	032022072	03 Accessory Buildings	06-09-400-005	BAISH EXCAVATING / DTG INVESTMENTS LLC 240E DRITTE ANGE	3485 ROUTE 126 OSWEGO, IL 60543-		BAISH EXCAVATING INC
3/31/2022	032022104	03 Accessory Buildings	08-11-226-004	M E CHURCH PLATTVILLE	13025 CHURCH RD YORKVILLE, IL 60560-		
3/29/2022	032022091	03 Accessory Buildings	09-14-400-002	MOSCATO JUSTIN E	1498 ROUTE 52 MINOOKA, IL 60447-		COAST TO COAST CARPORTS
3/2/2022	032022062	03 Accessory Buildings	06-09-400-005	BAISH EXCAVATING/DTG INVESTMENTS LLC 03-08-154-004	3485 ROUTE 126 OSWEGO, IL 60543-		
3/30/2022	032022094	03 Accessory Buildings	03-08-154-004	AGLER SAMUEL D & REESE OLIVIA	20 SHORE DR OSWEGO, IL 60543-	MARINA VILLAGE	ROCKY RIDGE STRUCTURES
4/29/2022	032022140	03 Accessory Buildings	02-15-251-004	JONES, DAVID A & JONES, MEGHAN J	15 N ROYAL OAKS DR BRISTOL, IL 60512-	THE WOODS OF BLACKBERRY OAKS	CS ENTERPRISE LANDSCAPE
3/9/2022	032022073	03 Accessory Buildings	06-09-400-005	BAISH EXCAVATING / DTG INVESTMENTS LLC 240E DRITTE ANGE	3485 ROUTE 126 OSWEGO, IL 60543-		BAISH EXCAVATING INC.
4/29/2022	032022107	03 Accessory Buildings	02-10-227-003	BRINEY GREGORY MICHAEL	67 W LARKSPUR LN BRISTOL, IL 60512-	WILLOWBROOK UNIT 3	COACH HOUSE GARAGES
4/21/2022	032022131	03 Accessory Buildings	01-28-252-003	NILES JEFFREY R & TRACEY J	216 KINSEL ST PLANO, IL 60545-	OWNERS RSUB PT NW 1/4 SEC 27 & PT NE 1/4 SEC 28-37-6	
3/9/2022	032022071	03 Accessory Buildings	06-09-400-005	BAISH EXCAVATING/DTG INVESTMENTS LLC 02-10-227-003	3485 ROUTE 126 OSWEGO, IL 60543-		BAISH EXCAVATING INC.
4/29/2022	032022142	03 Accessory Buildings	02-10-227-003	BRINEY GREGORY MICHAEL	67 W LARKSPUR LN BRISTOL, IL 60512-	WILLOWBROOK UNIT 3	COACH HOUSE GARAGES



## Permit Approval Date Report

### Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
4/22/2022	032022136	03 Accessory Buildings	01-16-127-006	LIGHT ERIC & LAURA	15540 MILLER RD PLANO, IL 60545-	GIFFORDS SHADY OAK FIRST ADDN SUB	BOB LEE
2/9/2022	042022029	04 Additions	06-02-177-003	ROSIER CHRISTOPHER A & NIVEDA NICOLEA	7 CHEROKEE DR OSWEGO, IL 60543-	ROSEHILL	WEDGEWOOD CONSTRUCTION
4/20/2022	042022126	04 Additions	05-02-128-005	BRUMMEL KENNETH JR & NATALIE A	6143 SAVANNA CT YORKVILLE, IL 60560-		
4/29/2022	042022141	04 Additions	01-16-401-005	GUZMAN JOSE L & ADRIANA TR	83 S LINDEN DR PLANO, IL 60545-	MEYERBROOK UNIT 6	RELIABLE HOME IMPROVEMENT
4/5/2022	042022113	04 Additions	06-06-450-005	TRINER ANTHONY E JR & ASHLEY M	5529 WHITETAIL RIDGE DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	MEDOWS CONSTRUCTION INC.
3/16/2022	042022082	04 Additions	06-29-100-004	LEEDY MILTON H	4932 WALKER RD YORKVILLE, IL 60560-		
2/15/2022	042022046	04 Additions	03-32-133-001	STAUFFER PAUL & STACEY	5400 HALF ROUND RD OSWEGO, IL 60543-	OLD RESERVATION HILLS UNIT 1	CLEAN EDGE CONSTRUCTION
2/18/2022	052022052	05 Remodeling	03-07-253-009	SANTELLANES BRENDA IVETTE	113 KEVIN LN OSWEGO, IL 60543-	SHORE HEIGHTS UNIT 2	RITeway HOME REMODELING
1/13/2022	052022032	05 Remodeling	02-28-453-017	GENTILE FRANK D & JENNIFER	606 WACKER DR YORKVILLE, IL 60560-	WACKERLIN SUB	
4/27/2022	052022138	05 Remodeling	01-16-427-009	KANTOR MATTHEW E & AUDRA MAE	40 MEYER RD PLANO, IL 60545-	MEYERBROOK UNIT 3	AM KITCHEN & BATH
3/16/2022	052022083	05 Remodeling	03-07-279-001	LIGHT ROAD APARTMENTS LLC	1100-1800 LIGHT RD OSWEGO, IL 60543-		ARTIST TOUCH INC

