



**KENDALL COUNTY  
ZONING BOARD OF APPEALS  
PUBLIC HEARING/MEETING**

111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560  
(630) 553-4141 Fax (630) 553-4179

**AGENDA**

May 31, 2022 – 7:00 p.m.

**CALL TO ORDER – ZONING BOARD OF APPEALS**

ROLL CALL for the Zoning Board of Appeals: Randy Mohr (Chair); Scott Cherry, Cliff Fox, Tom LeCuyer, Dick Thompson, Anne Vickery, and Dick Whitfield

MINUTES: Approval of Minutes from the May 2, 2022, Zoning Board of Appeals Hearing/Meeting (Pages 2-13)

**PETITIONS:**

1. **Petition 22 – 01 – Jose and Silvia Martinez (Pages 14-16)**  
Request: Special Use Permit for a Landscaping Business, Variance to Section 7:01.D.30.b to Allow a Landscaping Business a Non-State, County, or Collector Highway as Defined by the Kendall County Land Resource Management Plan, and Variance to Section 11:02.F.7.b of the Kendall County Zoning Ordinance to Allow a Driveway Zero Feet from the Southern Property Line  
PINs: 03-12-100-004 and 03-12-100-013  
Location: 1038 Harvey Road, Oswego Township  
Purpose: Petitioner Wants to Operate a Landscaping Business at the Subject Property; Property is Zoned A-1
2. **Petition 22 – 10 – Mark Fecht on Behalf of Fecht Brothers, Inc. (Property Owner) and Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC (Contract Purchaser) (Pages 17-174)**  
Request: Special Use Permit for a Landscaping Business  
PINs: 09-15-200-003  
Location: North Side of Route 52 Across from 2190 and 2200 Route 52, Minooka in Seward Township  
Purpose: Petitioners Want to Operate a Tree Service and Landscaping Business at the Property; Property is Zoned A-1

**NEW BUSINESS/ OLD BUSINESS**

1. Recommendation on a Proposal from Teska Associates, Inc. to Update the Kendall County Land Resource Management Plan in Its Entirety (Pages 175-178)
2. Discussion of Oswego Township Junk and Debris Ordinance and Recreational Vehicle and Trailer Parking Ordinance (Pages 179-192)

**REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD**

1. Petition 22-09 Future Land Use Map Amendment Near 12565 Fox Road in Fox Township

**PUBLIC COMMENT:**

**ADJOURN ZONING BOARD OF APPEALS-** Next hearing/meeting on June 27, 2022

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.



**MINUTES – UNOFFICIAL UNTIL APPROVED**  
**KENDALL COUNTY**  
**ZONING BOARD OF APPEALS MEETING**  
111 WEST FOX STREET, COUNTY BOARD ROOM (ROOMS 209 and 210)  
YORKVILLE, IL 60560  
**May 2, 2022 – 7:00 p.m.**

**CALL TO ORDER**

Vice-Chairman Tom LeCuyer called the Zoning Board of Appeals meeting to order at 7:05 p.m.

**ROLL CALL:**

Members Present: Scott Cherry, Cliff Fox, Tom LeCuyer, Dick Thompson, Anne Vickery, and Dick Whitfield

Members Absent: Randy Mohr

Staff Present: Matthew Asselmeier, AICP, CFM, Senior Planner

Others Present: Dan Kramer and Dustin Walzer

**MINUTES:**

Member Vickery made a motion, seconded by Member Cherry, to approve the minutes of the March 28, 2022, hearing/meeting.

With a voice vote of six (6) ayes, the motion carried.

**PETITIONS**

The Zoning Board of Appeals started their review of Petition 21-49 at 7:06 p.m.

**Petition 21 – 49 – Irma Loya Quezada**

Request: Map Amendment Rezoning the Subject Property from A-1 Agricultural District to R-1 One Family Residential District  
PINs: 09-18-300-018 (Part) and 09-18-300-019 (Part)  
Location: On the East Side of Brisbin Road Across from 14859 and 14975 Brisbin Road, Seward Township  
Purpose: Petitioner Wants to Rezone the Property in Order to Divide the Property and Construct Two Homes

Mr. Asselmeier summarized the request.

The Petitioner is requesting a map amendment rezoning two (2) approximately three point two-four (3.24) acre parcels from A-1 Agricultural District to R-1 One Family Residential District in order to construct one (1) house on each parcel.

The Petitioner plans to use Plat Act exemptions to divide the subject areas proposed for rezoning from the larger parcels.



The agricultural building permits for the parcels were used in 2003 and 2004. The only way houses can be constructed on the subject parcels is by obtaining the requested map amendment.

The application materials, plat of survey and aerial of the property were provided.

On December 4, 2021, five (5) neighbors submitted a written objection to the map amendment. These objections were provided. On January 24, 2022, one (1) additional neighbor submitted an objection. This objection was provided.

On December 7, 2021, the Petitioner's Attorney submitted a request to continue the Petition from the December Kendall County Regional Planning Commission meeting and Kendall County Zoning Board of Appeals hearing. This email was provided.

The properties are on the east side of Brisbin Road across from 14859 and 14975 Brisbin Road.

The current land use is Agricultural.

The future land use is Rural Estate Residential (Max 0.45 Du/Acre).

Brisbin Road is a Township Maintained Major Collector. There are no trails planned in the area.

There were no floodplains or wetlands on the property.

The adjacent land uses were Agricultural, Farmstead, and Hogan's Market.

The adjacent properties and properties within one half (1/2) of a mile were zoned A-1 and A-1 SU.

The Kendall County Future Land Use Map called for the to be Rural Estate Residential. The Plattville Future Land Use Map called for the property to the north of the subject property to be Low Density Residential.

The A-1 special use to the west is for the sale of agricultural products, art, pottery, and home décor not produced on the premises (Hogan's Market).

EcoCat submitted on November 11, 2021, and consultation was terminated.

NRI application submitted on October 18, 2021. The draft LESA Score was 199 indicating a low level of protection.

Seward Township was emailed information on November 16, 2021. The Seward Township Planning Commission reviewed this proposal on December 7, 2021. Discussion occurred regarding the Land Resource Management Plan in relation to Seward Township and protecting farmland. Discussion also occurred regarding drainage and illegal dumping on the property. The Seward Township Planning Commission issued a negative recommendation by a vote of four (4) against the proposal and zero (0) in favor of the proposal with one (1) member absent. The minutes were provided. On December 27, 2021, the Petitioner's Attorney submitted a response to the actions of the Seward Township Planning Commission; this letter was provided. On January 11, 2022, the Seward Township Board voted to



submit a formal objection to the map amendment. Per State law, the objection must be submitted within thirty (30) days after the zoning hearing; Staff anticipates the objection will be filed in February 2022. The objection will require a positive vote of at least eight (8) County Board members in order to approve the requested map amendment.

The Village of Plattville was emailed information on December 16, 2021. No comments received.

The Lisbon-Seward Fire Protection District was emailed information on November 16, 2021. No comments received.

ZPAC reviewed this proposal at their meeting on December 7, 2021. The Petitioner's Attorney indicated the Petitioner only wanted to build two (2) houses at this time. The Highway Department requested a voluntary right-of-way dedication; the Petitioner's Attorney was agreeable to the request. ZPAC recommended approval of the requested map amendment by a vote of eight (8) in favor and zero (0) in opposition with two (2) members absent. The minutes of the meeting were provided.

The Kendall County Regional Planning Commission did not have quorum for their meeting on January 26, 2022. The Kendall County Regional Planning Commission reviewed the proposal at their meeting on April 27, 2022. Member Wilson asked why the Petitioners were rezoning only the center portion of the lot and leaving a U-shaped area zoned A-1. The Petitioners, responded that the proposed rezoned portions of the property were the best locations for houses because of drainage, per the engineer, Phil Young, that examined the property. They said the second home would be for their son. They will lease the land to farm and they also plan to have horses on the property. Dan Kramer, Attorney for the Petitioner, explained that the Petitioner still desired to farm a portion of the property. No other business would be run at the property; no landscaping business has been run at the property and no construction or landscaping debris has been placed on the property. The request is consistent with the County's Land Resource Management Plan; Mr. Kramer noted that Seward Township allowed similar rezoning requests recently. He felt that some of the objectors had an implicit bias against the Petitioner. He hoped Seward Township would follow the proper procedures regarding updating a comprehensive plan. Mr. Kramer discussed the LaSalle Factors. He also discussed the *Village of Richton Park v. Sinclair Pipeline* case. He felt the proposed use would be consistent with the neighboring uses because other single-family homes on similar sized lots are located in the area. Donald and Jo Beth Larkin expressed concerns about drainage, potential damage to field tile, and the construction of more homes on smaller parcels in the area. A drain tile survey will be required in order to build a house; the owners have to repair damaged tile by law. Also, a homeowner would not want broken tile on their property because the water would damage their house. Drainage Law is enforced civilly in Illinois. The property is not in a federal designated floodplain. The Larkins were encouraged to work with the Petitioners to maintain the tile; this will be an opportunity to locate and examine the tile. Tim O'Brien, Seward Township Supervisor, explained that the Seward Township Planning Commission was concerned about water issues. The Kendall County Regional Planning Commission recommended approval of the request by a vote of eight (8) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting were provided.



The Kendall County Zoning Board of Appeals started a public hearing on this proposal on December 13, 2021. At the Petitioner's request the hearing was continued to January 31, 2022. The hearing was continued again to February 28, 2022. The minutes of the December 13, 2021, meeting were provided. The minutes of the January 31, 2022, meeting were provided. On February 14, 2022, the Petitioner's Attorney submitted a request that the hearing be continued to May 2, 2022. This email was provided. The minutes of the February 28, 2022, hearing were provided.

The Petitioner desires to rezone the subject property in order to build one (1) house on each of the two (2) new parcels created for a total of two (2) new houses.

Any new homes or accessory structures would be required to meet applicable building codes.

No public or private utilities are onsite.

The property fronts Brisbin Road. Staff has no concerns regarding the ability of Brisbin Road to support the proposed map amendment.

Any new driveways constructed would be for residential purposes. Any new driveways would have to meet applicable regulations and secure proper permits.

No new odors were foreseen.

Any new lighting would be for residential use only.

Any fencing, landscaping, or screening would be for residential purposes.

Any signage would be residential in nature.

No noise was anticipated.

Any new homes would have to be constructed per Kendall County's Stormwater Management Ordinance.

The proposed Findings of Fact were as follows:

Existing uses of property within the general area of the property in question. The surrounding properties are used for agricultural purposes or larger lot single-family residential uses.

The Zoning classification of property within the general area of the property in question. The surrounding properties are zoned A-1 or A-1 SU for the sale of agricultural products, art, pottery, and home décor not produced on the premises.

The suitability of the property in question for the uses permitted under the existing zoning classification. The property is presently zoned A-1. The agricultural housing allocations for the subject property have already been used and no new single-family homes can be constructed on the subject property without a map amendment.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed



amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is a mix of agricultural and single-family residential uses found in rural settings.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The Future Land Use Map in the Land Resource Management Plan classifies this property as Rural Estate Residential. The R-1 One Family Residential District is consistent with the Rural Estate Residential classification.

Staff recommended approval of the proposed map amendment because the proposal is consistent with the Land Resource Management Plan.

Member Vickery said the Township was not bias against the Petitioner. She was upset about the messes and illegal businesses in the Township.

Member Vickery made a motion, seconded by Member Cherry, to approve the request.

Vice-Chairman LeCuyer swore in Dan Kramer.

Vice-Chairman LeCuyer opened the public hearing at 7:14.

Dan Kramer, Attorney for the Petitioner, said that he did not accuse anyone associated with the Seward Township Planning Commission or the Seward Township Board of implied bias. He stated that the circulated objection letters had implied bias. The Petitioners had run a landscaping business. He noted that Fran Klaas asked him about landscaping material, but these materials were located on a neighboring property to the north. He identified the parcels that the Petitioners own and the neighboring properties where landscaping debris was dumped. He also noted the proposed rezoned areas were the best places to construct houses on the parcels because of drainage. Twelve to thirteen (12-13) acres will remain in crops.

Member Vickery said that the Seward Township Planning Commission was under the impression that the two (2) twenty (20) acre parcels would each have a housing permit and not that the twenty (20) acres would be split into two (2). Mr. Kramer agreed with Member Vickery.

Mr. Kramer said Tim O'Brien, Seward Township Supervisor, told him that neighbors were concerned about drainage. Mr. Kramer said the drain tile would be located and the home would not be near the tile.

Member Fox asked who was responsible for finding the tiles. Mr. Asselmeier said the property would have a footings inspection. At that time, the inspector would note if the tiles were impacted by the footings. Mr. Kramer said water would be in the hole if the tiles were damaged. Mr. Asselmeier said, in such a case, the house would have water problems.



Member Cherry asked why the rezoning was necessary. Mr. Asselmeier explained that the housing allocations for this farm were already used. Member Vickery provided a history of the sale of land in the area. The minimum lot size for R-1 is two point nine-nine (2.99) acres.

Member Vickery discussed the planning history of the area and noted that a neighboring property owner was advertising property for sale with the ability to construct a house. She also discussed the need for a moratorium to update the Seward Township Plan.

Mr. Kramer discussed the LaSalle factors and related court cases.

Vice-Chairman LeCuyer closed the public hearing at 7:28 p.m.

Member Whitfield made a motion, seconded by Member Thompson, to approve the Findings of Fact.

The votes were as follows:

Ayes (6):	Cherry, Fox, LeCuyer, Thompson, Vickery, and Whitfield
Nays (0):	None
Abstain (0):	None
Absent (1):	Mohr

The motion passed.

Member Vickery acknowledged that Seward Township could not stop this proposal because the moratorium was not in place and because of the LaSalle factors.

The votes were as follows on the original motion to recommend approval:

Ayes (6):	Cherry, Fox, LeCuyer, Thompson, Vickery, and Whitfield
Nays (0):	None
Abstain (0):	None
Absent (1):	Mohr

The motion passed.

Seward Township and the Village of Plattville will be notified of the results of the public hearing and will be given thirty (30) days to file their objection. The proposal will go to the Kendall County Planning, Building and Zoning Committee on Monday, June 13, 2022.

The Zoning Board of Appeals completed their review of Petition 21-49 at 7:31 p.m.

The Zoning Board of Appeals started their review of Petition 22-01 at 7:31 p.m.

**Petition 22 – 01 – Jose and Silvia Martinez**

Request: Special Use Permit for a Landscaping Business, Variance to Section 7:01.D.30.b to Allow a Landscaping Business a Non-State, County, or Collector Highway as Defined by the Kendall County Land Resource Management Plan, and Variance to Section 11:02.F.7.b of



the Kendall County Zoning Ordinance to Allow a Driveway Zero Feet from the Southern Property Line

PINs: 03-12-100-004 and 03-12-100-013

Location: 1038 Harvey Road, Oswego Township

Purpose: Petitioner Wants to Operate a Landscaping Business at the Subject Property; Property is Zoned A-1

Mr. Asselmeier reported that, at their meeting on April 27, 2022, the Kendall County Regional Planning Commission asked that the Petitioner submit an access permit to the Village of Oswego and related site plan. If the Petitioner submitted an access permit application and related site plan by May 18, 2022, the proposal would be on the Planning Commission's May 25, 2022 agenda. Staff requested the proposal to be continued until May 31, 2022.

Member Thompson made a motion, seconded by Member Fox, to continue the public hearing on this Petition. Without objection, the proposal was continued.

The proposal will be on the May 31, 2022, Zoning Board of Appeals agenda.

The Zoning Board of Appeals completed their review of Petition 22-01 at 7:33 p.m.

The Zoning Board of Appeals started their review of Petition 22-05 at 7:33 p.m.

#### **Petition 22 – 05 – Seward Township**

Request: Establishment of a Moratorium on the Acceptance and Processing of Applications for Map Amendments, New Special Use Permits and Variances within Seward Township for a Period of One Year

Purpose: Petitioner Wants a Pause on the Issuance of Map Amendments, New Special Use Permits, and Variances While the Township Prepares a Township Comprehensive Plan

Mr. Asselmeier read an email from Seward Township Supervisor Tim O'Brien requesting that the moratorium request be shortened to six (6) months and that the proposal be tabled until after the County Board decides on the updated Comprehensive Plan. The Kendall County Regional Planning Commission voted to table the proposal at their meeting on April 27, 2022. Staff requested that the hearing be tabled.

Member Vickery objected to the tabling the moratorium. She provided pictures of drainage and dumping in Seward Township. She discussed illegal businesses and lax code enforcement within Seward Township. She would like the proposal to be advanced to the County Board.

Vice-Chairman LeCuyer expressed his opposition to the moratorium. He said a moratorium would impact some property owners. He said a moratorium would not stop illegal activity.

Member Vickery discussed Seward Township's proposal to contribute money to have the County hire an additional part-time code enforcement official to do work in Seward Township.



Member Thompson did not think Seward Township was different than other townships. Member Vickery was concerned that regulations were not enforced. She wanted to stop new building, unless a property owner already had an allotment.

Vice-Chairman LeCuyer reconvened the public hearing at 7:41 p.m. and swore in Dustin Walzer.

Dustin Walzer expressed concerns about how the area was developing. He complained about improper disposal of farm waste. He discussed parties in the area. He was concerned about illegal dumping. Discussion occurred about recreational vehicle regulations. He was concerned about drainage. He was advised to contact the Kendall County Health Department regarding illegal dumping.

Member Whitfield asked how the violators are impacted by the moratorium. He discussed Chuck Sleezer's property in Millbrook. Violators should be held accountable, but the moratorium will not stop violators.

It was noted that Seward Township was the only township with access to an interstate.

Vice-Chairman LeCuyer recessed the public hearing at 7:53.

Mr. Asselmeier said the proposal was tabled at the Regional Planning Commission. He requested the item be continued until the Regional Planning Commission submitted a report.

Member Whitfield said that he opposed a moratorium because a moratorium is more government.

Discussion occurred regarding annexations in Seward Township.

Member Thompson questioned the need for a moratorium.

Member Whitfield made a motion, seconded by Member Thompson, to continue the public hearing until the Regional Planning Commission issues a recommendation.

The votes were as follows:

Ayes (6): Cherry, Fox, LeCuyer, Thompson, Vickery, and Whitfield

Nays (0): None

Abstain (0): None

Absent (1): Mohr

The motion passed.

The townships will be notified of that the proposal was tabled.

The proposal will go to the Kendall County Regional Planning Commission after Seward Township advises that they want the proposal to advance.

The Zoning Board of Appeals completed their review of Petition 22-05 at 8:04 p.m.

The Zoning Board of Appeals started their review of Petition 22-09 at 8:04 p.m.



**Petition 22 – 09 – Kendall County Regional Planning Commission**

Request: Amendments to the Future Land Use Map in the Kendall County Land Resource Management Plan by Reclassifying the Subject Properties from Rural Residential to Mixed Use Business

PINs: 04-02-400-002, 04-02-400-003, and 04-01-301-005 (South of the Railroad Tracks Only)

Location: North and Southwest of 12565 Fox Road in Fox Township

Purpose: Petitioner Wants to Expand the Mixed Use Business Area North to the Railroad Tracks

Mr. Asselmeier summarized the request.

In October 2020, the Kendall County Comprehensive Land Plan and Ordinance Committee initiated discussions regarding changing the Future Land Use Map for properties located along the Eldamain Road Corridor south of the Fox River, in light of the funding for the Eldamain Road Bridge and the abandonment of the centerline for the Prairie Parkway. In particular, the Committee discussed possible commercial and/or manufacturing investment in this area.

The Kendall County Future Land Use Map currently calls for this area to be Rural Residential (Max Density 0.65 DU/Acre) and Mixed Use Business. A copy of the existing Future Land Use Map was provided.

The Yorkville Future Land Use Map currently calls for this area to be Estate Residential. The Millbrook Future Land Use Map currently calls for this area to be Business Park Office and Commercial with Industrial near the former Prairie Parkway alignment. The Plano Future Land Use Map currently calls for the area in their planning jurisdiction to be Estate Residential (0-0.8 DU/Acre). Copies of all of the Future Land Use Maps for this area were provided.

Following meetings with property owners in the area in October and December 2021, the Committee decided to limit changes to three (3) properties along the railroad tracks west of Fox Road. Letters to impacted property owners were mailed in mid-December 2021, mid-February 2022, and mid-March 2022.

At their meeting on February 23, 2022, the Comprehensive Land and Ordinance Committee voted to forward the proposal to the Kendall County Regional Planning Commission.

At their meeting on March 24, 2022, the Kendall County Regional Planning Commission voted to initiate the amendment to the Future Land Use Map.

A copy of the updated map was provided.

Petition information will be sent to Fox Township, the Village of Millbrook, and the United City of Yorkville on March 29, 2022. Yorkville will be reviewing this proposal in May and June.

ZPAC reviewed the proposal at their meeting on April 5, 2022. Mr. Klaas felt that no commercial or industrial development would occur on the subject properties unless they were annexed into a municipality. Discussion also occurred regarding the boundary agreements of the municipalities in the area. ZPAC recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with four (4) members absent. The minutes of the meeting were provided.



The Kendall County Regional Planning Commission held a public hearing on this proposal on April 27, 2022. No members of the public testified at the public hearing. The Kendall County Regional Planning Commission recommended approval of the proposal by a vote of seven (7) in favor and zero (0) in opposition with two (2) members absent. The minutes of the hearing were provided.

The property owners have not expressed any strong opinion on the matter. It was noted that it would be easier to reclassify the land back to residential.

Member Fox made a motion, seconded by Member Whitfield, to recommend approval of the amendment to the Future Land Use Map.

The votes were as follows:

Ayes (6): Cherry, Fox, LeCuyer, Thompson, Vickery, and Whitfield  
Nays (0): None  
Abstain (0): None  
Absent (1): Mohr

The motion passed.

The proposal will go to the Kendall County Planning, Building and Zoning Committee on Monday, May 9, 2022.

The Zoning Board of Appeals completed their review of Petition 22-09 at 8:07 p.m.

#### **NEW BUSINESS/OLD BUSINESS**

None

#### **REVIEW OF PETITIONS THAT WENT TO THE COUNTY BOARD**

None

#### **PUBLIC COMMENTS**

Mr. Asselmeier reported that, for the May 31<sup>st</sup> hearing, there will be a Petition requesting a special use permit for a landscaping business on the north side of Route 52 west of Arbeiter Road in Seward Township.

Mr. Asselmeier also reported that he was recently elected President of the Illinois Association of County Zoning Officials.

Mr. Asselmeier also reported that Hide-A-Way Lakes was annexed in the Village of Oswego.

The County received a price quote from Teska Associates to update the Land Resource Management Plan. This will quote will be reviewed by the Regional Planning Commission at their May meeting.

#### **ADJOURNMENT OF THE ZONING BOARD OF APPEALS**

Member Whitfield made a motion, seconded by Member Thompson, to adjourn.

With a voice vote of six (6) ayes, the motion carried.



The Zoning Board of Appeals meeting adjourned at 8:12 p.m.

The next hearing/meeting will be on May 31, 2022.

Respectfully submitted by,  
Matthew H. Asselmeier, AICP, CFM  
Senior Planner

#### Exhibits

1. Memo on Petition 21-49 Dated April 28, 2022
2. Certificate of Publication and Certified Mail Receipts for Petition 21-49 (Not Included with Report but on file in Planning, Building and Zoning Office)
3. Memo on Petition 22-01 Dated April 28, 2022
4. Certificate of Publication and Certified Mail Receipts for Petition 22-01 (Not Included with Report but on file in Planning, Building and Zoning Office)
5. Memo on Petition 22-05 Dated April 28, 2022
6. Certificate of Publication for Petition 22-05 (Not Included with Report but on file in Planning, Building and Zoning Office)
7. Seward Township Pictures
8. Memo on Petition 22-09 Dated April 28, 2022
9. Certificate of Publication for Petition 22-09 (Not Included with Report but on file in Planning, Building and Zoning Office)



**KENDALL COUNTY  
ZONING BOARD OF APPEALS  
MAY 2, 2022**

In order to be allowed to present any testimony, make any comment, engage in cross-examination, or ask any question during this public hearing, you must enter your name, address, and signature on this form prior to the commencement of the public hearing. By signing this registration sheet, you agree that you understand that anything you say will be considered sworn testimony, and that you will tell the truth, the whole truth and nothing but the truth.

NAME	ADDRESS	SIGNATURE
Don Koon 21-49	[REDACTED]	[REDACTED]





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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

**MEMORANDUM**

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To: Kendall County Zoning Board of Appeals  
From: Matthew H. Asselmeier, AICP, CFM, Senior Planner  
Date: May 26, 2022  
Re: Petition 22-01 Request for a Special Use Permit and Variances for a Landscaping Business  
at 1038 Harvey Road in Oswego Township

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The Petitioners' Attorney submitted the attached email requesting the proposal be continued.

At their meeting on May 25, 2022, the Kendall County Regional Planning Commission, without objection continued the proposal.

Accordingly, Staff requests that the Kendall County Zoning Board of Appeals vote to continue the public hearing on this Petition.

If you have any questions regarding this memo, please let me know.

MHA

Enc.



## Matt Asselmeier

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**From:** judd lofchie [REDACTED]  
**Sent:** Wednesday, May 25, 2022 11:20 AM  
**To:** Matt Asselmeier  
**Cc:** Scott Koeppel; Scott Gengler; Faith D. Hook  
**Subject:** Re: FW: [External]Re: Curb cut

Great. Thanks Matt. Please let them know the only reason we did not resubmit, as I could not get that answer about paving or installing concrete for the entire gravel driveway. As you could see, it takes a lot of time to get answers from Oswego!

Judd

On Wed, May 25, 2022 at 11:10 AM Matt Asselmeier <[masselmeier@kendallcountyil.gov](mailto:masselmeier@kendallcountyil.gov)> wrote:

Judd:

I will notify the Regional Planning Commission that you would like the matter continued to next month.

The Regional Planning Commission meeting would be June 22<sup>nd</sup> and the Zoning Board hearing would be June 27<sup>th</sup>. Both start at 7:00 p.m.

Yes, the Petition can be amended to incorporate the new site plan.

Thanks,

Matthew H. Asselmeier, AICP, CFM

Senior Planner

Kendall County Planning, Building & Zoning

111 West Fox Street

Yorkville, IL 60560-1498

PH: 630-553-4139



## Matt Asselmeier

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**From:** judd lofchie [REDACTED]  
**Sent:** Wednesday, May 25, 2022 11:06 AM  
**To:** Matt Asselmeier  
**Subject:** Re: FW: [External]Re: Curb cut

Thanks. I did see that and have been on the phone with Mr. Martinez and working on a new drawing to relocate the driveway. We will resubmit this hopefully by Friday. So can you continue our hearing tonight as hopefully next month we will have the approval from Oswego. Also, since we are changing the drawing, can we just amend our petition?

On Wed, May 25, 2022 at 9:03 AM Matt Asselmeier <[masselmeier@kendallcountyil.gov](mailto:masselmeier@kendallcountyil.gov)> wrote:

FYI

Matthew H. Asselmeier, AICP, CFM

Senior Planner

Kendall County Planning, Building & Zoning

111 West Fox Street

Yorkville, IL 60560-1498

PH: 630-553-4139

Fax: 630-553-4179

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**From:** Jennifer Hughes <[JHughes@oswegoil.org](mailto:JHughes@oswegoil.org)>  
**Sent:** Wednesday, May 25, 2022 9:01 AM  
**To:** Matt Asselmeier <[masselmeier@kendallcountyil.gov](mailto:masselmeier@kendallcountyil.gov)>; Jay Hoover <[JHoover@oswegoil.org](mailto:JHoover@oswegoil.org)>  
**Cc:** Scott Koeppel <[skoeppel@kendallcountyil.gov](mailto:skoeppel@kendallcountyil.gov)>; Scott Gengler <[sgengler@kendallcountyil.gov](mailto:sgengler@kendallcountyil.gov)>; Rod Zenner <[RZenner@oswegoil.org](mailto:RZenner@oswegoil.org)>  
**Subject:** RE: [External]Re: Curb cut

Good morning,

That portion of the driveway within the right-of-way needs to be concrete per our commercial drive standard as the right-of-way at this property is within Oswego even though the property is not.





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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

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**Petition 22-10****Mark Fecht on Behalf of Fecht Brothers, Inc. and Jeremy and  
Samantha Dippold on Behalf of Best Budget Tree, LLC  
A-1 Special Use Permit for Landscaping Business****INTRODUCTION**

Best Budget Tree, LLC would like to purchase the subject property from Fecht Brothers Inc. in order to operate a tree and landscaping business at the property.

Best Budget Tree, LLC has been in existence for over ten (10) years.

The application materials are included as Attachment 1. The site plan is included as Attachment 2. The landscaping plan is included as Attachment 3. The stormwater plans are included as Attachment 4. The renderings of the proposed building are included as Attachment 5.

**SITE INFORMATION**

**PETITIONERS:** Mark Fecht on Behalf of Fecht Brothers, Inc. (Property Owner)  
Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC  
(Contract Purchaser)

**ADDRESS:** None Assigned (Across Route 52 from 2190 and 2200 Route 52, Minooka)

**LOCATION:** Approximately 0.1 Miles West of Arbeiter Road on the North Side of Route 52





TOWNSHIP: Seward

PARCEL #: 09-15-200-003

LOT SIZE: 48.3 +/- Acres

EXISTING LAND USE: Agricultural

ZONING: A-1

LRMP:	Future Land Use	Rural Residential (Max 0.65 DU/Acre) (County) Residential and Commercial (Shorewood)
	Roads	Route 52 is a State maintained Arterial.
	Trails	Joliet has a trail planned along Route 52, but Joliet does not want a right-of-way dedication at this time, see Attachment 6.
	Floodplain/ Wetlands	There are no floodplains on the property. There is a wetland near the northwest corner of the property.

REQUESTED ACTION: Special Use Permit for a Landscaping Business

APPLICABLE REGULATIONS: Section 7:01.D.30 – A-1 Special Uses  
Section 13:08 – Special Use Procedures

**SURROUNDING LAND USE**

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural	A-1	Rural Residential (Max 0.65 Du/Acre) (County)  Residential (Joliet)	A-1
South	Agricultural/Single-Family Residential	A-1	Rural Residential and Commercial (County)  Residential and Commercial (Shorewood)	A-1
East	Agricultural/Single Family-Residential	A-1 and R-3	Suburban Residential (Max 1.00 Du/Acre) (County)  Residential and Commercial (Shorewood)	A-1 and R-3



West	Agricultural	A-1	Rural Residential (County)  Residential (Shorewood)	A-1, A-1 SU, and R-1
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The A-1 special use permit to the west is for the sale of agricultural products not grown on the premises.

## **PHYSICAL DATA**

### **ENDANGERED SPECIES REPORT**

EcoCAT Report was submitted on April 15, 2022, and indicated the following protected resources:

Aux Sable Creek INAI Site  
Greater Redhorse (*Moxostoma valenciennesi*)

The Illinois Department of Conservation determined that negative impacts were unlikely and consultation was terminated on April 18, 2022, see Attachment 1, Pages 25-28.

### **NATURAL RESOURCES INVENTORY**

The application for NRI was submitted April 21, 2022, see Attachment 1, Page 30. The LESA Score was 210 indicating a medium level of protection. The NRI Report is included as Attachment 7.

## **ACTION SUMMARY**

### **SEWARD TOWNSHIP**

Petition information was sent to Seward Township on April 25, 2022. The Seward Township Planning Commission reviewed the proposal in May 2022. They expressed concerns about the location of lighting with respect to the adjacent homes. The Seward Township Planning Commission recommended approval of the request. An email to that effect is included as Attachment 8.

### **VILLAGE OF SHOREWOOD**

Petition information was sent to the Village of Shorewood on April 25, 2022. On May 4, 2022, the Village of Shorewood submitted an email saying they did not want to request a right-of-way dedication for a biking/walking trail. This email is included as Attachment 9.

### **MINOOKA FIRE PROTECTION DISTRICT**

Petition information was sent to the Minooka Fire Protection District on April 25, 2022. On May 5 and 6, 2022, the Minooka Fire Protection District submitted a letter and email requesting a fire alarm system that meets applicable codes, no smoking signs near the mulch pile, a dry fire hydrant, and signage properly marking the address of the property. The letter and email are included as Attachment 10. The Petitioners were agreeable to this request.

### **ZPAC**

The Kendall County ZPAC reviewed this Petition at their meeting on May 3, 2022. Mr. Klaas asked if the six inch (6") pipe shown on the plans went to Route 52. John Tebrugge, Petitioners' Engineer, said the pipe goes almost to Route 52. The Petitioners had not received final access approval from the Illinois Department of Transportation; they will not get final approval until they (the Dippolds) own the property. The Petitioners understood that any buildings constructed on the property would not be eligible for agricultural building permit exemptions. Based on the information provided, the well would not be a non-community well. The Petitioners were advised to design the septic system for maximum load. The Petitioners were advised to identify on the site plan where lights would be placed. The Petitioners had no plans to use the access off of Arbeiter Road. The land comes with building allocations. ZPAC recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with four (4) members absent. The minutes are included as Attachment 11.

### **RPC**

The Kendall County Regional Planning Commission reviewed this Petition at their meeting on May 25, 2022.



Chairman Ashton asked if the Minooka Fire Protection District wanted just an alarm system or if the request was to have the building sprinklered. Mr. Asselmeier responded just an alarm system.

Member Wilson asked how the Petitioners were going to manage the mulch pile and if mulch would be sold. Jeremy Dippold, Petitioner, said the mulch would be installed on off-site locations. They would have several small piles. The maximum height of the mulch piles would be twelve feet (12') because of the company's equipment.

Member Casey asked where the business was currently located. Mr. Dippold responded Renwick Road and Interstate 55. Mr. Dippold said the proposed location would look better than the existing location because no inside storage exists at their current location.

Member Casey asked about possible expansion. Mr. Asselmeier said, if the Petitioners expanded into the farmland beyond the area identified on the site plan, an amendment to the special use permit would be required.

Discussion occurred regarding the access point off of Arbeiter Road. The access would remain to allow a farmer to get their equipment into the field. Based on the plans, it appeared difficult for a farmer to get equipment to north portion of the property using the access off of Route 52. Equipment could be driven through the parking lot. The current owner would continue to farm the property after the Dippolds acquire the property.

Joe Frescura requested that the proposal be denied for the following reasons:

1. The business has no noise control plan; wood chippers would exceed the noise requirements in the proposed special use permit. He provided pictures of the height of mulch piles at the business' current location. The trees proposed on the site plan will not reach full height for ten (10) years and will not provide a full noise buffer until that time.
2. The dyed mulch will jeopardize local wells, waterways, and wetlands.
3. Inclusion of access to Arbeiter Road; he would like to see the access point removed. He also discussed burning at other landscaping businesses.
4. There are several containers at the Petitioners' current operating location. He was concerned about the placement of the containers turning the area into an industrial park and causing a decrease in property values in the area.
5. He noted that five (5) landscaping business have special use permits in Seward Township. These existing special uses are not located near homes like the proposed special use.
6. He expressed concerns regarding the soils to support a septic system.
7. He expressed concerns regarding burning on the property and the possible inter-mingling of onsite and offsite generated materials in a burn pile.
8. He noted that the LESA Score was 210. He argued the property should be retained for farming.

Mr. Dippold said chippers would not be used onsite; they would be at customers' homes. He explained the mulch dyeing process; the dyed mulch is not hazardous. He did not want burning on the property. He has three (3) containers which are used for storage; the containers would be replaced with the building. He was agreeable to a condition not allowing shipping containers on the property. He did not anticipate operating at the site until July 2023. He has no interest in using Arbeiter Road to access the property for the business.

Anne Vickery noted this proposal would be the sixth (6<sup>th</sup>) landscaping special use in Seward Township. She asked if anyone on the Board would like to live next to this type of use. She also noted that the property was planned to be residential. She asked who would enforce the regulations; she noted burning at another landscaping business.

Robert Delaney said the area was a residential area and should remain a residential area. He questioned the need to have a large amount of acreage used for the proposed use.

Pat Frescura said that she has lived in the area for over fifty (50) years. She noted the time, investment, and pride in her property. She was against having the proposed use near her property. She wanted



to keep the land as farmland. She said that she was unaware of the Seward Township Planning Commission's meeting.

Jim Martin, Seward Township Trustee, said the Seward Township Planning Commission did not forward a recommendation to the Township Board. The Township Board did not vote on this proposal.

Tim O'Brien, Seward Township Supervisor, said the Seward Township Planning Commission did not forward a recommendation to the Township Board.

It was noted that the proposal would preserve agricultural uses on the majority of the property.

Dave Shively asked what A-1 meant. A-1 means agricultural. He discussed the repaving of Arbeiter Road. He asked about enforcement of burning regulations. Mr. Asselmeier explained that burning items brought onto the property was against State law. Mr. Shively favored keeping the property in farming. He favored a housing development instead of the proposed use.

Member Wilson favored having the proposal over houses.

Tony Guzman said that he bought his property because it was a residential area. He would like to see the property become a park. He likes the wildlife in the area. He felt the use was an industrial use.

Mr. Dippold asked if his proposal was any different than a farmer building grain bins with related noise and odors. He also noted that he was pursuing the zoning on the property the correct way.

Kim Larkin said that she did not want to look at this use in her backyard. She said that mulch has an odor. Discussion occurred regarding the smell of mulch. She expressed concerns about diminished property values.

Steve Papaeliou expressed his opposition to the containers on the property.

Mr. O'Brien requested the proposal be tabled proposal and sent back to Seward Township. Member Wilson wanted to know the opinion of the Township Board. Member Nelson noted the Petitioners followed the proper procedures to get to this point. Mr. Dippold opposed tabling the proposal because Mr. Fecht wants to close on the property quickly.

Member Nelson did not see much of a difference between the proposal and farming uses.

Member Wormley noted that a subdivision could be placed on the property at some point in the future, even if the special use permit was approved. He thought the proposal was a good proposal compared to other uses that could go on the property.

The Kendall Regional Planning Commission voted to recommend approval of the proposal with an additional condition stating that no storage containers would be allowed on the subject property by a vote of seven (7) in favor and one (1) in opposition with one (1) member absent. The minutes of the meeting are included as Attachment 14.

## **GENERAL INFORMATION**

Per Section 7:01.D.30 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least seventy-three thousand, two hundred eighty pounds (73,280 lbs.), unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in



the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.

3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials, the above conditions have been met.

### **BUSINESS OPERATIONS**

According to the business plan found on pages 3 and 4 of Attachment 1, the business currently operates two (2) four (4) employee crews in April through October and one (1) four (4) employee crew in November through March. The Petitioners plan to hire four (4) additional employees, if business increases. Employees arrive at the property at approximately 7:30 a.m., go to work sites, and return to the property between 3:30 p.m. and 4:00 p.m. Employees unload equipment and materials and leave between 4:30 p.m. and 5:00 p.m. The business operates on Monday through Fridays with an occasional Saturday.

Business equipment presently consists of two (2) bucket trucks, two (2) wood chippers, two (2) one (1) ton pickup trucks, two (2) utility trailers, two (2) spare pick-up trucks, and one (1) wheel loader tractor. When not in operation, the Petitioners plan to house vehicles and equipment inside the proposed approximately nine thousand six hundred (9,600) square foot building. Mulch and firewood piles would be placed on the gravel area as shown on the site plan and landscaping plan (Attachments 2 and 3) and would be piled a maximum twelve feet (12') in height. The Petitioners do not plan to store stone, brick, or rock at the property. Per the site plan (Attachment 2), the gravel area is approximately ten point five (10.5) acres in size. If there is a motor vehicle or equipment related leak, the impacted gravel will be removed and replaced with clean gravel.

No retail services will be available at the property and retail customers will not be invited onto the property.

If approved, the Petitioners plan to start operations as quickly as possible.

### **BUILDINGS AND BUILDING CODES**

One (1) approximately nine thousand six hundred (9,600) square foot building is proposed for the site in the location depicted on the site plan and landscaping plan (Attachments 2 and 3). The building will look substantially like the rendering provided in Attachment 5. The walls will be approximately sixteen feet (16') feet tall and the doors will be fourteen feet (14') in height. The peak of the building will be a maximum twenty-four feet (24').

Any structures related to the landscaping business would be required to obtain applicable building permits.

### **ENVIRONMENTAL HEALTH**

No well or septic system presently exists on the property. No other utilities are located on the property.

One (1) ten foot by ten foot (10' X 10') dumpster enclosure was shown on the site plan and landscaping plan east of the vehicle parking area.

### **STORMWATER**

The property drains to the south.

There is one (1) wetland located near the northwest corner of the property.

The site plan and landscaping plan (Attachments 2 and 3) show a proposed seventy-three thousand, nine hundred eighty-four (73,984) square foot wet bottom pond. At the deepest point, the pond will be sixteen feet (16') deep. The stormwater plan information is included as Attachment 4.

WBK Engineering submitted comments on the proposal. This letter is included as Attachment 12. These comments will have to be addressed prior to the issuance of a stormwater management permit.

### **ACCESS**

Per the site plan and landscaping plan (Attachments 2 and 3), the Petitioners plan to install one (1) thirty foot (30') wide gravel driveway. The driveway will be approximately forty-eight feet (48') from the western property



line.

#### **PARKING AND INTERNAL TRAFFIC CIRCULATION**

According to site plan and landscaping plan (Attachments 2 and 3), the Petitioners plan to install two (2) parking areas. One (1) parking area is planned south of the building and the other parking area is planned west of the building. The total number of parking spaces is twenty-one (21) including one (1) handicapped accessible parking space.

#### **EASEMENTS**

Three (3) pipeline easements exist on the property.

#### **LIGHTING**

No existing lighting is located on the property.

At the time of the ZPAC meeting and Seward Township Planning Commission meeting, the Petitioners had not submitted a lighting plan. The lighting plan shows one (1) free standing light near the south parking lot and six (6) lights on the building. Based on the photometrics provided, no light would cross the property lines. The lighting plan is included as Attachment 13.

Per Section 11:02.F.12.e, of the Kendall County Zoning Ordinance, the maximum height for the freestanding light is twenty feet (20').

#### **SIGNAGE**

According to the site plan and landscaping plan (Attachments 2 and 3), one (1) non-illuminated sign is proposed between the gravel driveway and the western property line. No information was provided regarding sign dimensions or height. Per Section 12:08.A. of the Kendall County Zoning Ordinance, the total maximum allowable signage is thirty-two (32) square feet of gross surface area.

#### **SECURITY**

No security information was provided.

#### **LANDSCAPING**

The landscaping plan (Attachment 3) shows one hundred fifty (150) white pines along the perimeter of the property. The white pines will be three (3') feet at the time of planting and will grow to between fifty feet (50') and eighty feet (80'). Ten (10) deciduous trees are planned along the perimeter of the pond. The trees will be one and one half inches (1.5") at the time of planting. The landscaping plan also calls for a seed mix of Kentucky blue grass and turf type perennial grass around the pond and along the gravel driveway. Vegetation will be installed after the gravel and pond are installed.

The portion of the property not used for storage, building, driveway, or the pond will remain farmed. Most of the property will be farmed in 2022, which will delay the installation of the landscaping until 2023.

#### **NOISE CONTROL**

No information was provided regarding noise control.

#### **ODORS**

No new odors are foreseen by the proposed use.

#### **RELATION TO OTHER SPECIAL USES**

If approved, this would be the nineteenth (19<sup>th</sup>) special use permit for a landscaping business in unincorporated Kendall County.

#### **FINDINGS OF FACT-SPECIAL USE PERMIT**

§ 13:08.J of the Zoning Ordinance outlines findings that the Zoning Board of Appeals must make in order to recommend in favor of the applicant on special use permit applications. They are listed below in *italics*. Staff has provided findings in **bold** below based on the recommendation:

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the*



*public health, safety, morals, comfort, or general welfare. **Provided the site is developed in accordance with the submitted site plan and landscaping plan, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. Conditions may be placed in the special use permit ordinance to address hours of operation.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, lighting, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **If a stormwater management permit is issued based on the submitted materials, drainage should not be an issue. If the Illinois Department of Transportation approves the access, ingress and egress should not be an issue. Utilities will need to be extended and/or installed on the property.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. **This is true. No variances are required.***

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **True, the proposed use is consistent with an objective found on Page 9-21 of the Kendall County Land Resource Management Plan which calls for “a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents”. Also, the Kendall County Future Land Use Map and the Village of Shorewood’s Future Land Use Map call for commercial uses near the intersection of Route 52 and Arbeiter Road.***

## **RECOMMENDATION**

Staff recommends approval of the special use permit for a landscaping business subject to the following conditions and restrictions:

1. The site shall be developed substantially in accordance with the attached site plan (Attachment 2), landscaping plan (Attachment 3), and lighting plan (Attachment 13) **(amended after ZPAC)**.
2. The gravel area shown on the attached site plan (Attachment 2) and landscaping plan (Attachment 3) shall not exceed ten point five (10.5) acres in size. The owners of the business allowed by this special use permit may reduce the amount of acreage covered by gravel.
3. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
4. One (1) approximately nine thousand six hundred (9,600) square foot building may be installed on the subject property in substantially the location shown on the site plan (Attachment 2). The building shall look substantially like the building depicted in the attached rendering (Attachment 5). The maximum height of the building shall be twenty-four feet (24’).
5. Any new structures constructed or installed related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
6. No business operations may commence at the subject property until an occupancy permit is issued for



the building shown on the attached site plan (Attachment 2). No business operations may commence at the subject property until the parking stalls, dumpster enclosure, and wet bottom pond shown on the attached site plan (Attachment 2) are installed. Business operations may commence at the subject property prior to the installation of vegetation shown on the attached landscaping plan (Attachment 3).

7. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property during the hours the business is open and shall be stored indoors during non-business hours.
8. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
9. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
10. All landscape related materials shall be stored indoors or on the gravel area depicted on the site plan (Attachment 2). The maximum height of the piles of landscaping related material shall be twelve feet (12') in height, unless otherwise restricted by a stormwater management permit. Stone, brick, and rock shall not be stored outdoors.
11. The size and depth of the wet bottom pond shall be governed by the stormwater management permit issued for the subject property.
12. One (1) two (2) sided non-illuminated sign may be installed on the location depicted on the attached site plan (Attachment 2).
13. At least two (2) no smoking signs shall be installed near the piles of landscaping related materials. **(added after ZPAC)**
14. One hundred fifty (150) white pines shall be installed in substantially the locations shown on the attached landscaping plan (Attachment 3). The white pines shall be a minimum of three feet (3') in height at the time of planting. The white pines shall be installed by June 30, 2023. Damaged or dead white pines shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the white pines.
15. Ten (10) deciduous trees shall be installed in substantially the locations shown on the attached landscaping plan (Attachment 3). The deciduous trees shall be a minimum one point five inches (1.5") in diameter at the time of planting. The deciduous trees shall be installed by June 30, 2023. Damaged or dead deciduous trees shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the deciduous trees.
16. The seed mix called for in the attached landscaping plan (Attachment 3) shall be installed by June 30, 2023. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the seed mix.
17. No landscape waste generated off the property can be burned on the subject property.
18. A maximum of twenty (20) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work. No employees shall engage in the sale of landscaping related materials on the property.
19. No retail customers of the business allowed by this special use permit shall be invited onto the property by anyone associated with the use allowed by this special use permit.
20. The hours of operation of the business allowed by this special use permit shall be Monday through Saturday from 7:30 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit



may reduce these hours of operation.

21. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

**EXEMPTION:** Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

22. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.

23. One dry hydrant shall be placed on the property **(added after ZPAC)**.

24. The maximum height of the light pole shown in the lighting plan (Attachment 13) shall be twenty feet (20') **(added after ZPAC)**.

25. No storage/shipping containers are allowed on the subject property **(added by the RPC)**.

26. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.

27. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.

28. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.

29. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

30. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

#### **ATTACHMENTS**

1. Application Materials (Including Petitioner's Findings of Fact, NRI Application, and EcoCat)
2. Site Plan
3. Landscaping Plan
4. Stormwater Plans
5. Building Renderings
6. April 21, 2022 Joliet Email
7. NRI Report
8. May 9, 2022 Seward Township Planning Commission Email
9. May 4, 2022 Village of Shorewood Email
10. May 5 and 6, 2022 Minooka Fire Protection District Letter and Email
11. May 3, 2022 ZPAC Meeting Minutes
12. May 4, 2022 WBK Engineering Letter
13. Lighting Plan
14. May 25, 2022 Kendall County Regional Planning Commission Meeting Minutes





# DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

## APPLICATION

PROJECT NAME Best Budget Tree Site Plan

FILE #: \_\_\_\_\_

<b>NAME OF APPLICANT</b>		
Best Budget Tree Service - Jeremy & Samantha Dippold		
<b>CURRENT LANDOWNER/NAME(s)</b>		
Fecht Brothers, Inc.		
<b>SITE INFORMATION</b>		
ACRES	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
48.59	2195 US Highway 52, Minooka, IL	09-15-200-003
EXISTING LAND USE	CURRENT ZONING	LAND CLASSIFICATION ON LRMP
AG	A1	
<b>REQUESTED ACTION (Check All That Apply):</b>		
<input checked="" type="checkbox"/> SPECIAL USE <input type="checkbox"/> MAP AMENDMENT (Rezone to _____) <input type="checkbox"/> VARIANCE <input type="checkbox"/> ADMINISTRATIVE VARIANCE <input type="checkbox"/> A-1 CONDITIONAL USE for: _____ <input type="checkbox"/> SITE PLAN REVIEW <input type="checkbox"/> TEXT AMENDMENT <input type="checkbox"/> RPD ( <input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final ) <input type="checkbox"/> ADMINISTRATIVE APPEAL <input type="checkbox"/> PRELIMINARY PLAT <input type="checkbox"/> FINAL PLAT <input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.) <input type="checkbox"/> AMENDMENT TO A SPECIAL USE ( <input type="checkbox"/> Major; <input type="checkbox"/> Minor )		
<b><sup>1</sup>PRIMARY CONTACT</b>	<b>PRIMARY CONTACT MAILING ADDRESS</b>	<b>PRIMARY CONTACT EMAIL</b>
Jeremy Dippold	22419 W Renwick Rd, Plainfield, IL 60544	bestbudgettree@yahoo.com
<b>PRIMARY CONTACT PHONE #</b>	<b>PRIMARY CONTACT FAX #</b>	<b>PRIMARY CONTACT OTHER # (Cell, etc.)</b>
815-685-2444		
<b><sup>2</sup>ENGINEER CONTACT</b>	<b>ENGINEER MAILING ADDRESS</b>	<b>ENGINEER EMAIL</b>
John Tebrugge	410 E Church St, Ste A, Sandwich, IL 60548	info@tebruggeengineering.com
<b>ENGINEER PHONE #</b>	<b>ENGINEER FAX #</b>	<b>ENGINEER OTHER # (Cell, etc.)</b>
815-786-0195		
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
<b>SIGNATURE OF APPLICANT</b> 		<b>DATE</b> 4-19-22

FEE PAID: \$1155  
 CHECK #: 1064

<sup>1</sup>Primary Contact will receive all correspondence from County

<sup>2</sup>Engineering Contact will receive all correspondence from the County's Engineering Consultants



FECHT BROTHERS, INC.  
1708 Albert Hall Court  
Naperville, IL 60564

April 18, 2022

Kendall County  
Planning, Building & Zoning Department  
Attn: Matt Asselmeier, Senior Planner  
111 West Fox Street  
Yorkville, IL 60560

Re: Special Use Permit Application

To the Kendall County Planning, Building & Zoning Department:

Fecht Brothers, Inc. is the current owner of the property located at 48 US Highway 52, Minooka, Kendall County, IL 60447 (the "Property"). Fecht Brothers, Inc. is under contract to sell the Property to Jeremy and Samantha Dippold ("Dippolds"). It is our understanding that the Dippolds are seeking a special use permit to the Property's zoning. Fecht Brothers, Inc. supports and approves the Dippold's application for a special use permit for a landscaping company.

Please find the enclosed title policy dated March 7, 2022 from Fidelity National Title Insurance Company referencing our ownership and the Dippolds as the proposed insured.

Thank you for the opportunity to be of assistance.

Sincerely,

 Sec. (sign)

Print Name: Mark Fecht Secretary  
Fecht Brothers, Inc.



### **Proposed Use and Business Plan**

The Petitioners are requesting a special use permit to operate a landscaping company at the Property. The Petitioners have operated Best Budget Tree Service, LLC for over ten years. The primary purpose of the landscaping company is the removal of trees, processing mulch, spreading mulch and processing trees into firewood for delivery to customers.

#### **A. Employees:**

The Petitioners operate the following crews during the following months:

##### April through October

There are two crews (4 employees each) that cut down and remove trees. Additionally, there is a full-time employee who maintains the property grounds and processes the tree branches into firewood. In addition, the Petitioners also work for the landscaping company.

##### November through March

There is one crew (4 employees) that cut down and remove trees. Additionally, there is a full-time employee who maintains the property grounds and processes the tree branches into firewood. In addition, the Petitioners also work for the landscaping company.

There are currently no plans to hire additional employees at this time. However, if the demand for their landscaping services should increase in the future, the Petitioners would likely hire and form a third crew (4 employees each).

#### **B. Hours of Operation:**

The Petitioners will operate between the hours of 8:00am to 4:30pm Monday through Friday. On some occasions, the crew will run their operations on Saturday. Employees usually arrive onsite by 7:30am, load the equipment and materials, get the day's schedule and are on the road by 8:00am. Employees typically arrive back at the Property approximately 3:30-4:00pm. The employees unload all equipment, unload branches, mulch, firewood into the appropriate areas, clean and maintain the work vehicles and leave between 4:30-5:00pm.

If approved, the Petitioners plan to start operations upon a successful purchase and closing of the property.

#### **C. Vehicles in Use:**

The Petitioners own and utilize the following vehicles: 2 bucket trucks, 2 wood chippers, 2 oneton pick-up trucks, 2 utility trailers, 2 spare pick-up trucks, and 1 wheel loader tractor.



D. Improvements:

The Petitioners plan on building a metal building to house the vehicles and equipment as well as their general office. The Petitioners plan to store the processed mulch and firewood in large areas in the rear of the site to keep everything organized and clean. Mulch and firewood piles would be about 12' in height.

E. Materials:

The Petitioners only plan to store branches, mulch and firewood on the Property and to deliver to the customer. The Petitioners do not store stone, brick or rock.

F. Site Plan:

The Petitioners shall develop the property in accordance with the Site Plan submitted with the Application.

G. Not Retail

The Petitioners do not intend this landscaping business to be open to the public for retail purchases. The Property will be used to house the business operations, equipment and materials.





# TEBRUGGE ENGINEERING

410 E. CHURCH ST.—SUITE A  
SANDWICH, IL 60548

PHONE: (815) 786-0195  
EMAIL: [INFO@TEBRUGGEENGINEERING.COM](mailto:INFO@TEBRUGGEENGINEERING.COM)  
WEBSITE: [WWW.TEBRUGGEENGINEERING.COM](http://WWW.TEBRUGGEENGINEERING.COM)

April 18, 2022

Mr. Matt Asselmeier  
Kendall County Planning, Building and Zoning Department  
111 W Fox St  
Room 204  
Yorkville, IL 60560-1498

Re: Best Budget Tree Site Plan  
2195 US Highway 52  
Minooka, IL

Dear Mr. Asselmeier,

We have received your email dated April 18, 2022, and have the following comments / corrections.

1. How far from the western property will the gravel driveway be located?  
**Response: The drive will be 48' from the western property line and the parking area will be 30'. Additional dimensions will be added.**
2. Would they have any objections to setting the maximum number of employees at 20, including the owners of the business allowed by the special use permit?  
**Response: No objections, there are not more than 20 employees currently.**
3. Who actually owns the property? Do Fecht Brothers own the property?  
**Response: The current owners are Fecht Brothers but Best Budget Tree is in the process of purchasing and within their due diligence period currently.**
4. The business plan mentions having several stalls to house landscaping materials. Do you have a description of these stalls (i.e. height, width, etc.)?  
**Response: There will not be stalls for material storage. Mulch and firewood stockpiles are too wide for stalls to be utilized.**
5. Please add the location of the stalls to a site plan or landscaping plan.  
**Response: No stalls are proposed.**
6. What is the maximum height of the materials that will be placed inside the stalls?  
**Response: Approximately 12' height of stockpiles**
7. Are there any structures presently located on the property?  
**Response: There are no structures on the property, currently it is farmed land only.**
8. Are there any structures located on adjacent properties within 100 feet of the property line of this property?  
**Response: There are barns located within the 100' adjacent to the east of the site, these have been located on the plans.**
9. Are there any utilities presently located on the property?



**Response:** There are no utilities on the site.

10. Other than the pipeline easements, are there any other easements located on the property?

**Response:** No other easements are located on the plat for the property.

11. Does the existing easements for the pipelines allow non-agricultural vehicles to cross the easements? Do the pipelines have any objections to having this use going over their easements?

**Response:** Currently the pipelines run under US Highway 52. We will maintain the existing cover over the pipelines

12. The Kendall County GIS shows a wetland on the northwest corner of the property. Could that be added to the landscaping plan or site plan?

**Response:** The approximate wetlands have been added to the property per the Kendall County GIS.

13. Please provide the present zoning classifications and PINs for the subject property and adjacent properties. This information could be added to a site plan or landscaping plan or provided on a separate sheet.

**Response:** The PINS, property owners and current zoning has been added to the Final Plan.

14. The civil plans reference the Kane County GIS. Did you use the Kane County information or the Kendall County information?

**Response:** The Kendall County 2' contour map was used, this has been corrected on the plan set. A topographic survey will be conducted when conditions allow.

15. There was also some language regarding drains connecting to the sanitary sewer. Is this information correct?

**Response:** This might be in our standard notes. No sanitary sewer lines are in the area, this site will utilize septic and well.

16. What are the dimensions of the pond?

**Response:** The pond dimensions are 272' X 272'. This has been added to the plan.

17. How deep will the pond be?

**Response:** The pond will be 16' deep total. There is a 10' deep area for fish per the ordinance. The underwater contours have been dashed to show the wet bottom area.

18. Do the Petitioners plan to install signage on the property? If yes, please add this information to the site plan or landscaping plan.

**Response:** Yes, a standard sign located outside of the pipeline easement on US Highway 52, the location has been added to the plan. It will not be a lit up sign and no electric will go to it.

19. Do the Petitioners plan to install lights on the property? If yes, please state where the new lights will be located.

**Response:** The only lights on the property will be wall packs on the building.

20. Will there be an outdoor refuse area? If yes, please add this information to the site plan or landscaping plan.

**Response:** A fenced area for a small dumpster has been added to the plans.



21. The landscaping plan references a seed mix of Kentucky blue grass and turf type perennials. Where will these be planted on the property? Could the locations of these plantings be added to the landscaping plan?

Response: The mesic prairie mix will be in the detention pond. There is a note located on sheet 2 of the landscape plan. All areas outside the improvements will continue to be farmed.

22. How tall will the Colorado blue spruce be at full growth?

Response: The owner has requested White Pines instead and the height fully grown would be 50'-80'

23. What is the timeline for planting the vegetation referenced in the landscaping plan?

Response: The tree plantings will happen after the detention pond and gravel area is constructed.

24. How tall will the 80 x 120 building be?

Response: 16' walls and 14' doors.

If you have any additional questions, please contact us.

Sincerely,

Tebrugge Engineering



John Tebrugge



## **LEGAL DESCRIPTION**

THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE NORTH 1043.62 FEET OF THE EAST 417.40 FEET THEREOF AND ALSO EXCEPT THE SOUTH 417.42 FEET OF THE EAST 417.42 FEET THEREOF, AND ALSO EXCEPT THAT PART OF THE EAST 417.40 FEET LYING NORTH OF THE NORTH LINE OF THE SOUTH 417.42 FEET AND LYING SOUTH OF THE SOUTH LINE OF THE NORTH 1109.62 FEET THEREOF, AND ALSO EXCEPT THE WEST 402 FEET OF THE EAST 819.42 FEET OF THE SOUTH 417.42 FEET THEREOF, AND ALSO EXCEPT THE WEST 402.02 FEET OF THE EAST 819.42 FEET OF THE NORTH 341.07 FEET OF THE SOUTH 758.49 FEET THEREOF), IN THE TOWNSHIP OF SEWARD, IN KENDALL COUNTY, ILLINOIS.



## ALTA COMMITMENT FOR TITLE INSURANCE

Issued By:



**Fidelity National Title**  
Insurance Company

Commitment Number:



### NOTICE

**IMPORTANT - READ CAREFULLY:** THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

### COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, Fidelity National Title Insurance Company, a Florida corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within one hundred eighty (180) days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

**Fidelity National Title Insurance Company**

By:



Michael J. Nolan, President

Attest:



Marjorie Nemzura, Secretary

Countersigned By:

\_\_\_\_\_  
Authorized Officer or Agent

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**FIDELITY NATIONAL TITLE INSURANCE COMPANY****COMMITMENT** [REDACTED]**Transaction Identification Data for reference only:**

ORIGINATING OFFICE:	FOR SETTLEMENT INQUIRIES, CONTACT:
Fidelity National Title Company, LLC 674 Veterans Pkwy, Unit C Yorkville, IL 60560 Main Phone: (630)553-3041 Email: <a href="mailto:ilyorkville@fnf.com">ilyorkville@fnf.com</a>	Fidelity National Title Company, LLC 674 Veterans Pkwy, Unit C Yorkville, IL 60560 Main Phone: (630)553-3041 Main Fax: (630)553-3047

Name and Address of Title Insurance Agent: John Robert Felton  
2804 Breckenridge Circle  
Aurora, IL 60504

Order Number: [REDACTED]

Property Ref.: 48 US Highway 52, Minooka, IL 60447

**SCHEDULE A**

1. Commitment Date: March 7, 2022
2. Policy to be issued:
  - (a) ALTA Owner's Policy 2006  
Proposed Insured: Jeremy Dippold and Samantha Dippold  
Proposed Policy Amount: \$607,425.00
  - (b) ALTA Loan Policy 2006  
Proposed Insured: Lender with a contractual obligation under a loan agreement with the Proposed Insured for an Owner's Policy, its successors and/or assigns as their respective interests may appear  
Proposed Policy Amount: \$485,940.00
3. The estate or interest in the Land described or referred to in this Commitment is:  
Fee Simple
4. The Title is, at the Commitment Date, vested in:  
Fecht Brothers, Inc.
5. The Land is described as follows:  
SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

**END OF SCHEDULE A**

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ALTA Commitment for Title Insurance (08/01/2016)





**EXHIBIT "A"**  
Legal Description

The East 1/2 of the Northeast 1/4 of Section 15, Township 35 North, Range 8 East of the Third Principal Meridian, (except the North 1043.62 feet of the East 417.40 feet thereof and also except the South 417.42 feet of the East 417.42 feet thereof, and also except that part of the East 417.40 feet lying North of the North Line of the South 417.42 feet and lying South of the South Line of the North 1109.62 feet thereof and also except the West 402 feet of the East 819.42 feet of the South 417.42 feet thereof and also except the West 402.02 feet of the East 819.42 feet of the North 341.07 feet of the South 758.49 feet thereof), in the Township of Seaward, in Kendall County, Illinois.

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ALTA Commitment for Title Insurance (08/01/2016)





**FIDELITY NATIONAL TITLE INSURANCE COMPANY****COMMITMENT NO** [REDACTED]

Name and Address of Title Insurance Agent: John Robert Felton  
 2804 Breckenridge Circle  
 Aurora, IL 60504

**SCHEDULE B, PART I  
 REQUIREMENTS**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. The "Good Funds" section of the Title Insurance Act (215 ILCS 155/26) is effective January 1, 2010. This Act places limitations upon our ability to accept certain types of deposits into escrow. Please contact your local Fidelity National Title office regarding the application of this new law to your transaction.
6. Payment of real estate taxes affecting the land that may be due or payable prior to closing (or as may be required by a lender to be insured). Schedule B tax exception will be amended accordingly based on a later date search and payment as noted herein.
7. For all mortgages and liens referenced below, we should be furnished with proper payoff figures, authorizations, funds and documents sufficient to pay off and release said liens at or prior to closing.
8. We should be furnished a properly executed ALTA statement and, unless the land insured is a condominium unit, a survey if available. Matters disclosed by the above documentation will be shown specifically.
9. Effective June 1, 2009, pursuant to Public Act 95-988, satisfactory evidence of identification must be presented for the notarization of any and all documents notarized by an Illinois notary public. Satisfactory identification documents are documents that are valid at the time of the notarial act; are issued by a state or federal government agency; bear the photographic image of the individual's face; and bear the individual's signature.
10. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
11. The Company should be provided a statement from the borrower(s) relative to any mortgage identified in Schedule B disclosing whether the borrower(s) have entered into any forbearance or loan modification agreement with the lender relative to delayed or postponed payments or other restructuring of the debt secured by the mortgage.
12. A mortgage to secure an indebtedness as shown below  
     Amount:                 \$500,000.00  
     Dated:                 March 30, 2020

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ALTA Commitment for Title Insurance (08/01/2016)





**SCHEDULE B, PART I  
REQUIREMENTS**  
(continued)

Mortgagor: Fecht Brothers, Inc.  
 Mortgagee: Compeer Financial, PCA  
 Recording Date: April 9, 2020  
 Recording No: 202000005551

(Affects land and other property)

13. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below:

Name of Corporation: Fecht Brothers, Inc.

- a) A Copy of the corporation By-laws and Articles of Incorporation
- b) An original or certified copy of a resolution authorizing the transaction contemplated herein
- c) If the Articles and/or By-laws require approval by a 'parent' organization, a copy of the Articles and By-laws of the parent
- d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

- 14. The Company should be furnished a statement that there is no property manager employed to manage the Land, or, in the alternative, a final lien waiver from any such property manager.
- 15. The Land described in Schedule A either is unsubdivided property or constitutes part of a subdivided lot. As a result, a Plat Act Affidavit should accompany any conveyance to be recorded. In the alternative, compliance should be had with the provisions of the Plat Act (765 ILCS 205/1 et seq.)
- 16. For each policy to be issued as identified in Schedule A, Item 2; the Company shall not be liable under this commitment until it receives a designation for a Proposed Insured, acceptable to the Company. As provided in Commitment Condition 4, the Company may amend this commitment to add, among other things, additional exceptions or requirements after the designation of the Proposed Insured.
- 17. The Company will require a survey of the subject Land, which is in compliance with minimum technical standards, prepared by a duly registered and licensed surveyor. If the owner of the Land the subject of this transaction is in possession of a survey, the Company will require that said survey be submitted for review and approval; otherwise, a new survey, satisfactory to the Company, must be submitted to the Company for examination. In order to prevent delays, please furnish the survey at least 10 days prior to the close of this transaction.

If an existing survey is to be relied upon, an affidavit from the seller(s)/mortgagor(s) must be furnished to the Company stating that no improvements have been made on the Land the subject of this transaction or adjacent

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ALTA Commitment for Title Insurance (08/01/2016)





**SCHEDULE B, PART I  
REQUIREMENTS**  
(continued)

thereto subsequent to the survey presented to the Company.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

18. Note for Information regarding endorsement requests:

All endorsements requests should be made prior to closing to allow ample time for the Company to examine required documentation.