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**Kendall County**

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
2/18/2022	052022053	05 Remodeling	07-16-400-006	BUDRECK ELIZABETH E	14560 TOWNHOUSE RD NEWARK, IL 60541-		
3/23/2022	052022086	05 Remodeling	02-15-176-001	BRISTOL PARK PROPERTIES LLC	43 OAK ST BRISTOL, IL 60512-		DOCK AND DOOR NATIONAL
3/30/2022	052022106	05 Remodeling	03-18-451-002	LMFAO LLC	5462 ROUTE 34 OSWEGO, IL 60543-		AMENITY ROOFING, SIDING & GUTTERS, LLC
3/2/2022	052022059	05 Remodeling	08-09-200-003	LOOS KENNETH & DENGES LAURA	9396 PLATTVILLE RD NEWARK, IL 60541-		
3/30/2022	052022098	05 Remodeling	07-06-300-004	KULBARTZ NICHOLAS & NICOLE	17574 ROUTE 71 NEWARK, IL 60541-		WILLMAN & GROESCH GC
4/29/2022	062022145	06 Commercial - M Zone	03-07-227-002	UTILITY DYNAMICS CORPORATION	5327 LIGHT RD. OSWEGO, IL. 60543		CLEARY BUILDING CORP.
3/23/2022	062022054	06 Commercial - M Zone	01-01-200-002	TMF MANAGEMENT LLC	12127 B GALENA RD PLANO, IL 60545-		SAME
4/19/2022	062021153	06 Commercial - M Zone	03-28-100-004	THE PET'S HOME % GAY JOHN & LAURA	3587 PLAINFIELD RD OSWEGO, IL 60543-		LINDBLAD CONSTRUCTION
3/30/2022	082022095	08 Barns/Farm Buildings	07-29-400-011	LAESCH JAMES H & LAURA J	16640 STEPHENS RD NEWARK, IL 60541-		
2/24/2022	082022051	08 Barns/Farm Buildings	07-34-400-004	INGRAM CHRISTOPHER	14040 HILL RD NEWARK, IL 60541-		
2/28/2022	082022037	08 Barns/Farm Buildings	09-09-300-009	PADILLA JOSE L	13916 MCKANNA RD. MINOOKA, IL. 60447		