**END OF SCHEDULE B, PART I**

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**FIDELITY NATIONAL TITLE INSURANCE COMPANY****COMMITMENT NO. Y [REDACTED]**

Name and Address of Title Insurance Agent: John Robert Felton  
 2804 Breckenridge Circle  
 Aurora, IL 60504

**SCHEDULE B, PART II  
 EXCEPTIONS**

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

**GENERAL EXCEPTIONS**

1. **Rights or claims of parties in possession not shown by Public Records.**
2. **Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land.**
3. **Easements, or claims of easements, not shown by the Public Records.**
4. **Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
5. **Taxes or special assessments which are not shown as existing liens by the Public Records.**
6. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
- A 7. Taxes for the years 2021 and 2022.  
  
 Taxes for the years 2021 and 2022 are not yet due or payable.  
  
 Permanent Tax No.: 09-15-200-003-0000  
  
 Note: Taxes for the year 2020 amounting to \$1,357.62 are paid of record.
- H 8. Existing unrecorded leases and all rights thereunder of the lessees and of any person or party claiming by, through or under the lessees.
- B 9. Rights of Way for drainage tiles, ditches, feeders, laterals and underground pipes, if any.

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**SCHEDULE B, PART II**  
**EXCEPTIONS**  
 (continued)

- C 10. Rights of the public, the State of Illinois and the municipality in and to that part of the Land, if any, taken or used for road purposes, including, but not limited to that part thereof falling within Route 52 and that part thereof falling within Arbeiter Road.
- D 11. Easement in favor of the Commonwealth Edison Company, and its/their respective successors and assigns, to install, operate and maintain all equipment necessary for the purpose of serving the Land and other property, together with the right of access to said equipment, and the provisions relating thereto contained in the grant recorded/filed as Document No. 81-3521, affecting that part of the Land falling within the road on the Southerly line.
- E 12. Grant dated July 23, 1949 and recorded August 29, 1949 in book 107 of deeds, page 62 made by Clifford Findlay and Dortha Findlay, his wife to Michigan-Wisconsin Pipeline Company, a Delaware, Corporation, its successors and/or assigns, of the right to lay, maintain, operate and remove a pipe line for the transportation of oil, gas, petroleum or any of its products with the right of ingress and egress to and from the same, on, over and through a strip of Land 75 feet in width extending in a Southeasterly direction across the Southwest 1/4 of the Land, and a grant dated February 4, 1960 and recorded February 29, 1960 for a new pipe line to be constructed two feet below the existing tile or at the same depth of the presently existing pipe line.
- F 13. Easement in favor of Lakehead Pipe Line Company for the purpose of an exclusive right-of-way and perpetual easement to construct, operate, maintain, inspect (including aerial patrol), remove, abandon in place, replace and reconstruct a pipeline, together with valves, fittings, protective apparatus and all other equipment and appurtenances, as may be convenient in connection therewith for the transportation of crude petroleum and any product, by-product and derivatives thereof, whether liquid or gaseous, or any material or substance which can be conveyed through a pipeline on, over under and across a strip of Land, recorded/filed June 12, 1998 as Document No. 9807782, and the terms and provisions contained therein. See Document for exact location.
- G 14. Easement in favor of Guardian pipeline, LLC for the purpose of an exclusive perpetual easement in, through, upon and over a strip of Land 50 feet in width to lay, construct, test, operate, inspect, maintain, patrol, replace, repair, reconstruct, alter, relocate, enlarge and remove a pipeline with any associated valves, connections and appurtenances for the transmission of gas and associated condensates in, through, upon and over said Strip of Land, together with the right of ingress and egress to said Strip of Land at convenient points recorded/filed June 21, 2002 as Document No. 200200014405, and the terms and provisions contained therein. See Document for exact location.
- I 15. Note: The only conveyance(s) affecting said Land recorded within 24 months of the date of this commitment are as follows:
- Grantor: Alan Leupold, as Trustee under Trust Agreement dated June 22, 2006 and known as the Wayne Leupold Revocable Trust  
 Grantee: Fecht Brothers, Inc.  
 Recording Date: May 2, 2011  
 Recording No: 201100007151

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FIDELITY NATIONAL TITLE INSURANCE COMPANY

COMMITMENT NO. Y [REDACTED]

**SCHEDULE B, PART II  
EXCEPTIONS**  
(continued)

**END OF SCHEDULE B, PART II**

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

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ALTA Commitment for Title Insurance (08/01/2016)





**FIDELITY NATIONAL TITLE INSURANCE COMPANY****COMMITMENT NO. Y** [REDACTED]**COMMITMENT CONDITIONS****1. DEFINITIONS**

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

- 2. If all of the Schedule B, Part I-Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

- 3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I-Requirements;
- (f) Schedule B, Part II-Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

**4. COMPANY'S RIGHT TO AMEND**

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

**5. LIMITATIONS OF LIABILITY**

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
  - (i) comply with the Schedule B, Part I-Requirements;
  - (ii) eliminate, with the Company's written consent, any Schedule B, Part II-Exceptions; or
  - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I-Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

**6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT**

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.

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**FIDELITY NATIONAL TITLE INSURANCE COMPANY****COMMITMENT NO. Y** [REDACTED]

(continued)

- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II-Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

**7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT**

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

**8. PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

**9. ARBITRATION**

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is Two Million And No/100 Dollars (\$2,000,000.00) or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

**END OF CONDITIONS****1031 EXCHANGE SERVICES**

If your transaction involves a tax deferred exchange, we offer this service through our 1031 division, IPX1031. As the nation's largest 1031 company, IPX1031 offers guidance and expertise. Security for Exchange funds includes segregated bank accounts and a 100 million dollar Fidelity Bond. Fidelity National Title Group also provides a 50 million dollar Performance Guaranty for each Exchange. For additional information, or to set-up an Exchange, please call Scott Nathanson at (312)223-2178 or Anna Barsky at (312)223-2169.

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Inquire before you wire!

## WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice.  
If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. **DO NOT** use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the number of relevant parties to the transaction as soon as an escrow account is opened.** **DO NOT** send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do **NOT** reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

**Federal Bureau of Investigation:**  
<http://www.fbi.gov>

**Internet Crime Complaint Center:**  
<http://www.ic3.gov>



## **FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE**

Effective January 1, 2021

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

### **Collection of Personal Information**

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

### **Collection of Browsing Information**

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

### **Other Online Specifics**

**Cookies.** When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

**Web Beacons.** We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

**Do Not Track.** Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.



**Links to Other Sites.** FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

### **Use of Personal Information**

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.

### **When Information Is Disclosed**

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see "Choices with Your Information" to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

### **Security of Your Information**

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

### **Choices With Your Information**

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an "opt out" request as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

**For California Residents:** We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

**For Nevada Residents:** You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.



**For Oregon Residents:** We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

**For Vermont Residents:** We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

### **Information From Children**

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

### **International Users**

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

### **FNF Website Services for Mortgage Loans**

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

### **Your Consent To This Privacy Notice; Notice Changes; Use of Comments or Feedback**

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

### **Accessing and Correcting Information; Contact Us**

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, visit FNF's [Opt Out Page](#) or contact us by phone at (888) 934-3354 or by mail to:

Fidelity National Financial, Inc.  
601 Riverside Avenue,  
Jacksonville, Florida 32204  
Attn: Chief Privacy Officer



Fidelity National Title Company, LLC  
 674 Veterans Pkwy, Unit C  
 Yorkville, IL 60560  
 Phone: (630)553-3041 Fax: (630)553-3047

**INITIAL FEE QUOTE**

John Robert Felton  
 2804 Breckenridge Circle  
 Aurora, IL 60504

Order Number: [REDACTED]

Invoice Date:  
 Invoice Number:

[REDACTED]

Delivered:

Buyer/Borrower(s): Jeremy Dippold and  
 Samantha Dippold  
 Lender: Lender with a contractual  
 obligation under a loan  
 agreement with the Proposed  
 Insured for an Owner's Policy

Seller(s): Fecht Brothers, Inc

**Property Description (1):**

48 US Highway 52, Minooka, IL 60447  
 Parcel ID(s): 09-15-200-003-0000

Policies Applied For: ALTA Loan Policy 2006 \$485,940.00  
 ALTA Owner's Policy 2006 \$607,425.00

Description	Seller Charge	Buyer Charge
Owner's Policy (Coverage \$607,425.00) (ALTA Owner's Policy 2006)	2,695.00	0.00
Loan Policy (Coverage \$485,940.00) (ALTA Loan Policy 2006)	0.00	525.00
ALTA 8.1-06 - Environmental Protection Lien (CLTA 110.9-06)	0.00	175.00
ALTA 9-06 - Restrictions, Encroachments, Minerals	0.00	175.00
SE 32-06 - Homeowner's Inflation Protection (Residential)	0.00	175.00
Extended Coverage Endorsement	0.00	0.00
Escrow Fees - Borrower	0.00	2,000.00
CPL Fee to Buyer	0.00	25.00
CPL Fee to Seller	50.00	0.00
CPL Fee to Lender	0.00	25.00
Overnight Delivery & Handling	50.00	50.00
Recording Fees (Deed, Mortgage/Deed of Trust)	0.00	134.00
County Transfer Tax (Deed)	303.75	0.00
State Transfer Tax	607.50	0.00
Recording Service Fee	0.00	15.00
Commitment Update Fee	150.00	0.00
Policy Update Fee	0.00	150.00
Chain of Title 24 Month	0.00	250.00
State of Illinois Policy Registration Fee	3.00	3.00
Email Package Service Fee	0.00	50.00
Tax Paying Agent Fees	50.00	0.00
Wire Transfer Service Fee	50.00	50.00
<b>TOTALS:</b>	<b>\$3,959.25</b>	<b>\$3,802.00</b>
<b>GRAND TOTAL:</b>		<b>\$7,761.25</b>

Invoice Notes: 1. Recording Fees are an estimate. Please refer to [www.FNTiweb.com](http://www.FNTiweb.com) for actual recording fees.  
 2. Settlement Agent License ID: TA.13.1303663  
 3. Preliminary Fee Quote includes an estimated Tax Paying Agent Fee in the event Fidelity is paying taxes at closing.





**Applicant:** Best Budget Tree Service

**Contact:** Jeremy Dippold

**Address:** 22419 W Renwick Rd  
Plainfield, IL 60544

**IDNR Project Number:** 2212088

**Date:** 04/15/2022

**Project:** Best Budget Tree Site Plan

**Address:** 2195 US Highway 52, Minooka

**Description:** Construct an entry drive, commercial building, gravel storage area and detention pond for a Tree Business

## Natural Resource Review Results

### Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database shows the following protected resources may be in the vicinity of the project location:

Aux Sable Creek INAI Site

Greater Redhorse (*Moxostoma valenciennesi*)

**An IDNR staff member will evaluate this information and contact you to request additional information or to terminate consultation if adverse effects are unlikely.**

#### Location

The applicant is responsible for the accuracy of the location submitted for the project.

**County:** Kendall

**Township, Range, Section:**

35N, 8E, 10

35N, 8E, 15



#### IL Department of Natural Resources

##### Contact

Kyle Burkwald

217-785-5500

Division of Ecosystems & Environment

#### Government Jurisdiction

Kendall County Planning, Building & Zoning

Matt Asselmeier

111 W Fox Street

Yorkville, Illinois 60560

#### Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.



## **Terms of Use**

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

## **Security**

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

## **Privacy**

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.



**EcoCAT Receipt****Project Code** 2212088**APPLICANT****DATE**

Best Budget Tree Service  
 Jeremy Dippold  
 22419 W Renwick Rd  
 Plainfield, IL 60544

4/15/2022

**DESCRIPTION****FEE****CONVENIENCE FEE****TOTAL PAID**

EcoCAT Consultation

\$ 125.00

\$ 2.81

\$ 127.81

**TOTAL PAID****\$ 127.81**

Illinois Department of Natural Resources  
 One Natural Resources Way  
 Springfield, IL 62702  
 217-785-5500  
[dnr.ecocat@illinois.gov](mailto:dnr.ecocat@illinois.gov)





## Illinois Department of Natural Resources

One Natural Resources Way Springfield, Illinois 62702-1271  
<http://dnr.state.il.us>

JB Pritzker, Governor

Colleen Callahan, Director

April 18, 2022

Jeremy Dippold  
Best Budget Tree Service  
22419 W Renwick Rd  
Plainfield, IL 60544

**RE: Best Budget Tree Site Plan**  
**Project Number(s): 2212088**  
**County: Kendall**

Dear Applicant:

This letter is in reference to the project you recently submitted for consultation. The natural resource review provided by EcoCAT identified protected resources that may be in the vicinity of the proposed action. The Department has evaluated this information and concluded that adverse effects are unlikely. Therefore, consultation under 17 Ill. Adm. Code Part 1075 is terminated.

This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.

The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, you must comply with the applicable statutes and regulations. Also, note that termination does not imply IDNR's authorization or endorsement of the proposed action.

Please contact me if you have questions regarding this review.



Kyle Burkwald  
Division of Ecosystems and Environment  
217-785-5500



Please fill out the following findings of fact to the best of your capabilities. §13:08.J of the Zoning Ordinance outlines findings that the Zoning Board of Appeals shall consider in rendering a decision, but is not required to make an affirmative finding on all items in order to grant a **special use**. They are as follows:

*That the establishment, maintenance, and operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare.*

True. The Petitioner has submitted a site plan indicating that measures will be taken to ensure that the use will not have a negative impact on public health, safety, morals, comfort or general welfare.

The Petitioner agrees to follow all applicable public health and public safety related laws.

*That the special use will not be substantially injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole.*

True. Conditions are proposed that will regulate hours of operation and site layout. The site plan makes provisions for landscaping, lighting, open spaces and improvements to ensure the proposed use will not adversely impact adjacent uses and is compatible with the surrounding area and County.

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided.*

True. The property will have adequate utilities, access to the property and only one point of ingress and egress off of Route 52.

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals*

True. No variances have been requested.

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies.*

True. The proposed use is consistent with an objective found on Pages 3-5 of the Kendall County Land Resource Management Plan which calls for " a strong base of agricultural, commercial and industrial use that provide a broad range of job opportunities, a healthy tax base and improved quality of services..."





Kendall County Soil & Water  
Conservation District

7775A Route 47, Yorkville, Illinois 60560 • (630)553-5821 extension 3



[www.kendallswcd.org](http://www.kendallswcd.org)

## NATURAL RESOURCE INFORMATION (NRI) REPORT APPLICATION

**Petitioner:** Best Budget Tree Service

**Address:** 22419 W Renwick Rd

**City, State, Zip:** Plainfield, IL 60544

**Phone Number:** ( ) 815-685-2444

**Email:** bestbudgettree@yahoo.com

**Contact Person:** Jeremy Dippold

22419 W Renwick Rd

Plainfield, IL 60544

Please select: How would you like to receive a copy of the NRI Report? ☐ Email ☐ Mail

### Site Location & Proposed Use

**Township Name** Seward **Township** 35N **N, Range** 8E **E, Section(s)** 15

**Parcel Index Number(s)** 09-15-200-003

**Project or Subdivision Name** Best Budget Tree Site Plan **Number of Acres** 48.59

**Current Use of Site** A1 **Proposed Use** A1-SU

**Proposed Number of Lots** 1 **Proposed Number of Structures** 1

**Proposed Water Supply** Well **Proposed type of Wastewater Treatment** Septic

**Proposed type of Storm Water Management** Wet Bottom Detention Pond

### Type of Request

☒ Change in Zoning from A1 to A1-SU

☐ Variance (Please describe fully on separate page)

☒ Special Use Permit (Please describe fully on separate page)

**Name of County or Municipality the request is being filed with:** Kendall County

**In addition to this completed application form, please including the following to ensure proper processing:**

☒ **Plat of Survey/Site Plan** – showing location, legal description and property measurements

☒ **Concept Plan** - showing the locations of proposed lots, buildings, roads, stormwater detention, open areas, etc.

☐ If available: topography map, field tile map, copy of soil boring and/or wetland studies

☐ **NRI fee** (Please make checks payable to Kendall County SWCD)

The NRI fees, as of July 1, 2010, are as follows:

Full Report: \$375.00 for five acres and under, plus \$18.00 per acre for each additional acre or any fraction thereof over five.

Executive Summary Report: \$300.00 (KCSWCD staff will determine when a summary or full report will be necessary.)

Fee for first five acres and under \$ 375.00

44 Additional Acres at \$18.00 each \$ 792

**Total NRI Fee** \$ 1167

**NOTE:** Applications are due by the 1<sup>st</sup> of each month to be on that month's SWCD Board Meeting Agenda. Once a completed application is submitted, please allow 30 days for inspection, evaluation and processing of this report.

**I (We) understand the filing of this application allows the authorized representative of the Kendall County Soil and Water Conservation District (SWCD) to visit and conduct an evaluation of the site described above. The completed NRI report expiration date will be 3 years after the date reported.**

[Signature]  
Petitioner or Authorized Agent

4.19.22  
Date

This report will be issued on a nondiscriminatory basis without regard to race, color, religion, national origin, age, sex, handicap or marital status.

### FOR OFFICE USE ONLY

**NRI#** \_\_\_\_\_ **Date initially rec'd** \_\_\_\_\_ **Date all rec'd** \_\_\_\_\_ **Board Meeting** \_\_\_\_\_  
**Fee Due \$** \_\_\_\_\_ **Fee Paid \$** \_\_\_\_\_ **Check #** \_\_\_\_\_ **Over/Under Payment** \_\_\_\_\_ **Refund Due** \_\_\_\_\_



#### SITE DATA:

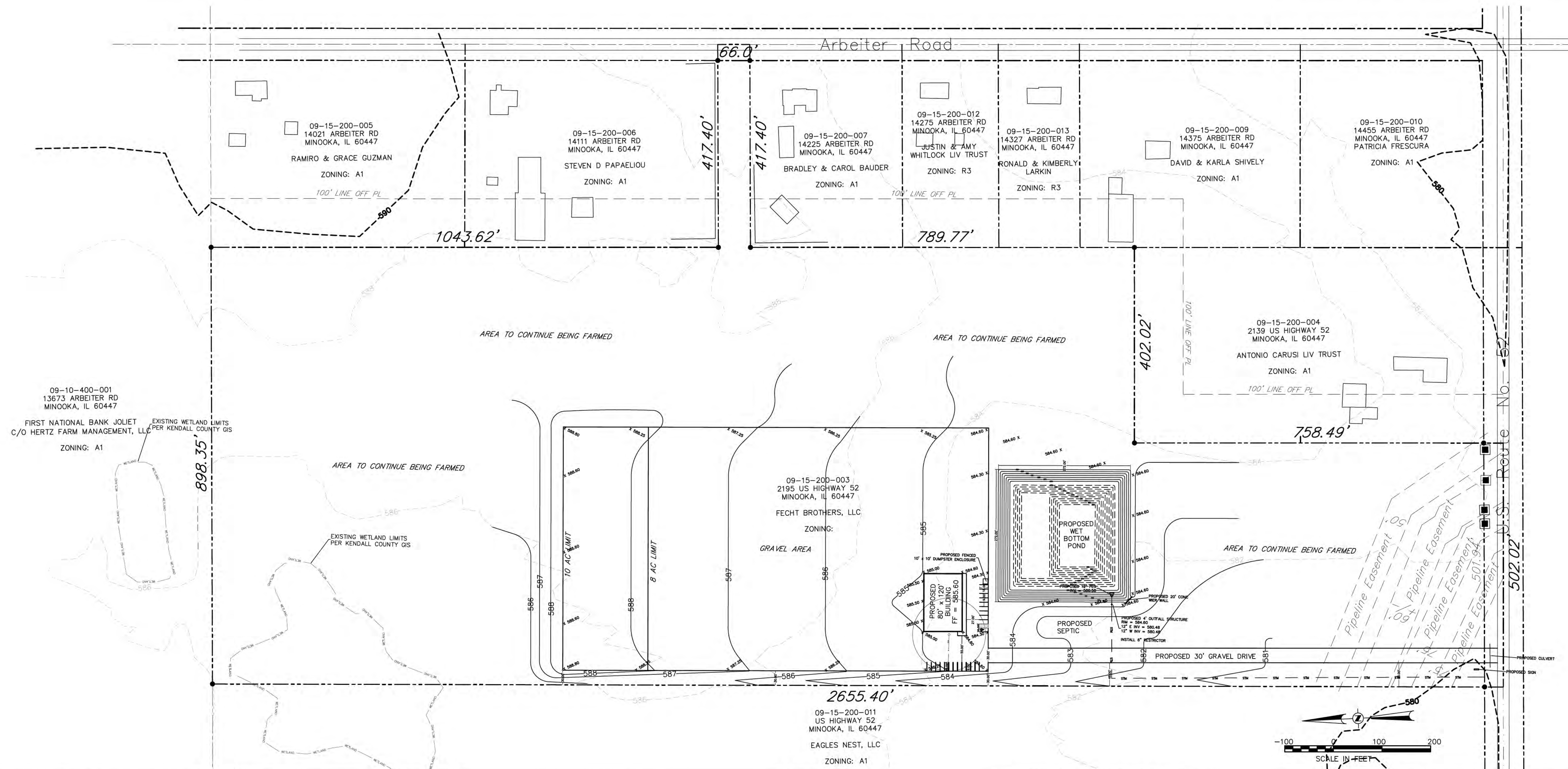
Total Site Area:	48.59 ac.
Current Zoning:	A1
Proposed Zoning:	A1-SU
Current Land Use:	Agriculture
Proposed Land Use:	Improved Agricultural

**PARKING:**

Provided Parking Stalls	21 stalls
Required Parking Stalls	20 stalls
Provided Handicap Stalls	1 stalls
Required Handicap Stalls	1 stalls

## IMPERVIOUS AREA TABLE:

Total Site Area:	48.59 ac. 2,116,580 sf
Existing Impervious:	0 s.f.
Existing Landscape:	2,116,580 s.f.
Proposed Building:	10,704 s.f.
Proposed Gravel:	457,781 s.f.
Total Impervious:	468,485 s.f.
Total Landscape:	1,648,095 s.f.
Percent Impervious Coverage:	22.1%
Percent Landscape Coverage:	77.9%



**TEBRUGGE ENGINEERING**  
410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548  
PHONE: (815) 786-0195      [TEBRUGGEENGINEERING.COM](http://TEBRUGGEENGINEERING.COM)

[illegible]