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### Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
3/30/2022	082022097	08 Barns/Farm Buildings	04-08-400-011	LEITNER BRYAN SR & SHAUNA	16154 ROGERS RD NEWARK, IL 60541-		
3/29/2022	082022079	08 Barns/Farm Buildings	09-23-300-021	JAMES AND CAROL FLEMING	15611 HARE ROAD MINOOKA, IL 60447		
4/19/2022	082022129	08 Barns/Farm Buildings	09-14-300-001	RCUBE FARMS LLC. RIVAZ HAMEED	1910 ROUTE 52 MINOOKA, IL 60447-		
4/19/2022	082022130	08 Barns/Farm Buildings	09-14-300-001	RCUBE FARMS, LLC. RIVAZ HAMEED	1910 ROUTE 52 MINOOKA, IL 60447-		
3/30/2022	082022096	08 Barns/Farm Buildings	04-08-400-011	LEITNER BRYAN SR & SHAUNA	16154 ROGERS RD NEWARK, IL 60541-		
4/21/2022	122022119	12 Swimming Pools	05-02-102-013	BLOMBERG JOSHUA J & MEGAN L	361 EMILY CT YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 1	
4/5/2022	122022114	12 Swimming Pools	06-05-404-003	MADDAI JAMES & KRISTAL L	6526 HENNEBERRY PKWY OSWEGO, IL 60543-	HENNEBERRY WOODS UNIT 2	SIGNATURE POOLS & SPAS INC.
3/1/2022	122022061	12 Swimming Pools	06-05-300-011	BAILEY FAMILY TRUST	4811 CHERRY RD OSWEGO, IL 60543-	HENNEBERRY WOODS UNIT 4	DUTCH BARN LANDSCAPING
2/28/2022	122022056	12 Swimming Pools	04-16-377-014	MAILLOUX BRAD & PAM	8840 WILCOX CT MILLBROOK, IL 60536-	ESTATES OF MILLBROOK UNIT 1	
2/9/2022	122022045	12 Swimming Pools	06-07-226-022	FRANCESCO NI MICHAEL & KARA	7503 FAIRWAY DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	SUNSET POOLS AND SPAS
3/31/2022	122022111	12 Swimming Pools	05-18-229-004	WILLMAN JASON P & HEATHER B	10974 TANGLEWOOD TRAILS DR YORKVILLE, IL 60560-	TANGLEWOOD TRAILS	SAME

**Permit Approval Date Report**  
**Kendall County**

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
4/14/2022	122022100	12 Swimming Pools	05-07-101-003	DEMPSEY TODD A & LISA D	16 HILLVIEW CT YORKVILLE, IL 60560-	PAVILLION HEIGHTS UNIT 3	
3/30/2022	122022099	12 Swimming Pools	01-25-454-006	STONE MARIA T & DANIEL R	12490 ANDREW ST PLANO, IL 60545-	SCHAEFER WOODS NORTH UNIT 3	AG POOL MASTERS LLC
3/29/2022	122022092	12 Swimming Pools	05-08-403-002	PEYTON BRYAN	12 RONHILL RD YORKVILLE, IL 60560-	RONHILL ESTATES	
4/27/2022	122022139	12 Swimming Pools	03-07-229-016	RENZETTI JOSEPH T III	6 DOLPHIN CT OSWEGO, IL 60543-	MARINA TERRACE	SAME
3/22/2022	122022087	12 Swimming Pools	06-02-177-002	RENDINA BRUNO & LAURAL	103 OSWEGO PLAINS DR OSWEGO, IL 60543-	OSWEGO PLAINS	
4/19/2022	122022124	12 Swimming Pools	01-35-201-004	PORTER JAMES & KATHY	13410 C HALE RD PLANO, IL 60545-		
4/19/2022	122022123	12 Swimming Pools	06-06-226-017	PLYWACZYNSKI JODY M	15 IROQUOIS CT OSWEGO, IL 60543-	NA-AU-SAY WOODS UNIT 2	
3/15/2022	122022077	12 Swimming Pools	05-08-352-006	HAGOS YONAS A & KRISTEN A	7912 TANGLEWOOD TRAILS DR YORKVILLE, IL 60560-	TANGLEWOOD TRAILS	
4/19/2022	132022122	13 Decks	02-34-472-001	SMITH THOMAS	8102 SHADOW CREEK LN YORKVILLE, IL 60560-	SHADOW CREEK SUB	UPPERDECK DESIGN AND CONSTRUCTION
4/12/2022	132022093	13 Decks	02-14-428-007	HOFMEISTER THEODORE K JR	57 E RICKARD DR OSWEGO, IL 60543-		UPPERDECK DESIGN CONSTRUCTION
3/1/2022	132022058	13 Decks	02-35-431-005	BRENART HEATHER & ROBERT F	5671 SCHMIDT LN YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 4	CHRIS BOURQUE