PREPARED FOR:  
BEST BUDGET TREE SERVICE  
22419 W RENWICK RD, PLAINFIELD, IL

**BEST BUDGET TREE SITE PLAN**

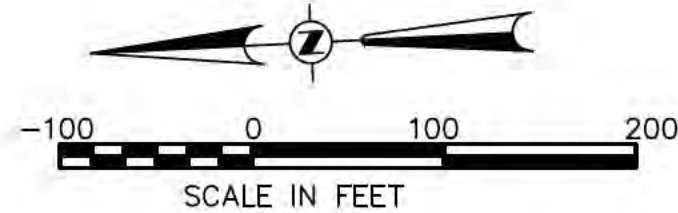
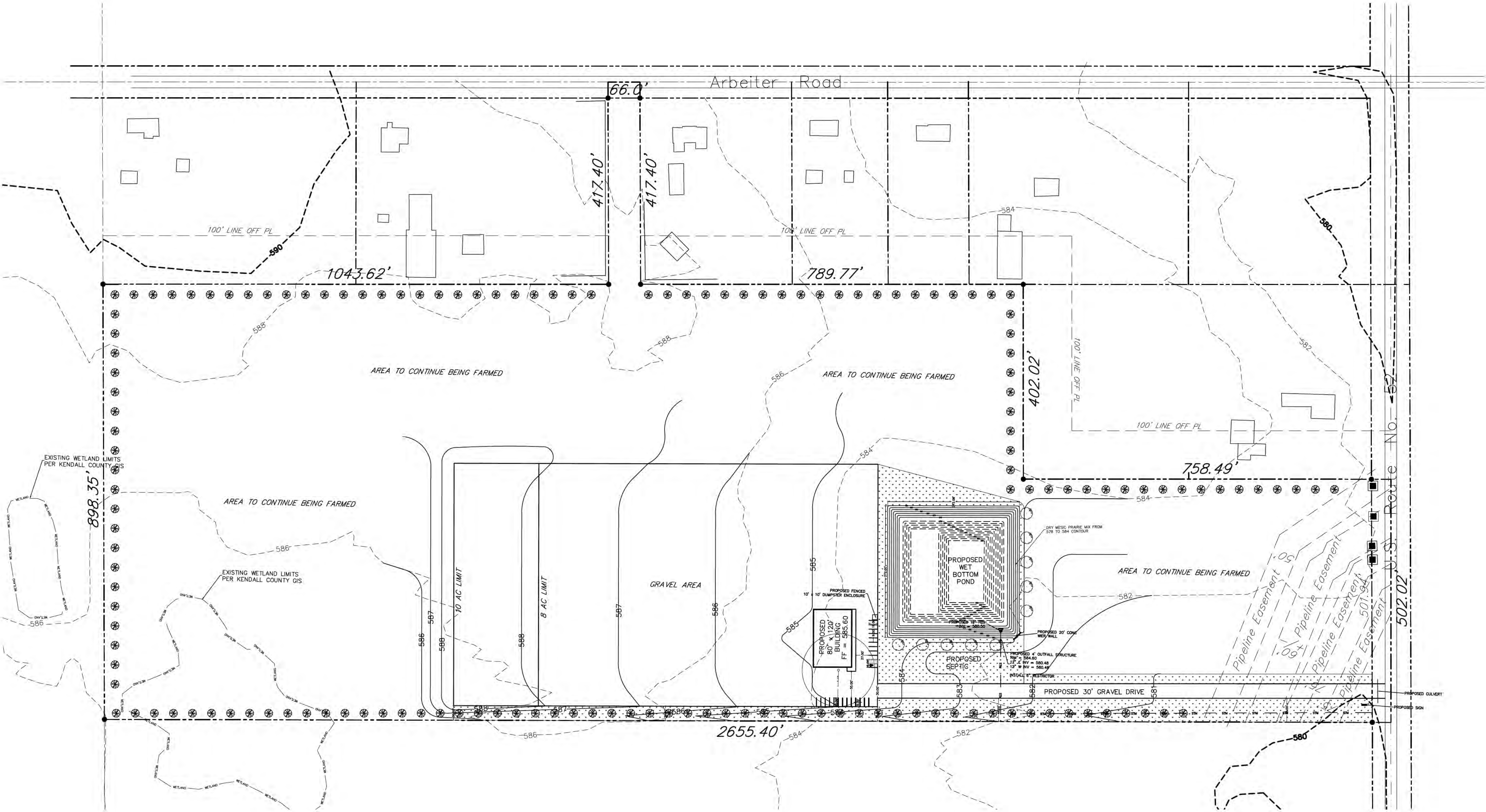
**FINAL PLAN**

PROJECT NO.	22 424 02
SCALE:	1" = 100'
DATE:	APRIL 14, 2022

SHEET NO.  
**1**  
OF 1 SHEET



LANDSCAPE PLAN FOR BEST BUDGET TREE



NO.	DATE	NOTES







# STORMWATER MANAGEMENT PERMIT

Attachment A Page 1  
PERMIT APPLICATION #

Conformance with all Federal, State, and County Regulations is required. Applicants are encouraged to the Countywide Stormwater Management Ordinance and consider a pre-application meeting with Department staff prior to submittal. See attached highlights of regulations.

Property: Name Best Budget Tree Service - Jeremy & Samantha Dippold  
Owner Address 22419 W Renwick Rd, Plainfield, IL 60544  
Phone 815-685-2444  
Agent: Name John Tebrugge - Tebrugge Engineering  
Address 410 E Church St, Ste A, Sandwich, IL 60548  
Phone 815-786-0195  
Site: Address or Location 2195 US Highway 52, Minooka, IL 60447  
Tax Parcel # 09-15-200-003  
Zoning/Land Use/Acres A1/Agricultural/48.59

## Proposed Development:

Construct a 10,700 s.f. building and a gravel area for materials storage. Construct a gravel entry drive and a wet bottom detention pond for stormwater.

Attachments: Plat X Construction Plans X  
Soils \_\_\_\_\_ Landscaping X  
Grading X Phasing \_\_\_\_\_  
Other \_\_\_\_\_

Fees \$ 50 Processing Fee (\$50.00)  
\$ 1200 Engineering Review Deposit (\$1,200.00 or 2% of estimated cost of the proposed improvements, whichever is greater.)  
TOTAL \$ 1250 One check is acceptable made out to the Kendall County Treasurer

Staff will contact Applicant regarding schedule and reviews.

I hereby certify that the information on this application, on the documents attached, and on other submittals made during the review process is true and correct; that I am authorized to file this application; and that I agree to conform to all requirements set forth by the County and all conditions of the County Stormwater Management Ordinance. I understand that by signing this form, that the property in question may be visited by County Staff and County Engineers throughout the permit and construction process. I also understand that I am responsible for all costs associated with this application.

Owner's Signature \_\_\_\_\_ Date 4-19-22

Agent's Signature \_\_\_\_\_ Date 4/19/22

Kendall County Planning, Building, & Zoning Department

111 West Fox Street, Room 203

Yorkville, Illinois 60560

Phone: (630) 553-4139, Fax (630) 553-4179

[www.co.kendall.il.us](http://www.co.kendall.il.us)



# ENGINEERING PLANS FOR BEST BUDGET TREE SITE PLAN

SECTION 15, TOWNSHIP 35 NORTH , RANGE 8 EAST  
2195 US HIGHWAY 52  
MINOOKA, IL 60447  
KENDALL COUNTY  
APRIL, 2022

LEGEND		
	PROPERTY BOUNDARY	
	EXISTING CONTOUR LINE	
	EXISTING STORM SEWER	
	EXISTING SANITARY SEWER LINE	
	EXISTING WATERMAIN	
	EXISTING UNDERGROUND ELECTRIC	
	EXISTING OVERHEAD ELECTRIC	
	EXISTING GAS SERVICE	
	EXISTING TELEPHONE	
	PROPOSED CONTOUR LINE	
	PROPOSED WATERMAIN	
	PROPOSED STORM SEWER	
	PROPOSED SANITARY SEWER LINE	
	PROPOSED GREASE SERVICE LINE	
	PROPOSED VENT LINE	
	EXISTING FENCELINE	
	PROPOSED SILT FENCE	
	EXISTING SPOT SHOT	
	PROPOSED SPOT GRADE	
	WATER:	
	B-BOX	
	HYDRANT	
	VALVE	
	VALVE VAULT	
	STORM:	
	INLET-CURB	
	INLET OR MANHOLE	
	FLARED END SECTION	
	SANITARY:	
	CLEANOUT	
	MANHOLE	
	R.O.W. MONUMENT	
	PROPERTY PIN	
	P.K. NAIL	
	CHISELED MARK	
	BENCHMARK	
	HUB & TACK	
	SOIL BORING	
	OVERLAND RELIEF	
	FLOW DIRECTION	
	UTILITY POLE	
	GUY WIRE LOC.	
	UTIL. CABINET	
	UTIL. PEDESTAL	
	LIGHT POLE	
	TRAFFIC SIGNAL	
	ELECTRIC VAULT	
	GAS VALVE	



Know what's below.  
Call before you dig.

Contractor and/or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.I.E. (Joint Utility Locating for Excavators) at 1-800-892-0123 or dial 811.

#### UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

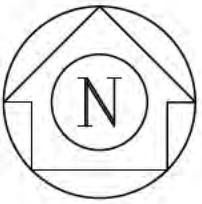
#### TOPOGRAPHY STATEMENT

EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY TEBRUGGE ENGINEERING. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

#### INDEX TO SHEETS

1. COVER SHEET
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. STORMWATER POLLUTION & PREVENTION PLAN 1
4. STORMWATER POLLUTION & PREVENTION PLAN 2
5. OVERALL CIVIL SITE PLANS
6. CIVIL SITE PLAN I
7. CIVIL SITE PLAN II
8. GENERAL NOTES & DETAILS

PROJECT  
LOCATION



#### LOCATION MAP



#### BENCHMARKS:

1. KENDALL COUNTY GIS 2' CONTOUR MAPS

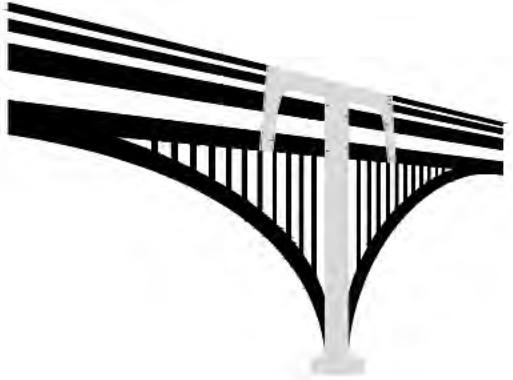
#### PLANS PREPARED FOR:

BEST BUDGET TREE SERVICE  
22419 W RENWICK RD  
PLAINFIELD, IL 60544  
PHONE: (815) 685-2444  
EMAIL: BESTBUDGETTREE@YAHOO.COM

#### CIVIL ENGINEER:

TEBRUGGE ENGINEERING  
410 E CHURCH ST - SUITE A  
SANDWICH, ILLINOIS 60548  
(815) 786-0195

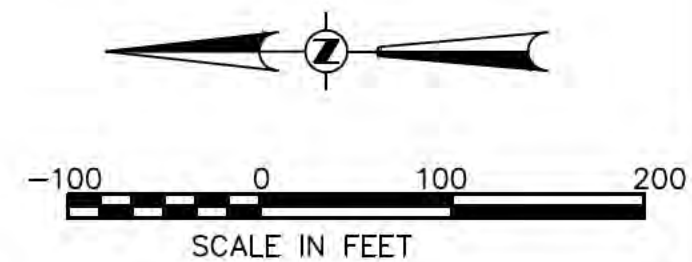
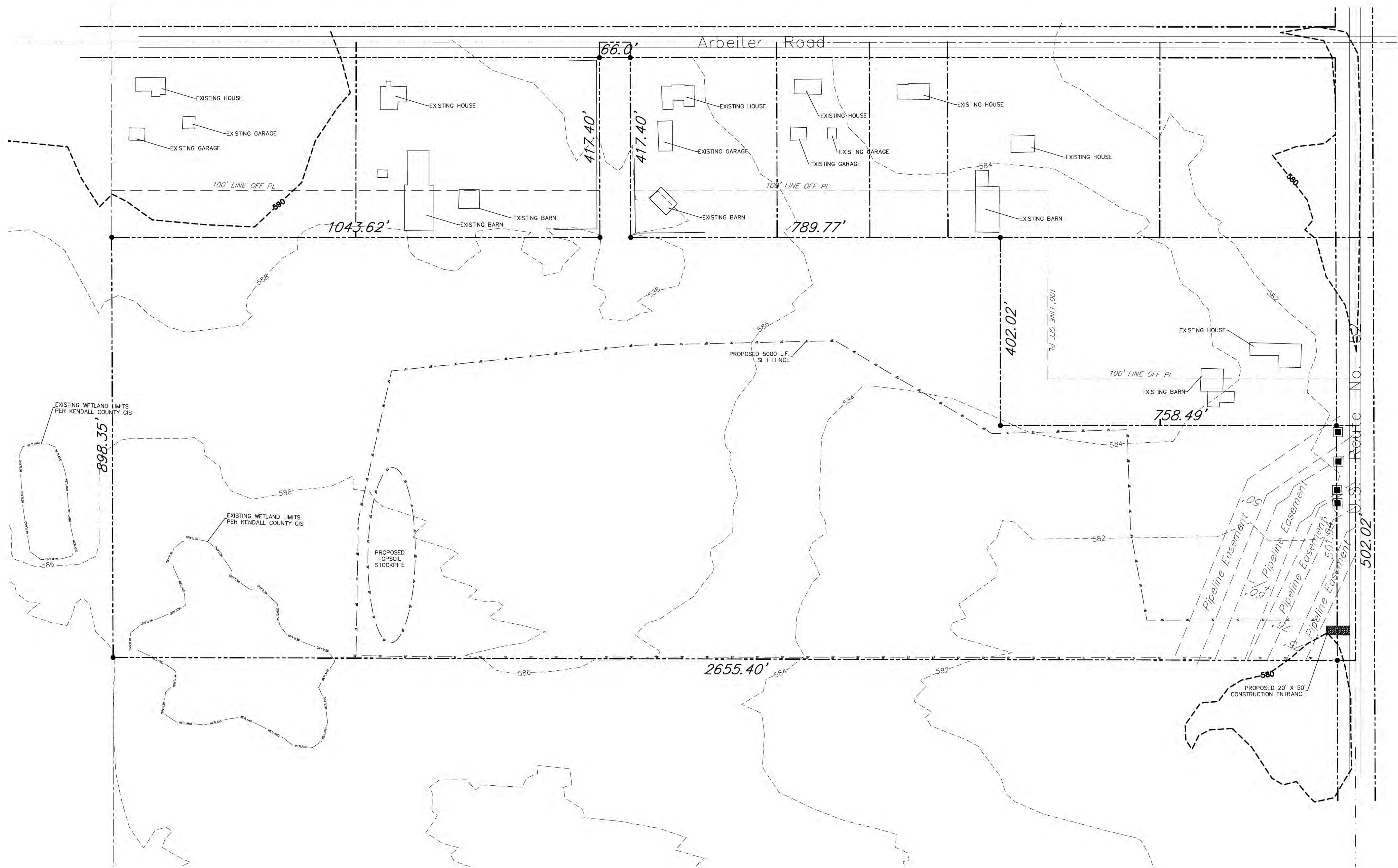
INFO@TEBRUGGEENGINEERING.COM  
WWW.TEBRUGGEENGINEERING.COM



**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

REVISIONS	NO.	DATE	NOTES





REVISIONS	NO.	DATE	NOTES







**1. GENERAL NOTES & DESCRIPTIONS**

The Storm Water Pollution Prevention Plan (SWPPP) includes, but is not limited to the Erosion and Demolition Plan included in the Engineering Plans with the Detail Sheet, the Notice of Intent, Permit Authorization, General Permit, Notice of Termination, all records of inspection and activities which are created during the course of the project, and other documents as may be required by reference to this SWPPP. Changes, modifications, revisions, additions, or deletions shall become part of this SWPPP as they occur.

- All Contractors and sub-contractors that are responsible for implementing and measure of the SWPPP must be identified and must certify this SWPPP by signing the SWPPP certification in accordance with Part V.G (Signatory Requirements) of the ILRI0 Permit.

All signed certifications must be kept with the SWPPP documents and be available for inspection.

The Contractor and all sub-contractors involved with construction activity that disturbs site soil or who implement a pollutant control measure identified in the Storm Water Pollution Prevention Plan must comply with the following requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit, the NPDES Permit No. ILRI0 for the State of Illinois and any local governing agency having jurisdiction concerning erosion and sediment control.

- GENERAL PERMIT INFORMATION**  
All construction sites that will result in the disturbance of one acre or more must be permitted under the Illinois General NPDES Permit. The Notice of Intent (NOI) has been submitted at the address below. The NOI is for the onsite and offsite improvements. The NPDES Permit will be issued 30 days after the postmark date of the submittal of the NOI and initial yearly fee.

Permit Information: The Owner has mailed the Owner-signed NOI form and the initial yearly fee of \$500 to the address listed below. The Contractor will be responsible for submitting each subsequent \$500 yearly fee, if applicable. A copy of the signed NOI form will be supplied to the Contractor.

Unless notified by the Illinois Environmental Protection Agency (EPA) to the contrary, construction activities may begin in accordance with this SWPPP and the ILRI0 in 30 days following the post mark date of the NOI.

Transfer Information: If a portion of the property is sold, that new Owner may obtain their own general permit by submitting a separate NOI. The original NOI may then be modified by re-submitting the NOI with update acreage and checking the box "change of information". Also include documentation explaining that a lot has been sold, the acreage difference and the date of sale. There is no fee involved with modifying the NOI.

There are no requirements for a pre-construction meeting from any of the reviewing agencies.

**Agency Information:**

Illinois Environmental Protection Agency  
Division of Water Pollution Control  
1021 North Grand Avenue East  
Springfield, Illinois 62794-9276  
Phone: (217) 782-0510

Kendall County  
Planning, Building & Zoning  
111 West Fox Street  
Yorkville, Illinois 62556  
Phone: (630) 553-4141

**B. PUBLIC POSTING**

The following documents will be supplied to the contractor and must be posted on the Entrance Sign in a prominent place for public viewing until termination of permit coverage has been obtained by filing the Notice of Termination (NOT).

- Notice of Intent signed in accordance with ILRI0.
- Permit Authorization from the Illinois Environmental Agency (EPA).
- Construction Site Notice.

The location of the SWPPP must be clearly visible.

**C. RETENTION OF RECORDS**

A complete copy of the SWPPP, including copies of all inspection reports, plan revisions, etc., must be retained at the project site at all times during the duration of the project (until NOT is filed) and kept in the permanent project records of the Contractor for at least three years following submittal of the Notice of Termination (NOT).

**D. CONTRACTOR/SUB-CONTRACTOR LIST**

The Contractor must provide names and addresses of all sub-contractors working on this project who will be involved with the major construction activities that disturb site soil. This information must be kept with the SWPPP.

**E. CONTRACTOR/SUB-CONTRACTOR CERTIFICATION FORM**

The Contractor and all sub-contractors involved with ground disturbing or installation and maintenance of any Best Management Practice (BMP) on site must sign a copy of the Contractor Certification that will be supplied to the Contractor. This information must be kept with the SWPPP.

**F. INSPECTIONS**

At least once every seven calendar days and with 24 hours of a 0.5 in rainfall event, inspections by documented Contractor Compliance Officers must be made to determine the effectiveness of the SWPPP. If the State or Local agencies have a required inspection form, the both forms must be completed. The SWPPP, including the best management practices implemented on the jobsite, shall be modified as needed to reduce or prevent pollutants from discharging from the site.

An example BMP Inspection Form will be supplied to the Contractor.

A delegation of authority letter authorizing the Contractor Compliance Officer to sign the inspection forms will also be supplied to the Contractor.

The Inspector must be a person familiar with the site, the nature of major construction activities, and qualified to evaluate both overall system performance and individual component performance. The Inspector must either be someone empowered to implement modifications to this SWPPP and the pollutant control devices, if needed, in order to increase effectiveness to an acceptable level, or someone with the authority to cause such changes to happen. Additionally, the inspector shall be properly authorized in accordance with the applicable General Permit to conduct the certified site storm water inspections.

See Section VII on this sheet for further reporting requirements.

**G. SWPPP UPDATES & AMENDMENTS**

This SWPPP must be updated each time there are significant modifications to the pollution prevention system or a change of Contractor's working on the project that disturb site soils. The SWPPP must be amended as necessary during the course of construction in order to keep it current with the pollutant control measures utilized on the site. Amending the SWPPP does not mean that it has to be reprinted. It is acceptable to add addenda, sketches, new sections, and/or revised drawings. The site map showing the locations of all storm water controls must be posted on the site and updated to reflect the progress of construction and changes to the SWPPP. Any control measure that has a hydrologic design component must be updated or amended by the Engineer. Substitution of sediment control BMPs beyond those specified in the SWPPP is considered a hydrologic design component.

**H. DISCHARGE OF PETROLEUM PRODUCTS OR HAZARDOUS SUBSTANCES**

Discharge of Petroleum products or other hazardous substances into storm water or the storm water (storm sewer) system is subject to reporting and clean up requirements. See section V.B. of the SWPPP for State and local information on reporting spills. Refer to the General Permit for additional information.

**I. NOTICE OF TERMINATION**

Once the site reaches final stabilization as defined in the General Permit, with all permanent erosion and sedimentation controls installed and all temporary erosion and sedimentation controls removed, the Contractor and Owner's representative must complete a final inspection. Upon approval by the Owner's representative, the Owner and Contractor, as applicable, must complete and submit a NOT.

**J. CONTRACTORS RESPONSIBILITY**

This SWPPP intends to control water-borne and liquid pollutant discharges by some combination of interception, sedimentation, filtration, and containment. The Contractor and sub-contractors implementing this SWPPP must remain alert to the need to periodically refine and update the SWPPP in order to accomplish the intended goals. The Contractor is ultimately responsible for all site conditions and permit compliance.

**K. LOG OF CONSTRUCTION ACTIVITY**

A record of dates when major ground-disturbing activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated or completed must be maintained until the NOT is filed. A log for keeping such records is included. Controls must be in place down gradient of any ground-disturbing activities prior to the commencement of construction and noted on the Site Map and Record of Stabilization and Construction Activity Dates.

**2. INTRODUCTION**

This SWPPP includes the elements necessary to comply with the natural baseline general permit for construction activities administered by the US Environmental Protection Agency (EPA) under the National Pollutant Discharge Elimination System (NPDES) program, the NPDES Permit No. ILRI0 for the State of Illinois, and all Local governing agency requirements. This SWPPP must be implemented at the start of construction.

Construction phase pollutant sources anticipated at the site are disturbed (bare) soil, vehicle fuels and lubricants, chemicals associated with construction, and building materials. Without adequate control there is a potential for each type of pollutant to be transported by storm water. Project construction will consist primarily of site grading, utility service connections, and site paving to facilitate construction.

**A. PURPOSE**

A major goal of pollution prevention efforts during project construction is to control soil and pollutants that originate on the site and prevent them from flowing to surface waters. The purpose of this SWPPP is to provide guidelines for achieving that goal. A successful pollution prevention program also relies upon careful inspection and adjustments during the construction process in order to enhance its effectiveness.

**B. SCOPE**

This SWPPP must be implemented before construction begins on the site. It primarily addresses the impact of storm rainfall and runoff on areas of the ground surface disturbed during the construction process. In addition, there are recommendations for controlling other sources of pollution that could accompany the major construction activities. The SWPPP will terminate when disturbed areas are stabilized, permanent erosion and sedimentation controls are installed, temporary erosion and sedimentation controls are removed, construction activities covered herein have ceased, and a completed Notice of Termination (NOT) is transmitted to the governing agency.

**3. PROJECT DESCRIPTION**

Described below are the major construction activities that are subject of this SWPPP. Also included in the sequence are BMP installation activities that must take place prior to construction activities. NOTE: Down slope protective measures must always be in place before soil is disturbed. Activities are presented in the order (sequence) they are expected to be completed.

All activities and time frames (beginning and ending dates) shall be noted on the Site Map. The sequence of construction is as follows:

Upon implementation and installation of the following areas: trailers, parking, lay down, porta-potty, wheel wash, concrete washout, mason's area, fuel and material storage containers, solid waste containers, etc., immediately denote them on the Site Maps and note any changes in location as they occur throughout the construction process.

Typical Stage of Construction, Items shall be added or deleted as needed for each individual project.

**Phase I**

- Install stabilized construction entrance and SWPPP Entrance Sign.
- Install silt fence(s) on the site (clear only those areas necessary to install silt fence).
- Prepare temporary parking and storage area.
- Install and stabilize hydraulic control structures (dikes, saddles, check dams, etc.).
- Begin grading the site.
- Start construction of building pad and structures.

**Phase II**

- Temporarily seed, throughout construction, denuded areas that will be inactive for 14 days or more.
- Install utilities, underdrains, storm sewers, curbs and gutters.
- Install inlet protection at all storm sewer structures as each inlet structure is installed.
- Permanently stabilize areas to be vegetated as they are brought to final grade.
- Prepare site paving.
- Final site paving.
- Install appropriate inlet protection devices for paved areas as work progresses.
- Complete grading and installation or permanent stabilization of all areas including outlets.
- Call Engineer after the site appears to be fully stabilized for inspection.
- Remove all temporary erosion and sediment control devices after approval of the Engineer and stabilize any areas disturbed by the removal of the BMP.

NOTE: The Contractor may complete construction-related activities concurrently only if all preceding BMPs have been completely installed.

The actual schedule for implementing pollutant control measures will be determined by project construction progress and recorded by the Contractor on the Soil Erosion/Sediment Control Operation Time Schedule on the Erosion and Sediment Control Plans. Down slope protective measures must always be in place before soil is disturbed.

**4. SITE DESCRIPTION**

- Site description  
Site construction activities consist of general site clearing construction of gravel access drive, building construction, gravel storage area, and wet bottom detention pond.
- Total area of site is 48.59 acres.  
Total disturbed area on site is 22.79 acres
- Estimated site runoff coefficient after construction activities are complete: CN=80.
- Site map included indicating existing & proposed slopes across site is included in SWPPP.
- Site drainage is received by Aux Sable Creek located west of the development.

**5. STORM WATER POLLUTION PREVENTION MEASURES AND CONTROLS**

A variety of storm water pollutant controls are recommended for this project. Some controls are intended for function temporarily and will be used as needed for pollutant control during the construction process. These include temporary sediment barriers and permanent storm retention ponds (which can also function as temporary sediment basins). Permanent stabilization will be accomplished in all disturbed areas by covering the soil with pavement, building foundation, vegetation, or other forms of soil stabilization.

**A. EROSION AND SEDIMENT CONTROLS****1. Soil Stabilization**

The purpose of soil stabilization is to prevent soil from eroding and leaving the site. In the natural condition, soil is stabilized by native vegetation. The primary technique to be used at this project for stabilizing site soils will be to provide a protective cover of grass, pavement, or building structures.

- Temporary Seeding or Stabilization** – All denuded areas that will be inactive for 14 days or more, must be stabilized temporarily with the use of fast-germinating annual grass/grain varieties, straw/hay mulch, wood cellulose fibers, tackifiers, netting or blankets.

- Permanent Seeding or Sodding** – All areas at final grade must be seeded or sodded within 14 days after completion of work in any area. The entire site must have permanent vegetative cover established in all areas not covered by hardscape at the completion of all soil disturbing activities on site. Except for small level spots, seeded areas should generally be protected with mulch or a rolled erosion control product. All areas to be seeded will have topsoil and other soil amendments as specified on the Landscape Plan.

**2. Structural Controls**

- Silt Fence** – Silt Fence is a synthetic permeable woven or non-woven geotextile fabric incorporating metal support stakes at intervals sufficient to support the fence (2-foot maximum distance between posts), water, and sediment retained by the fence. The fence is designed to retain sediment–laden storm water and allow settlement of suspended solids before the storm water flows through the fabric and discharges off-site. Silt fence shall be located on the contour to capture overland, low-velocity sheet flows. The Contractor may utilize triangular silt dikes and/or non-wire backed silt fence as intermediate BMPs. Install silt fence at a fairly level grade along the contour with the ends curved uphill to provide sufficient upstream storage volume for the anticipated runoff. Drainage areas shall not exceed 1 acre per 100 feet of silt fence for slopes less than 2 percent.

- Construction Exit** – All access points from the public street into the construction site shall include a construction exit composed of coarse stone to the dimensions shown on the Existing Conditions and Demolition Plan. The rough texture of the stone helps to remove clumps of soil adhering to the construction vehicles tires through the action of vibration and jarring over the rough surface and the friction of the stone matrix against soils attached to vehicle tires.

- In addition to the stone at the construction exit, it may be necessary to install devices such as pipes (cattle guard) to increase the vibration and jarring. It may also be necessary to install a wheel wash system. If this is done, a sediment trap control must be installed to treat the wash water before it discharges from the site.**

- All site access must be confined to the Construction Exit(s). Baricade, installed to prevent use, any locations other than Construction Exit(s) where vehicles or equipment may access the site.**

- Storm Sewer Inlet Protection** – Curb and graded inlets are protected from the intrusion of sediment through a variety of measures as shown on the details included in the Construction drawings. The primary mechanism is to place controls in the path of flow sufficient to slow the sediment–laden water to allow settlement of suspended solids before discharging into the storm sewer. It is possible that as construction progresses from storm sewer installation through paving that the inlet protection devices should change. All inlet protection devices create ponding of storm water. This should be taken into consideration when deciding on which device or devices should be used.

- Inspection and any necessary cleaning of the underground storm system shall be included as part of this swpp.**

Final site stabilization is achieved when perennial vegetative cover provides permanent stabilization with a density greater than 70 percent over the entire area to be stabilized by vegetative cover. This is exclusive of areas paved, seeded, or having a building on them.

**B. OTHER POLLUTANT CONTROLS**

This section includes the controls of pollutants other than sediment and additional requirements of the General Permit.

**1. Dust Control**

Construction traffic must enter and exit the site at the stabilized construction exit. Water trucks or other dust control agents will be used as needed during construction to reduce dust generated on the site. Dust control must be provided by the Contractor to a degree that is in compliance with applicable Local and State dust control regulations.

**2. Solid Waste Disposal**

No solid materials, including building materials, are allowed to be discharged from the site with storm water. All solid waste, including disposable materials incidental to the major construction activities, must be collected and placed in containers. The containers will be emptied as necessary by a contract trash disposal service and hauled away from the site. Covers for the containers will be provided as necessary to meet State and Local requirements. The location of solid waste receptacles shall be shown on the Site Maps.

Substances that have the potential for polluting surface and/or groundwater must be controlled by whatever means necessary in order to ensure that they do not discharge from the site. On site, special care must be exercised during equipment fueling and servicing operations. If a spill occurs, it must be contained and disposed of so that it will not flow from the site or enter groundwater, even if this requires removal, treatment, and disposal of soil. In this regard, potentially polluting substances should be handled in a manner consistent with the impact they represent.

**3. Sanitary Facilities**

All personnel involved with construction activities must comply with State and Local sanitary or septic regulations. Temporary sanitary facilities will be provided at the site throughout the construction phase. They must be utilized by all construction personnel and will be serviced by a commercial contractor. The location of sanitary facilities shall be shown on the Site Map.

**4. Non-Storm Water Discharge**

Non-storm water components of site discharges are not permitted under ILRI0 except as follows: discharges from fire fighting activities; fire hydrant flushings; water used to wash vehicles where detergents are not used; waters used to control dust; potable water sources including uncontaminated waterline flushings; irrigation discharges; routine external building washdowns; site, not use detergents; pavement washdowns where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used; air conditioning condensate; springs, uncontaminated ground water; and foundation or footing drains where flows are not contaminated with process materials such as solvents.

Discharge of excess or waste concrete and/or wash water from concrete trucks will be allowed on the construction site, but only in specifically designated diked areas prepared to prevent contact between the concrete and/or wash water and storm water that will be discharged from the site. Alternatively, waste concrete can be placed into forms to make rip rap or other useful concrete products. The cured residue from the concrete washout diked areas shall be disposed in accordance with applicable State and Federal regulations. The jobsite superintendent is responsible for ensuring these procedures are followed. The location of concrete washout areas shall be shown on the Site Maps.

**5. Mason's Area**

Contractor shall identify mason's area on the site and indicate location on the Site Map. To the extent practical, all masonry tools, material, including sand and sacked cement or mortar materials, and equipment shall be located within the area identified. Runoff control, such as berms or diversion ditches, silt fence, straw wattles, or other means of containment shall be provided to prevent the migration of storm water pollutants in runoff from the mason's area. Recreates for debris and trash disposal shall also be provided.

**7. Fuel Tanks**

Temporary on-site fuel tanks for construction vehicles shall meet all State and Federal regulations. Tanks shall have approved spill containment with the capacity required by the applicable regulations. The tanks shall be in sound condition free of rust or other damage which might compromise containment. Fuel storage areas will meet all EPA, OSHA and other regulatory requirements for storage, fire extinguishers, etc. Hoses, valves, fittings, caps, filler nozzles and associated hardware shall be maintained in proper working condition at all times. The location of fuel tanks shall be shown on the Site Maps.

A Spill Prevention, Control and Countermeasure (SPCC) Plan must be developed if aboveground oil storage capacity at the construction site exceeds 1,320-gallons. Containers with storage capacity of 55-gallons or less are not included when calculating site storage capacity. The Contractor shall work with the Civil Engineering Consultant to develop and implement a SPCC Plan in accordance with the Oil Pollution Prevention regulation at Title 40 of the Code of Federal Regulations, Part 112, (40 CFR 112).

**8. Hazardous Material Management and Spill Reporting Plan**

Any hazardous or potentially hazardous material that is brought onto the construction site will be handled properly in order to reduce the potential for storm water pollution. All materials used on this construction site will be properly stored, handled, disposed and disposed of following all applicable label directions. Material Safety Data Sheets (MSDS) information will be kept on site for any and all applicable materials.

In the event of an accidental spill, immediate action will be undertaken by the Contractor to contain and remove the spilled material. All hazardous materials will be disposed of by the Contractor in the manner specified by Federal, State and Local regulations and by the manufacturer of such products. As soon as possible, the spill will be reported to the appropriate agencies. As required under the provisions of the Clean Water Act, any spill or discharge entering waters of the United States will be properly reported. The Contractor will prepare a written record of any spill of petroleum products or hazardous materials in excess of reportable quantities and will provide notice to Owner within 24-hours of the occurrence of the spill.

Any spills of petroleum products or hazardous materials in excess of Reportable Quantities as defined by EPA shall be immediately reported to the EPA National Response Center (1-800-424-8802). In addition, 35 IL Adm. Code 750.410 requires notification of IMA (1-800-782-7860). Reportable chemical spill quantities are those listed for hazardous substances under Superfund, or as extremely hazardous substances under the Superfund Reauthorization and Amendments Act of 1986 (SARA), the emergency planning statute which also establishes threshold planning quantities (22 IL Adm. Code 430.30). Oil spills are reportable if they must be reported under the Federal Water Pollution Control Act. This generally includes spills that are in excess of 25 gallons and/or "may be harmful to the public health or welfare" (40 CFR 110). Harmful discharges include those that (1) violate applicable water quality standards, or (2) leave a film on the water or adjoining shorelands or cause a sludge or emulsion to be deposited beneath the water surface or on adjoining shorelands. The reportable quantity for hazardous materials can be found in 40 CFR 302 or by contacting the IMA (1-800-785-9888).

In order to minimize the potential for a spill of petroleum product or hazardous materials to come in contact with storm water, the following steps will be implemented:

- All materials with hazardous properties (such as pesticides, petroleum products, fertilizers, detergents, construction chemicals, acids, paints, paint solvents, additives for soil stabilization, concrete, curing compounds and additives, etc.) will be stored in a secure location, under cover, when not in use.
- The minimum practical quantity of all such materials will be kept on the job site and scheduled for delivery as close to time of use as practical.

- A spill control and containment kit (containing for example, absorbent material such as kitty litter or sawdust, acid neutralizing agent, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be provided at the storage site.

- All of the products in a container will be used before the container is disposed of. All such containers will be triple rinsed, with water prior to disposal. The rinse water will be disposed of in a manner in compliance with State and Federal regulations and will not be allowed to mix with storm water discharges.

- All products will be stored in and used from the original container with the original product label.

- All products will be used in strict compliance with instructions on the product label.

- The disposal of excess or used products will be in strict compliance with instructions on the product label.

- Long Term Pollutant Controls**  
Storm water pollutant control measures installed during construction, that will also provide storm water management benefits after construction, include turf areas in sufficient quantity so as to provide a site impervious ratio (ISR) of 0.76.

**C. CONSTRUCTION PHASE "BEST MANAGEMENT PRACTICES" (BMP)**

During the construction phase, the Contractor shall implement the following measures:

- Materials resulting from the clearing and grubbing or excavation operations shall be stockpiled up slope from the site and below the site. Materials removed to an off-site location shall be protected with appropriate controls and property permitted.

- The Contractor shall designate areas on the Site Map for equipment cleaning, maintenance, and repair. The Contractor and sub-contractors shall utilize such designated areas. Cleaning, maintenance, and repair areas shall be protected by a temporary perimeter barrier not less than 150 feet from any waterway, water body or wetland, and in areas located as far as practical from storm water inlets.

- Use of detergents for large scale washing is prohibited (i.e. vehicles, buildings, pavement, surfaces, etc.).

- Chemicals, paints, solvents, fertilizers, and other toxic materials must be stored in waterproof containers. Except during application, the containers, the contents must be kept in trucks or within storage facilities. Runoff containing such material must be collected, removed from the site, treated, and disposed of at an approved solid waste and chemical disposal facility.

**D. OFF-SITE FACILITIES IN THE OPERATIONAL CONTROL OF THE CONTRACTOR**

Whenever dirt, rock, or other materials are imported to the construction site or exported for placement in areas off of the primary construction site, the Contractor is responsible for determining that all storm water permitting and pollution control requirements are met for each site which receives such materials or from which site materials are taken. Prior to the disturbance of any such site, Contractor will confirm that the operators of the site they are importing to or exporting from have properly obtained all required permits, and will comply with all laws, regulations and permit conditions applicable to such sites.

At a minimum, each off-site area that provides or receives material or is disturbed by project activities must implement erosion and sediment control measures consisting of perimeter controls on all down slope and side slope boundaries and must also provide for both temporary stabilization and for permanent re-vegetation after all disturbances have ended.

**4. LOCAL PLANS**

In addition to this SWPPP, construction activities associated with this project must comply with any guidelines set forth by Local regulatory agencies. The Contractor shall maintain documents evidencing such compliance in this SWPPP.

**5. INSPECTIONS AND SYSTEM MAINTENANCE**

Between the time this SWPPP is implemented and final Notice of Termination has been submitted, all disturbed areas and pollutant controls must be inspected weekly and within 24 hours of the end of a storm event 0.5 inches or equivalent rainfall. The purpose of site inspections is to assess performance of pollutant controls. The inspections will be conducted by the Contractor's Site Superintendent. Based on these inspections, the Contractor will decide whether it is necessary to modify this SWPPP, add or relocate controls, or revise implementation of additional Best Management Practices in order to prevent pollutants from leaving the site via storm water runoff. The Contractor has the duty to cause personnel responsible for the BMPs to be repaired, modified, supplemented, or take additional steps as necessary in order to achieve effective pollutant control.

Examples of specific items to evaluate during site inspections are listed below. This list is not intended to be comprehensive. During each inspection, the inspector must evaluate overall pollutant control system performance as well as particular details of individual system components. Additional factors should be considered as appropriate to the circumstances.

**A. CONSTRUCTION EXIT AND TRACK OUT**

Locations where vehicles enter and exit the site must be inspected for evidence of off-site sediment tracking. A stabilized construction exit shall be constructed where vehicles enter and exit. Edits shall be maintained or supplemented with additional rock as necessary to prevent the release of sediment from vehicles leaving the site. Any sediment deposited on the roadway shall be swept as necessary throughout the day or at the end of every day and disposed of on an appropriate manner. Sediment shall NOT be washed into storm sewer systems.

**B. SEDIMENT CONTROL DEVICES**

Sediment barriers, traps and basins must be inspected and they must be cleaned out at such time as their original capacity has been reduced by 50 percent. All material excavated from behind sediment barriers or in traps and basins must be incorporated into on-site soils or spread out on an upland portion of the site and stabilized. Additional sediment barriers must be constructed as needed.

**C. MATERIAL STORAGE AREAS**

Inspections shall evaluate disturbed areas and areas used for storing materials that are exposed to rainfall for evidence of, or the potential for, pollutants entering the drainage system or discharging from the site. If necessary, the materials must be covered or original covers must be repaired or supplemented. Also, protective berms must be constructed, if needed, in order to contain runoff from material storage areas. All State and Local regulations pertaining to material storage areas will be adhered to.

**D. VEGETATION**

Grazed areas shall be inspected to confirm that a healthy stand of grass is maintained. The site has achieved final stabilization once all areas are covered with building foundation or pavement, or have a stand of grass with a minimum of 70 percent density or greater over the entire vegetated area in accordance with the General Permit requirements. The vegetative density must be maintained to be considered stabilized. Area must be watered, fertilized, and re-seeded as needed to achieve this requirement.

**E. DISCHARGE POINTS**

All discharge points must be inspected to determine whether erosion and sediment control measures are effective in preventing discharge of sediment from the site or impacts to receiving waters.

The Inspection Report Form must identify all deficiencies, any corrections, whether they are identified during the current inspection or have occurred since the previous inspection, and any additional comments. Based on inspection results, any modification necessary to increase the effectiveness of this SWPPP to an acceptable level must be made immediately but no longer than within 48 hours of inspection. The inspections reports must be complete and additional information should be included fully in the Inspection Report. An instant aspect of the inspection report is the description of additional measures that need to be taken to enhance plan effectiveness. The inspection report must identify whether the site is in compliance with the SWPPP at the time of inspection and specifically identify all incidents of non-compliance.

The Inspection Report Form must summarize the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of this SWPPP, and actions taken in accordance with section 4.b shall be made and retained as part of the plan for at least six years after the date of the inspection. The report shall be signed in accordance with Part V.G of the General Permit.

If any violation of the provisions of this plan is identified during the course of the construction work covered by this plan, the Contractor's Compliance Officer shall complete and file an "Incidence of Noncompliance" (ION) report for identified violation. The Contractor's Compliance Officer shall use forms provided by the IEPA and shall include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted in noncompliance. All reports of noncompliance shall be signed by a responsible authority in accordance with Part V.G of the General Permit. The report of noncompliance shall be mailed to the following address:

Illinois Environmental Protection Agency  
Division of Water Pollution Control  
Attn: Compliance Assurance Section  
1021 North Grand East  
P.O. Box 19276  
Springfield, IL 62794-9276

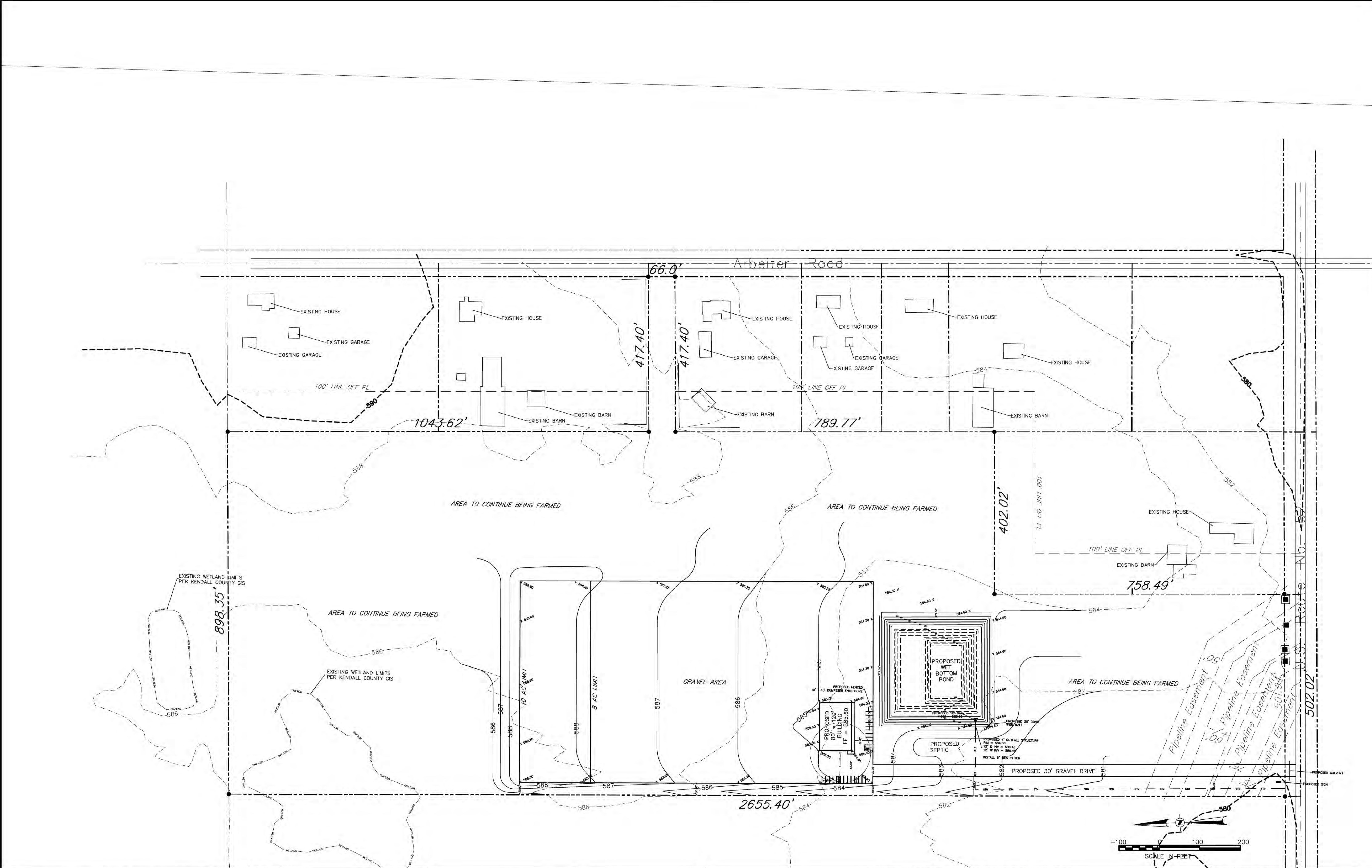
Ultimately, it is the responsibility of the General Contractor to assure the adequacy of site pollutant discharge controls. Actual physical site conditions or Contractor practices could make it necessary to install more structural controls than are shown on the plans. For example, Localized concentrations of runoff could make it necessary to install additional sediment barriers. Assessing the need for additional controls and implementing them or adjusting existing controls will be continuing aspect of this SWPPP until the site achieves final stabilization. Any modification, additions or deletions of sediment control devices must be approved by the Engineer through written communications.