**Permit Approval Date Report**  
**Kendall County**

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
3/15/2022	132022080	13 Decks	06-07-130-003	BULLINGTON AUSTIN J & LINDSEY N	7136 IRONWOOD CT YORKVILLE, IL 60560-	WHITETAIL RIDGE	TOM RODNEY-RODNEY BUILDERS
3/8/2022	132022068	13 Decks	03-12-100-013	MARTINEZ JOSE A & SILVIA			HOMEOWNER
1/18/2022	132022034	13 Decks	04-21-125-014	KRISTIANSON NEIL A & JENNINE F	9175 N STONEWALL DR NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 2	HURSTHOUSE, INC.
3/22/2022	142022090	14 Demolitions	03-12-251-001	KST EXPRESS LTD	1214 ROUTE 30 AURORA, IL 60503-		
3/7/2022	142022065	14 Demolitions	02-34-151-003	MEYER DETRAK	90 QUINSEY RD YORKVILLE, IL 60560-	QUINSEY SUB	
4/29/2022	142022146	14 Demolitions	06-09-400-005	DTG INVESTMENTS LLC 3485 ROUTE 126	3485 ROUTE 126 OSWEGO, IL 60543-		
2/4/2022	152022044	15 Electrical Upgrades	03-04-306-016	ROBLES, RAFAEL	81 CIRCLE DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 5	INDEPENDENCE RENEWABLE ENERGY
1/18/2022	152022035	15 Electrical Upgrades	03-05-278-023	POWELL FRANCINE & EDMONDS ANTHONY N	7 KNOLLWOOD DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 3	KG BUILDERS
3/9/2022	172022066	17 Change in Occupancy	03-05-401-003	AHMAD, DAANYAAL / BOULDER HILL PROP	83 BOULDER HILL PASS MONTGOMERY, IL 60538-		
2/9/2022	172022038	17 Change in Occupancy	01-19-200-009	RAMIREZ JORGE & RY PROPERTY	17660 SEDGEWICK RD SANDWICH, IL 60548-		
1/4/2022	172022025	17 Change in Occupancy	03-06-200-012	325 SOUTH ROUTE 31 LLC	275 ROUTE 31 OSWEGO, IL 60543-		THE BOLDT COMPANY

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1/4/2022	172022024	17 Change in Occupancy	03-06-200-012	325 SOUTH ROUTE 31 LLC	275 ROUTE 31 OSWEGO, IL 60543-		TSA PROCESSING CHICAGO, INC.
1/4/2022	172022023	17 Change in Occupancy	03-06-200-012	325 SOUTH ROUTE 31 LLC	275 ROUTE 31 OSWEGO, IL 60543-		UNITED GROUP LOGISTICS, INC. UGL
4/12/2022	182022118	18 Driveway	03-16-176-004	SMITH NATHAN	3725 WOLF RD OSWEGO, IL 60543-		
3/30/2022	182022110	18 Driveway	09-14-300-001	RCUBE FARMS, LLC	1910 ROUTE 52 MINOOKA, IL 60447-		
4/4/2022	182022105	18 Driveway	08-02-300-012	GUTIERREZ LORENA & JOSE DE JESUS & ANA MARIA DE JESUS	12830 ASHLEY RD NEWARK, IL 60541-		JESUS GUTIERREZ
4/19/2022	202022120	20 Patio	03-05-276-006	GONZALEZ GUSTAVO & ADRIANA	38 N BEREMAN RD MONTGOMERY, IL 60538-		ALEJANDRO HERNANDEZ
3/23/2022	202022088	20 Patio	03-07-252-012	JVE HOMES LLC	120 AUGUSTA RD OSWEGO, IL 60543-		SHORE HEIGHTS UNIT 1
3/15/2022	232022081	23 Generator	02-27-153-007	BOTCHEV MIROSLAV I & BORISLAVOVA LIDIA	4416 TUMA RD YORKVILLE, IL 60560-		BAKER ELECTRIC
3/10/2022	232022076	23 Generator	05-12-220-004	FERRI JOHN & LUZ	6349 VALLEYVIEW CT YORKVILLE, IL 60560-		LEE LEGLER CONSTRUCTION AND ELECTRICAL
3/10/2022	232022075	23 Generator	06-07-130-005	CARSON BRIAN K & ANNETTE M	5836 WHITETAIL RIDGE DR YORKVILLE, IL 60560-		LEE LEGLER CONSTRUCTION AND ELECTRICAL
3/10/2022	232022074	23 Generator	06-07-375-006	KRAMER CHRISTINE M	5725 WATERS EDGE CT YORKVILLE, IL 60560-		LEE LEGLER CONSTRUCTION AND ELECTRICAL

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1/27/2022	232022039	23 Generator	04-02-230-002	MOUIS KEITH F & JESSICA A	6160 RED GATE LN YORKVILLE, IL 60560-	THE WOODS OF SILVER SPRINGS PHASE 2	LEE LEGLER CONSTRUCTION AND INSTALLATION
2/9/2022	242022047	24 Solar	05-18-153-001	MCCUSKER MICHAEL J & PAMELAK	64 COTSWOLD DR YORKVILLE, IL 60560-	COTSWOLD FEN PUD PHASE 4	SUNRUN INSTALLATION
2/4/2022	242022043	24 Solar	02-24-300-021	PARKHURST GERALD	6809 A ROUTE 71 YORKVILLE, IL 60560-		POWER HOME SOLAR LLC
1/13/2022	242022031	24 Solar	03-05-404-033	MENDELL GERALD A & WINIFRED	17 GREENFIELD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 6	BRIGHT PLANET SOLAR - JULIA CARTER
1/4/2022	242022028	24 Solar	01-26-300-005	SANDOVAL JONHATAN J SAAVEDRA & RUIZ MARIA VERA ACOSTA	13871 HALE RD PLANO, IL 60545-		BRIGHT PLANET SOLAR
1/4/2022	242022026	24 Solar	06-05-402-012	THOMAS KURIAN E & CHEYENNE F CASSIDY	4122 STEAM MILL CT OSWEGO, IL 60543-		SUNRUN INSTALLATION
4/29/2022	242022143	24 Solar	03-08-226-028	WILSON JOHNNY R	43 CODORUS RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 14	SUNRUN INSTALLTION SERVICES INC.
4/20/2022	242022135	24 Solar	02-34-178-001	HARRIS KARI	8520 VAN EMMON RD YORKVILLE, IL 60560-		MODERM MILL LLC - MARK BROUGH
2/3/2022	242022042	24 Solar	09-15-400-010	HUERTA HERIBERTO & ISRAEL	14776 JUGHANDLE RD MINOOKA, IL 60447-		SUNRUN INSTALLATION
4/20/2022	242022134	24 Solar	03-12-204-004	LIPPOLD CURTIS	22 GASTVILLE ST AURORA, IL 60503-	GASTVILLE	SUNPOWER CORP.
2/3/2022	242022041	24 Solar	02-11-176-008	BAYER CHRISTOPHER A & MALDONADO ANDRIANA	7617 GALENA RD BRISTOL, IL 60512-	WILLOWBROOK UNIT 1	SUNRUN INSTALLATION