**CONCRETE WASHOUT NOTE:**

CONCRETE WASHOUT SHOULD BE CONTAINED AT ALL TIMES. WASHOUT MATERIAL SHOULD NOT BE ALLOWED TO ENTER WATER BODIES, STORM SEWERS OR LEACH INTO THE SOIL UNDER ANY CIRCUMSTANCES. ANY WASTE SHOULD BE DISPOSED OF PROPERLY AND THE LOCATION OF THE WASHOUT SHOULD BE DESIGNATED WITH PROPER SIGNAGE. FAILURE TO COMPLY COULD RESULT IN AN INCIDENT OF NONCOMPLIANCE (ION).

TEMPORARY CONCRETE WASHOUT FACILITY – EARTHEN TYPE







**TEBRUGGE ENGINEERING**  
410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548  
PHONE: (815) 786-0195    [TEBRUGGEENGINEERING.COM](http://TEBRUGGEENGINEERING.COM)

NO.	DATE	NOTES

PREPARED FOR:  
**BEST BUDGET TREE SERVICE**  
22419 W RENWICK RD, PLAINFIELD, IL

**BEST BUDGET TREE SITE PLAN**  
**OVERALL CIVIL SITE PLAN**

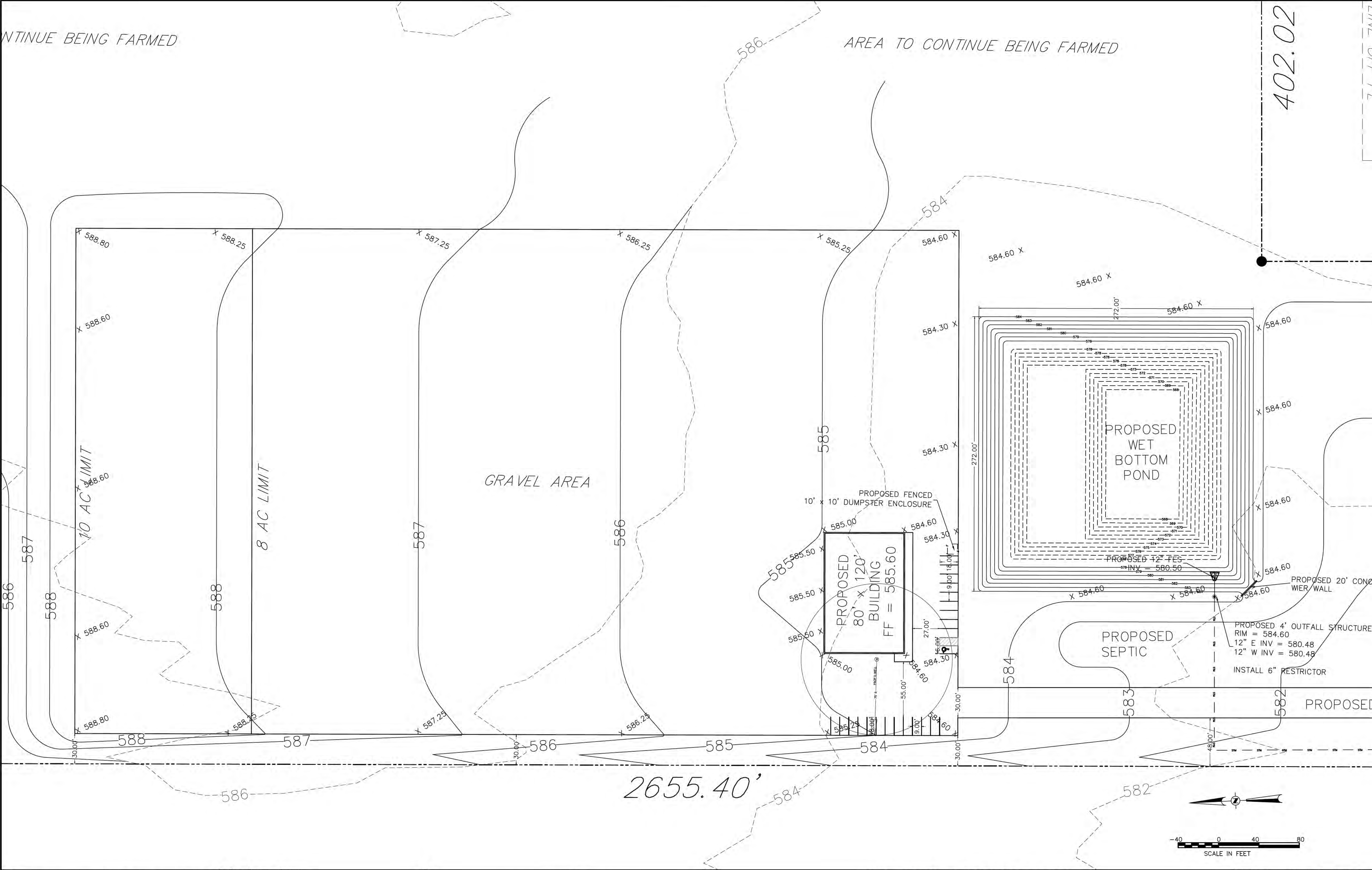
PROJECT NO. 22 424 02  
SCALE: 1" = 100'  
DATE: APRIL 14, 2022

SHEET NO. **5**  
OF 8 SHEETS











## GENERAL CONDITIONS

1. ALL EARTHWORK, ROADWAY WORK, DRAINAGE WORK OR STORM SEWER WORK SHALL BE PERFORMED USING MATERIALS AND METHODS IN STRICT ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, AS WELL AS THE "STANDARD DETAIL SHEETS FOR ROADWAYS" LATEST EDITION. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.
2. ALL SANITARY SEWER AND WATER MAIN WORK SHALL BE PERFORMED USING METHODS AND MATERIALS IN STRICT ACCORDANCE WITH THE LATEST EDITION OF STANDARD SPECIFICATIONS WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.
3. ANY SPECIFICATIONS WHICH ARE SUPPLIED ALONG WITH THE PLANS SHALL TAKE PRECEDENCE IN THE CASE OF A CONFLICT WITH THE STANDARD SPECIFICATIONS NOTED IN ITEMS NO. 1 AND 2 ABOVE. THE ABOVE STANDARD SPECIFICATIONS & THE CONSTRUCTION PLANS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. INDICATED BY THE OWNER IS NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED A PART OF THE CONTRACT.
4. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR WILL BE CONSIDERED TO HAVE ACCEPTED THE EXISTING CONDITIONS AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
5. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE GOVERNING MUNICIPALITY, OTHER APPLICABLE GOVERNMENTAL AGENCIES, AND THE OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. HE SHALL MAKE ARRANGEMENTS FOR THE PROPER BRAKING, STOPPING AND OTHER SAFETY PROCEDURES FOR ROADWAY TRAFFIC. THE CONTRACTOR SHALL PROVIDE AN ADEQUATE TRAFFIC CONTROL MEASURES. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
7. THE UTILITY LOCATIONS, AND THE DEPTHS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY, AND SHALL BE VERIFIED BY THE CONTRACTOR WITH ALL AFFECTED UTILITY COMPANIES PRIOR TO INITIATING CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ADEQUACY, SUFFICIENCY OR EXACTNESS OF THESE UTILITY REPRESENTATIONS.
8. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE OFFICE OF J.U.L.I.E. AT 1-800-892-0123 FOR EXACT FIELD LOCATION OF ALL UNDERGROUND UTILITIES IN THE PROXIMITY OF, AND ON, THE PROJECT SITE. IF THERE ARE ANY UTILITIES WHICH ARE NOT MEMBERS OF THE J.U.L.I.E. SYSTEM, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR IDENTIFYING THIS AND MAKE ARRANGEMENTS TO HAVE THESE UTILITIES FIELD LOCATED.
9. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR RELOCATING THESE FACILITIES AT HIS EXPENSE TO ACCOMMODATE THE NEW CONSTRUCTION.
10. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE DONE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ONSITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS SERVICE SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
11. IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THIS SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
12. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, EQUIPMENT, OR PROCEDURE USED IN THE EXECUTION OF THIS PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
13. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND FEDERAL SAFETY REGULATIONS AS LISTED IN THE LATEST REVISIONS OF THE FEDERAL CONSTRUCTION SAFETY STANDARDS (SERIES 1928) AND WITH APPLICABLE PROVISIONS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS OF THE WILLIAMS STEIGER OCCUPATIONAL HEALTH STATE SAFETY ACT OF 1970(REVISED). THE CONTRACTOR, ENGINEERS, AND OWNER SHALL EACH BE RESPONSIBLE FOR HIS OWN RESPECTIVE AGENTS AND EMPLOYEES.
14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND ALL GOVERNING AUTHORITIES, THEIR AGENTS SUCCESSORS AND ASSIGNS FROM ANY AND ALL LIABILITY WITH RESPECT TO THE CONSTRUCTION, OPERATION, MAINTENANCE, OR REMOVAL OF THIS PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THE WORK OF THIS CONTRACT IN A MANNER WHICH STRICTLY COMPLIES WITH ANY AND ALL PERTINENT LOCAL, STATE OR NATIONAL CONSTRUCTION AND SAFETY CODES; THE ENGINEER, OWNER, AND GOVERNING AUTHORITIES ARE NOT RESPONSIBLE FOR ENSURING COMPLIANCE BY THE CONTRACTOR WITH SUCH CODES AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES OR CLAIMS RELATING THERETO WHICH MAY RESULT FROM LACK OF ADHERENCE TO SAID CODES.

### UNDERGROUND UTILITIES

1. ALL UTILITY TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PROPOSED OR EXISTING PAVEMENT, DRIVEWAYS, SIDEWALKS AND FOR A DISTANCE OF TWO FEET ON EITHER SIDE OF SAME, AND/OR WHEREVER ELSE SHOWN ON THE CONSTRUCTION PLANS SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-6 OR CA-4) AND THOROUGHLY COMPACTED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
2. UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CULVERT PIPE OF THE CLASS AS INDICATED ON THE PLANS, AND CONFORMING TO ASTM C-76. JOINTS SHALL TYPICALLY BE GASKETED WITH BUTYL RUBBER. APPROXIMATE JOINT SPACING SHALL BE 10 FEET. JOINTS ON CA-6 OR CA-4 MAY BE APPLICABLE OR RUBBER "O"-RING GASKET JOINTS CONFORMING TO ASTM C-443. LOCATIONS WHERE THE STORM SEWER CROSSES WATERMAINS AN "O"-RING JOINT IN ACCORDANCE WITH ASTM C-361 SHALL BE USED.
3. STORM SEWER MANHOLES SHALL BE PRECAST STRUCTURES, WITH THE DIAMETER DEPENDENT ON THE PIPE SIZE AND WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION STANDARDS). LIDS SHALL BE IMPRINTED "STORM SEWER". ALL FLARED END SECTIONS SHALL HAVE A FRAME & GRATE INSTALLED.
4. THESE FRAME AND GRATES FOR STORM STRUCTURES SHALL BE USED UNLESS OTHERWISE INDICATED ON THE PLAN SET. USE NEENAH R-1712 OPEN LID (OR EQUAL) IN PAVEMENT AREAS, USE NEENAH R-1772-B OPEN OR CLOSED LID (OR EQUAL) IN GRASS AREAS, USE NEENAH R-3015 (OR EQUAL) FOR 6.12 CURB AREAS, AND NEENAH R-3509 (OR EQUAL) FOR DEPRESSED CURB AREAS.
5. STRUCTURES FOR SANITARY AND STORM SEWERS AND VALVE VAULTS FOR WATER SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THE WATER MAINS, THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
6. ALL STORM SEWERS AND WATERMAINS SHALL HAVE COMPACTED CA-7 GRANULAR BEDDING, A MINIMUM OF 4" BELOW THE BOTTOM OF THE PIPE FOR THE FULL LENGTH. BEDDING SHALL EXTEND TO THE SPRING LINE OF THE PIPE. COST FOR THE BEDDING SHALL BE INCLUDED WITH THE UNIT PRICE BID FOR THE PIPE.
7. THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION FOR THE INSTALLATION OF THE SEWER OR WATER SYSTEM. ANY DEWATERING ENCOUNTERED SHALL BE INCIDENTAL TO ITS RESPECTIVE UNDERGROUND UTILITY.
8. ALL STRUCTURES SHALL HAVE A MAXIMUM OF 8" OF ADJUSTING RINGS, UNLESS OTHERWISE NOTED.
9. ALL TOP FRAMES FOR STORM AND VALVE VAULT COVERS AND B-BOXES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE UPON COMPLETION OF FINISHED GRADING AND FINAL INSPECTIONS. THIS ADJUSTMENT IS TO BE MADE BY THE UNDERGROUND CONTRACTOR AND THE COST IS TO BE INCIDENTAL. THE UNDERGROUND CONTRACTOR SHALL INSURE THAT ALL ROAD AND PAVEMENT INLETS OR STRUCTURES ARE AT FINISHED GRADE. ANY ADJUSTMENTS NECESSARY TO MAINTAIN SUFFICIENT COVER TO ACHIEVE FINAL FINISH GRADE, RESULTING IN AN EXTRA FOR SUD ADJUSTMENTS, WILL BE CHARGED TO THE UNDERGROUND CONTRACTOR.
10. ALL FLOOR DRAINS AND FLOOR DRAIN SUMP PUMPS SHALL DISCHARGE INTO THE SANITARY SEWER.
11. ALL DOWNSPOUTS, FOOTING DRAINS AND SUBSURFACE STORM WATERS SHALL DISCHARGE INTO THE STORM SEWER OR INTO THE GROUND AND BE DIRECTED TOWARDS A STORM SEWER STRUCTURE.
12. ANY ANTICIPATED COST OF SHEETING SHALL BE REFLECTED IN THE CONTRACT AMOUNTS. NO ADDITIONAL COST WILL BE ALLOWED FOR SHEETING OR BRACING.
13. THE CONTRACTOR SHALL INSTALL A 2'x4"x8" POST ADJACENT TO THE TERMINUS OF THE SANITARY SERVICE WATERMAIN SERVICE, SANITARY MANHOLES, STORM STRUCTURES, AND WATER VAULTS. THE POST SHALL EXTEND A MINIMUM OF 4 FT. ABOVE THE GROUND. SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY—GREEN, WATER—BLUE, AND STORM—RED.
14. IT SHALL BE THE RESPONSIBILITY OF THE UNDERGROUND CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

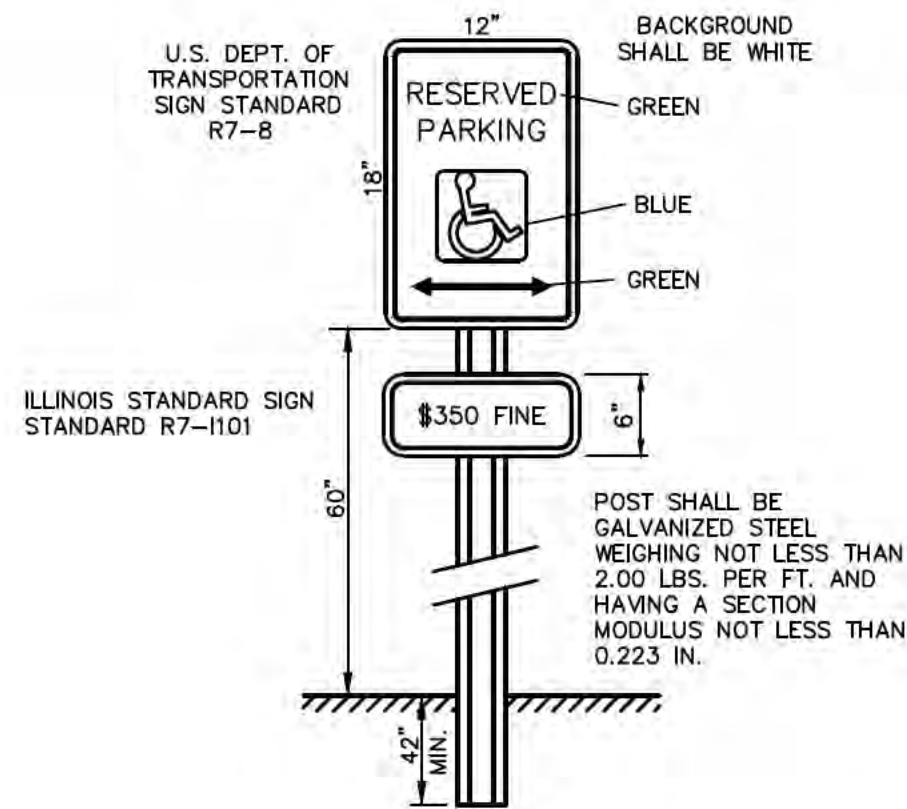
## EARTHWORK

1. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE I.D.O.T. SPECIFICATIONS.
2. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS AND SURVEY MONUMENTS AND SHALL RESTORE ANY WHICH ARE DISTURBED BY HIS OPERATIONS AT NO ADDITIONAL COST TO THE CONTRACT.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRISE HIMSELF OF ALL SPECIAL CONDITIONS. THE CONTRACT, AS SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.
4. PRIOR TO ONSET OF MASS GRADING OPERATIONS THE EARTHWORK CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL EROSION CONTROL SPECIFICATIONS. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT FENCING, ETC. TO PROTECT ADJACENT PROPERTY SHALL OCCUR BEFORE MASS GRADING BEGINS, AND IN ACCORDANCE WITH THE SOIL EROSION CONTROL CONSTRUCTION SCHEDULE.
5. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER.
6. THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
7. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE LAYED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED.
8. THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"); IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT A GREATER THICKNESS, THEN A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.
9. EMBANKMENT MATERIAL WITHIN ROADWAY, PARKING LOT, AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER.
10. EMBANKMENT MATERIAL (RANDOM FILL) WITHIN NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD).
11. THE SUB GRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR AND ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE SOILS ENGINEER.
12. SOIL BORING REPORTS, IF AVAILABLE, ARE SOLELY FOR THE INFORMATION AND GUIDANCE OF THE CONTRACTORS. THE OWNER AND ENGINEER MAKE NO REPRESENTATION OR WARRANTY REGARDING THE INFORMATION CONTAINED IN THE BORING LOGS. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATIONS AND SHALL PLAN HIS WORK ACCORDINGLY. ARRANGEMENTS TO ENTER THE PROPERTY DURING THE BIDDING PHASE SHALL BE MADE UPON THE REQUEST OF THE OWNER. THERE SHALL BE NO ADDITIONAL PAYMENT FOR EXPENSES INCURRED BY THE CONTRACTOR RESULTING FROM ADVERSE SOIL OR GROUND WATER CONDITIONS.