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2/3/2022	242022040	24 Solar	07-34-100-009	CARLSON JASON D & ERICA	14908 WHITEWILLOW RD NEWARK, IL 60541-		SOLAR POWER MIDWEST
1/20/2022	242022036	24 Solar	03-08-253-005	GONZALEZ JOSE	6 ASHLAWN AVE MONTGOMERY, IL 60538-	BOULDER HILL UNIT 17	BRIGHT PLANET SOLAR
1/13/2022	242022033	24 Solar	08-28-400-005	FRIESTAD SCOTT & KRISTIN	16950 QUARRY RD MORRIS, IL 60450-		SOLAR POWER MIDWEST
4/20/2022	242022133	24 Solar	03-05-453-024	GILBERT MAXWELL	17 SCARSDALE RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 7	BRIGHT PLANET SOLAR
4/20/2022	242022125	24 Solar	03-09-105-003	NUNEZ GUMESINDO JR & DIANA L	116 CIRCLE DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 25	SUNRUN INSTALLATION
4/12/2022	242022117	24 Solar	03-09-151-015	LAMPHERE RICHARD W & PEGGY	47 FIELDPOINT RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 25	BRIGHT PLANET SOLAR - WANDA HARRIS
4/12/2022	242022116	24 Solar	02-23-153-002	HOULE ANTHONY W & LAURAM	44 PARKWAY DR YORKVILLE, IL 60560-	RIVER RIDGE UNIT 3	SUNPOWER CORP.
4/12/2022	242022115	24 Solar	02-34-202-001	ANDERSON MICHAEL D & ERIN L	132 RIVERSIDE DR YORKVILLE, IL 60560-	FOX RIVER WOODLANDS	SIGE ELECTRIC LLC
3/31/2022	242022112	24 Solar	02-34-202-002	ANDERSON MICHAEL & CUNNINGHAM TLUCCAG A	134 RIVERSIDE DR YORKVILLE, IL 60560-	FOX RIVER WOODLANDS	SIGE ELECTRIC LLC
3/22/2022	242022089	24 Solar	03-08-280-027	GIOVANNONI MATTHEW & GARNER CAVAANTILIA	3 FIELDCREST DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 17	SUNRUN INSTALLATION
3/9/2022	242022070	24 Solar	03-04-303-007	CAZARES ELODIA	40 CIRCLE DRE MONTGOMERY, IL 60538-	BOULDER HILL UNIT 5	SUNRUN INSTALLATION



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2/24/2022	242022057	24 Solar	03-08-304-004	SCHRAMEER HERBERT JOHN	1540 ROUTE 31 OSWEGO, IL 60543-60543-	HEADLINE VILLA SUB	HEADLINE SOLAR LLC
2/24/2022	242022055	24 Solar	06-02-300-018	MARTINEZ ANDRES	1585 JOHNSON RD OSWEGO, IL 60543-		SUNPOWER CORP.
2/16/2022	242022050	24 Solar	02-28-401-002	NUNEZ GERARDO	901 MCHUGH RD YORKVILLE, IL 60560-	GUTHRIE SUB	SUNRUN INSTALLATION
2/18/2022	242022049	24 Solar	09-16-200-018	DELANEY MARTHA ANN & RUDDICK DEVIN	13990 MCKANNA RD MINOOKA, IL 60447-		SUN BADGER SOLAR

**PLANNING BUILDING & ZONING RECEIPTS 2022**

DATE	BUILDING FEES	ZONING FEES	LAND-CASH	OFFSITE ROADWAY	MONTHLY FY 22	TOTAL FY 22	MONTHLY FY 21	TOTAL FY 21
December	\$12,456.20	\$3,789.00	\$12,877.04	\$3,000.00	\$32,122.24	\$32,122.24	\$8,380.10	\$8,380.10
January	\$5,238.40	\$600.00	\$4,805.78	\$1,000.00	\$11,644.18	\$43,766.42	\$15,150.19	\$23,530.29
February	\$5,245.20	\$0.00	\$2,188.27	\$0.00	\$7,433.47	\$51,199.89	\$17,144.89	\$40,675.18
March	\$14,568.84	\$516.00	\$13,209.46	\$2,000.00	\$30,294.30	\$81,494.19	\$36,607.37	\$77,282.55
April	\$13,386.56	\$1,138.00	\$2,013.82	\$0.00	\$16,538.38	\$98,032.57	\$21,718.13	\$99,000.68
May					\$0.00		\$23,617.81	\$122,618.49
June					\$0.00		\$42,987.55	\$165,606.04
July					\$0.00		\$10,495.24	\$176,101.28
August					\$0.00		\$17,777.87	\$193,879.15
September					\$0.00		\$15,109.78	\$208,988.93
October					\$0.00		\$38,827.30	\$247,816.23
November					\$0.00		\$46,125.36	\$293,941.59
<b>YR END TOTAL</b>	<b>\$50,895.20</b>	<b>\$6,043.00</b>	<b>\$35,094.37</b>	<b>\$6,000.00</b>	<b>\$98,032.57</b>			