### PAVING & WALKS

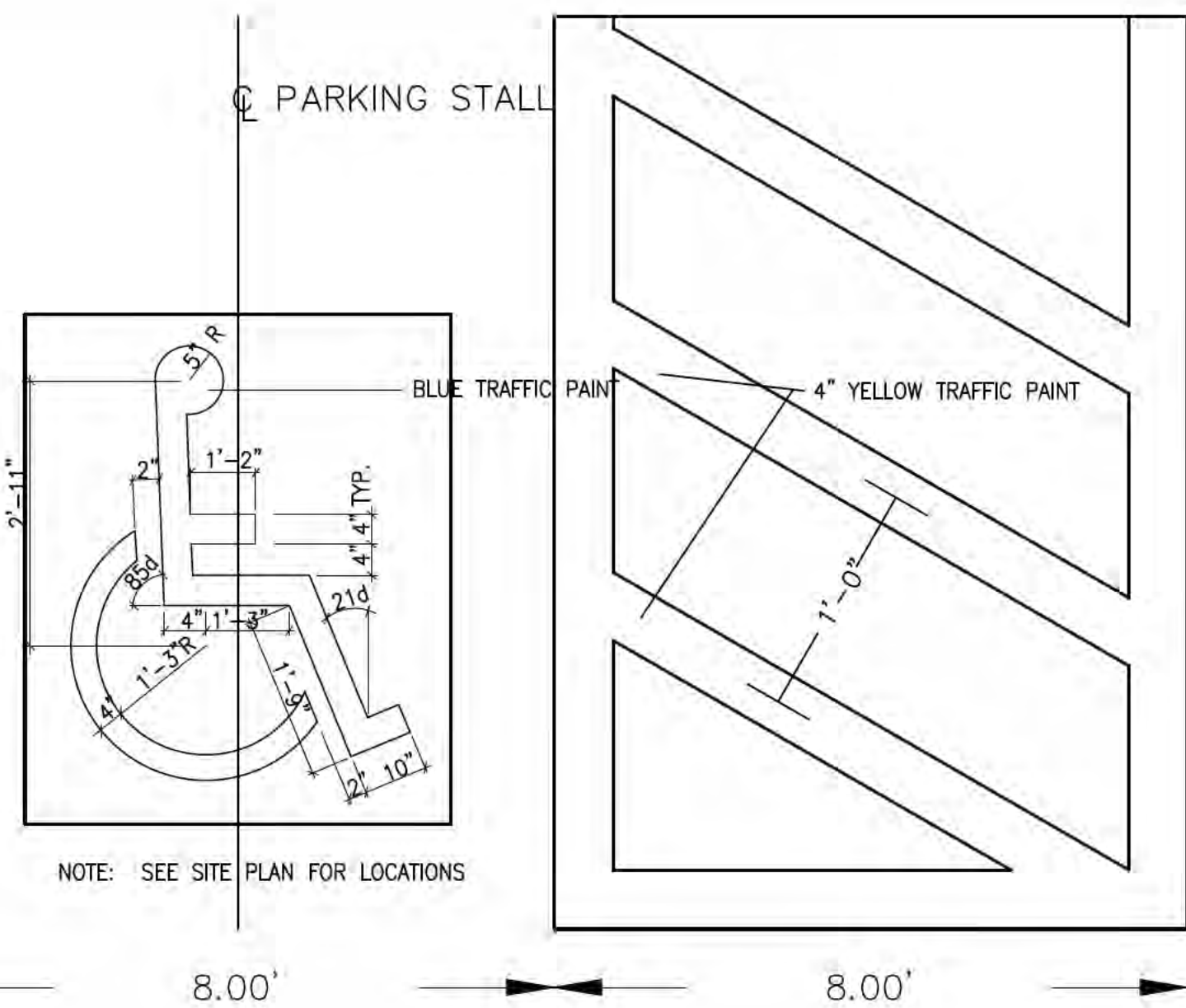
1. WORK UNDER THIS SECTION SHALL INCLUDE FINAL SUBGRADE SHAPING AND PREPARATION; FORMING, JOINTING, PLACEMENT OF ROADWAY AND PAVEMENT BASE COURSE MATERIALS AND SUBSEQUENT BINDER AND/OR SURFACE COURSES; PLACEMENT, FINISHING AND CURING OF CONCRETE; FINAL CLEAN-UP; AND ALL RELATED WORK.
2. ALL PAVING AND SIDEWALK WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS (I.D.O.T.) AND PER LOCAL REGULATIONS.
3. SUBGRADE FOR PROPOSED PAVEMENT SHALL BE FINISHED BY THE EXCAVATION CONTRACTOR TO WITHIN 0. FOOT, PLUS OR MINUS, OF THE PLAN ELEVATION. THE PAVING CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE PAVING CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE. PRIOR TO PLACEMENT OF PAVEMENT BASE MATERIALS, THE PAVING CONTRACTOR SHALL FINE GRADE THE SUBGRADE SO AS TO INSURE THE PROPER THICKNESS OF THE PAVEMENT COURSES. NO CLAIMS FOR EXCESS BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
4. THE PROPOSED PAVEMENT SHALL CONSIST OF THE SUB-BASE COURSE, BITUMINOUS AGGREGATE BASE COURSE, BITUMINOUS BINDER COURSE, AND BITUMINOUS SURFACE COURSE, OF THE THICKNESS AND MATERIALS AS SPECIFIED ON THE CONSTRUCTION PLANS. PRIME COAT SHALL BE APPLIED TO THE SUB-BASE COURSE AT A RATE OF 0.5 GALLONS PER SQUARE YARD. UNLESS SHOWN AS A BID ITEM, PRIME COAT SHALL BE CONSIDERED PART OF THE SUB-BASE COURSE. THE SURFACE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "I.D.O.T." STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," CURRENT EDITION.
5. AFTER THE INSTALLATION OF THE BASE COURSE, ALL TRAFFIC SHALL BE KEPT OFF THE BASE UNTIL THE BINDER COURSE IS LAID. AFTER INSTALLATION OF THE BINDER COURSE AND UPON INSPECTION AND APPROVAL BY GOVERNING AUTHORITY, THE PAVEMENT SHALL BE CLEANED, PRIMED AND THE SURFACE COURSE LAID. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB AND GUTTER SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE PAVING CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER IS NECESSARY INCLUDING THE USE OF POWER BROOMS TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. EQUIPMENT AND MANPOWER TO CLEAN PAVEMENT SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE CONTRACT. PRIME COAT ON THE BINDER COARSE AS WELL AS THE SURFACE COURSE SHALL BE THE COST OF THE CONTRACT AND SHALL BE APPLIED TO THE BINDER AT A RATE OF 0.5 GALLONS PER SQUARE YARD.
6. CURING AND PROTECTION OF ALL EXPOSED CONCRETE SURFACES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS
7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. ALL CONCRETE SHALL HAVE A MINIMUM OF 3,500-PSI COMPRESSIVE STRENGTH IN 28 DAYS. THE CONSTRUCTION JOINTS SHALL BE SET AT 10' CENTERS. THE 3/4" PRE-WOLDED REEF EXPANSION JOINTS SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS A CURB, A BUILDING, OR OTHER SIDEWALK, OR AT THE END OF EACH POOR. ALL SIDEWALKS CONSTRUCTED OVER UTILITY TRENCHES SHALL BE REINFORCED WITH THREE NO. 5 REINFORCING BARS (10' MINIMUM LENGTH). ALL SIDEWALKS CROSSING DRIVEWAYS SHALL BE A MINIMUM OF 8" THICK. IF A SIDEWALK FALLS OUTSIDE THE LIMITS OF A DRIVEWAY, IT SHALL BE FINISHED. IF A MANHOLE FRAME FALLS WITHIN THE LIMITS OF A SIDEWALK, A BOX-OFF SECTION SHALL BE PLACED AROUND THE MANHOLE FRAME WITH A 3/4" EXPANSION JOINT.

8. BACKFILLING ALONG PAVEMENT SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR.
9. IT SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIAL AND DEBRIS, WHICH RESULTS FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
10. TESTING OF THE SUB-BASE, BASE COURSE, BINDER COURSE, SURFACE COURSE AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH THE 1.0.1, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" CURRENT EDITION, AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE GOVERNING MUNICIPALITY. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED BY THE OWNER TO PERFORM THE REQUIRED TESTS.
11. PAINTED PAVEMENT MARKINGS AND SYMBOLS, OF THE TYPE AND COLOR AS NOTED ON THE CONSTRUCTION PLANS, SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 7-502 OF SAME SPECIFICATIONS.
12. PAINTED PAVEMENT MARKINGS AND SYMBOLS SHALL BE INSTALLED ONLY WHEN THE AMBIENT AIR TEMPERATURE IS 40 DEGREES FAHRENHEIT AND THE FORECAST CALL FOR RISING TEMPERATURES.
13. ALL EXISTING CURB AND PAVEMENT SHALL BE PROTECT DURING CONSTRUCTION, ANY DAMAGE TO THE CURB OR PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
14. ANY SIDEWALK THAT IS DAMAGED OR NOT ADA COMPLIANT, INCLUDING SIDEWALK RAMPS, MUST BE REPLACED PRIOR TO FINAL INSPECTION AND APPROVAL.



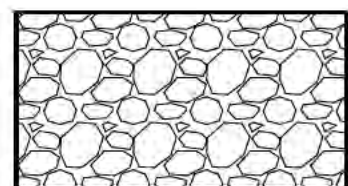
LOCATE SIGN AT EACH END OF  
HANDICAP PARKING AREA, 2 FT.  
FROM EDGE OF PAVEMENT

### HANDICAP PARKING SIGN



### HANDICAPPED PARKING DETAIL

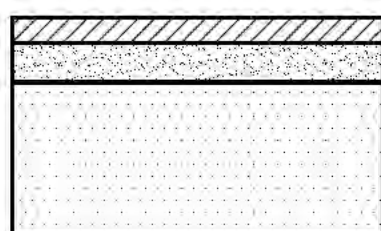
N.T.S.



12" AGGREGATE COURSE, CA-6 CRUSHED LIMESTONE  
OR ASPHALT GRINDINGS

### GRAVEL STORAGE LOT DETAIL

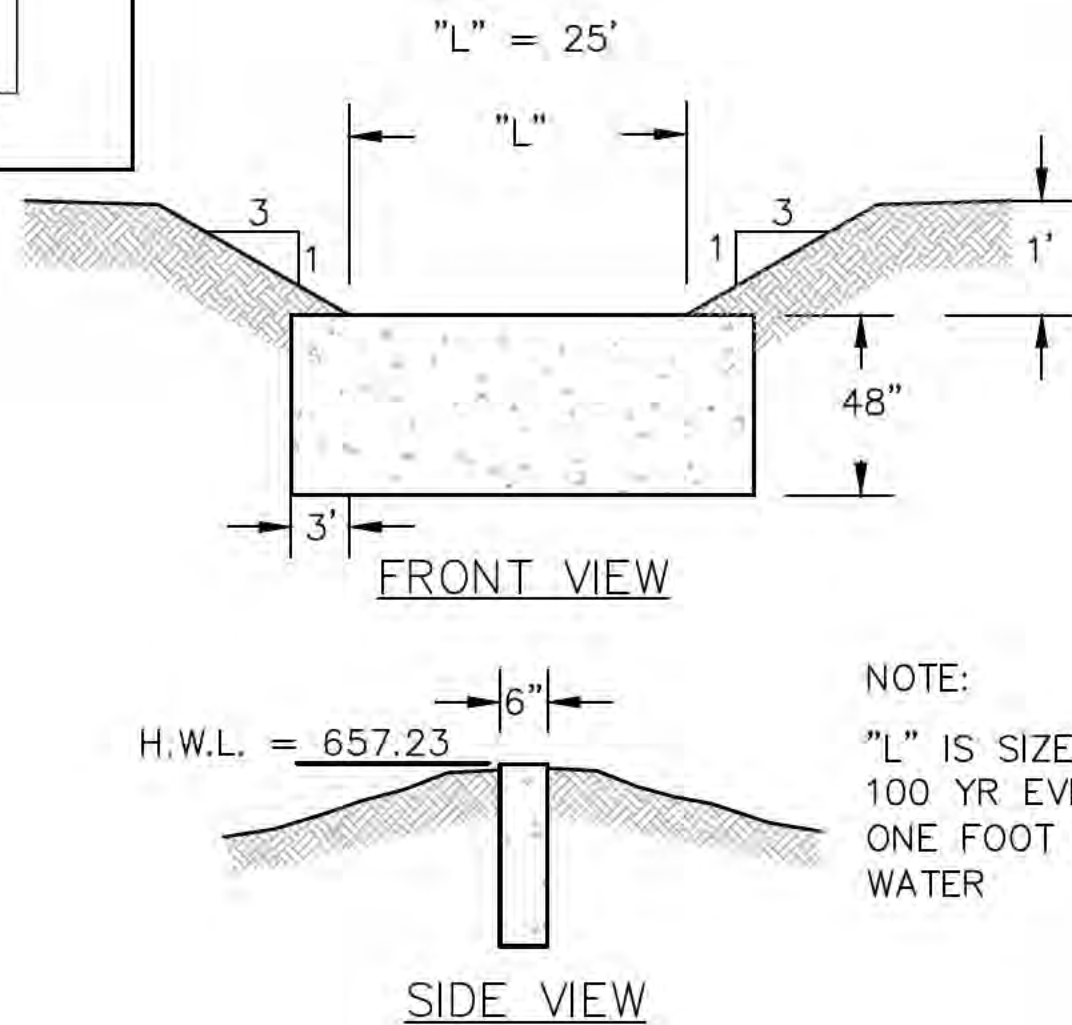
N.T.S.



1 1/2" HMA IL-9.5, N-50 SURFACE COURSE  
2 1/2" HMA IL-19, N-50 BINDER COURSE

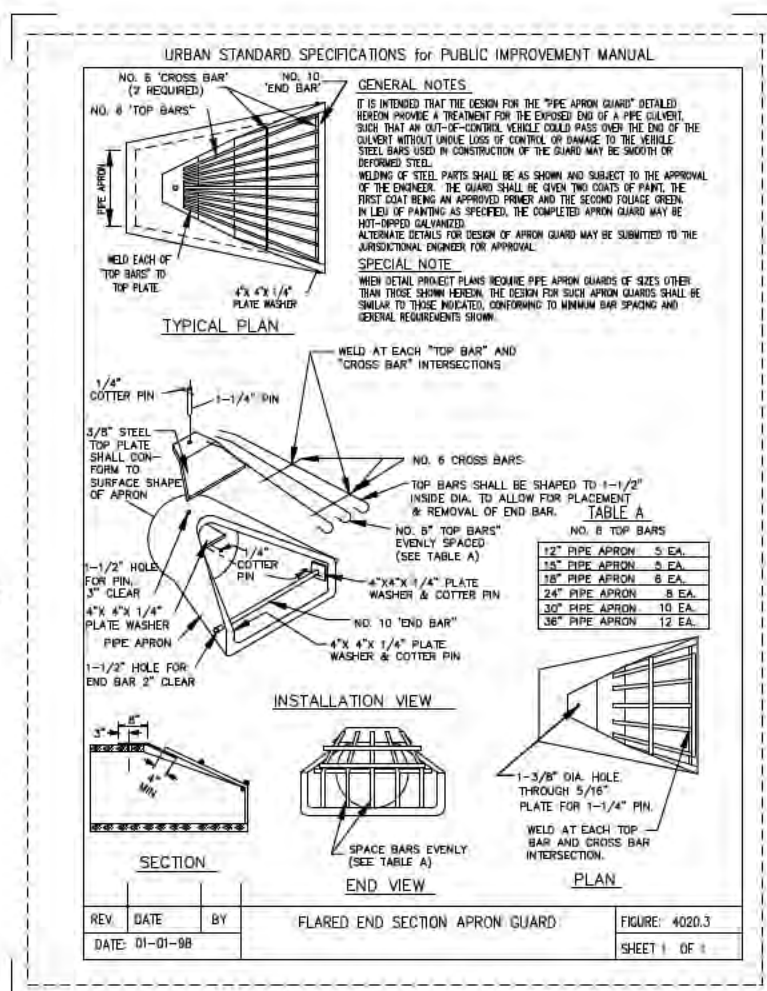
10" AGGREGATE COURSE, TYPE A, CA-6

### TYPICAL PAVEMENT DETAIL



### CONCRETE OVERFLOW DETAIL

N.T.S.



TEBRUGGE ENGINEERING

410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548  
PHONE: (815) 786-0195      [TEBRUGGEENGINEERING.COM](http://TEBRUGGEENGINEERING.COM)

REVISIONS	NO.	DATE	NOTES

PREPARED FOR:  
BEST BUDGET TREE SERVICE  
22419 W RENWICK RD, PLAINFIELD, IL

## BEST BUDGET TREE SITE PLAN

### GENERAL NOTES & DETAILS

PROJECT NO. 22 424 02

SCALE: NTS

DATE: APRIL 14, 2022

SHEET NO.

8



**STORMWATER MANAGEMENT  
DETENTION DESIGN COMPUTATIONS  
FOR BEST BUDGET TREE SERVICE  
LOCATED AT 2195 US HIGHWAY 52 IN MINOOKA, IL**  
**BY**  
**TEBRUGGE ENGINEERING**  
**410 E. CHURCH ST. SUITE A**  
**SANDWICH, IL**



BEST BUDGET TREE SERVICE IS PROPOSING TO RELOCATE THEIR TREE SERVICE BUSINESSES TO A 48 ACRE PARCEL ON US HIGHWAY 52 WEST OF ARBEITER ROAD IN MINOOKA, IL. THE TREE BUSINESS WILL OCCUPY THE CENTER PORTION OF THE SITE TAKING UP 10 ACRES OF THE SITE. THE REMAINING 38 ACRES WILL REMAIN FARM LAND. THE 10 ACRE PORTION OF THE SITE WILL BE COVERED IN GRAVEL AND REGRADED TO PROVIDE OVERLAND FLOW NORTH TO SOUTH. A STORM WATER WET DETENTION POND WILL BE CONSTRUCTED SOUTH OF THE PROPOSED BUILDING AND GRAVEL STORAGE AREA. OWNER WILL BE STORING CUT FIREWOOD AND MULCH FOR WHOLESALE DISTRIBUTION. NO RETAIL IS PROPOSED.

**SUMMARY OF AREAS WITHIN THE TRIBUTARY AREA OF THE POND**

TRIBUTARY AREA OF THE LOT TO THE DETENTION POND = 13.0 AC.

PROPOSED GRAVEL AREA = 424,960 SF = 9.76 AC

LANDSCAPE/WET DETENTION POND AREA = 3.0 AC

BUILDING = 80X120 + 8X130 = 10,640 SF = 0.24 AC

**CALCULATION OF PROPOSED SITE CURVE NUMBER (CN)**

IMPERVIOUS	96 X 0.24 AC = 23.04
GRAVEL:	80 X 9.76 AC = 780.80
WET POND	90 X 1.7 AC = 153.00
LANDSCAPE	65 X 1.3 AC = 84.5

TOTAL: 13.0 AC = 1041.34

CN (WEIGHTED) = 1041.34/13.0 AC. = 80.1 USE CN = 80

**RESTRICTOR SIZING:**  $Q = CA (2GII)^{1/2}$  100 yr Q allow = 0.15 \* 13.0 AC. = 1.95 cfs

2 yr Q allow = 0.04 x 13.3 ac = 0.52 cf

See detention pond computations for restrictor sizing: USING 6" DIA RESTRICTOR @ EL 580.50

DETENTION POND STORAGE VOLUME REQUIRED = 5.22 AC-FT. @ ELEV. = 583.51

DETENTION POND STORAGE VOLUME PROVIDED = 5.37 AC-FT. W/ HWL @ 583.60

100 YEAR RELEASE RATE = 1.57 CFS @ HWL = 583.51

2 YEAR RELEASE RATE = 0.42 CFS @ HWL = 580.95

**OVERFLOW WEIR LENGTH:**  $Q = CL(H^{1.5})$  C = 3.2 H = 1.0 Q = 54.83 cfs  
 $L = Q/C H^{1.5}$  L = 54.83/3.2 X 1.0 = 17.13 FT  
 USE 20 FEET ACTUAL H = 0.90 FT.

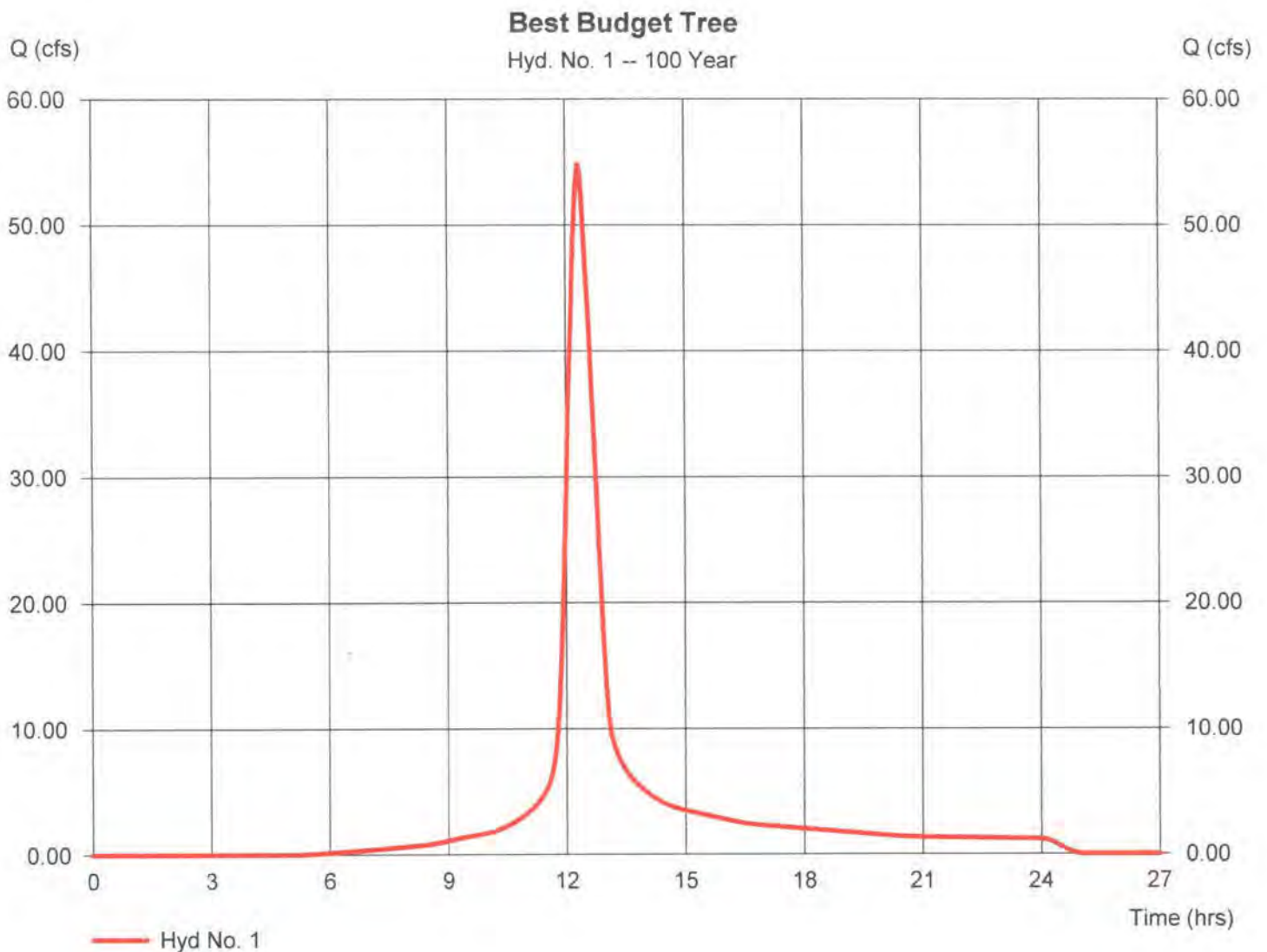


# Hydrograph Report

## Hyd. No. 1

### Best Budget Tree

Hydrograph type	= SCS Runoff	Peak discharge	= 54.83 cfs
Storm frequency	= 100 yrs	Time to peak	= 12.30 hrs
Time interval	= 3 min	Hyd. volume	= 290,751 cuft
Drainage area	= 13.000 ac	Curve number	= 80
Basin Slope	= 0.5 %	Hydraulic length	= 1000 ft
Tc method	= LAG	Time of conc. (Tc)	= 45.03 min
Total precip.	= 8.57 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484





# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

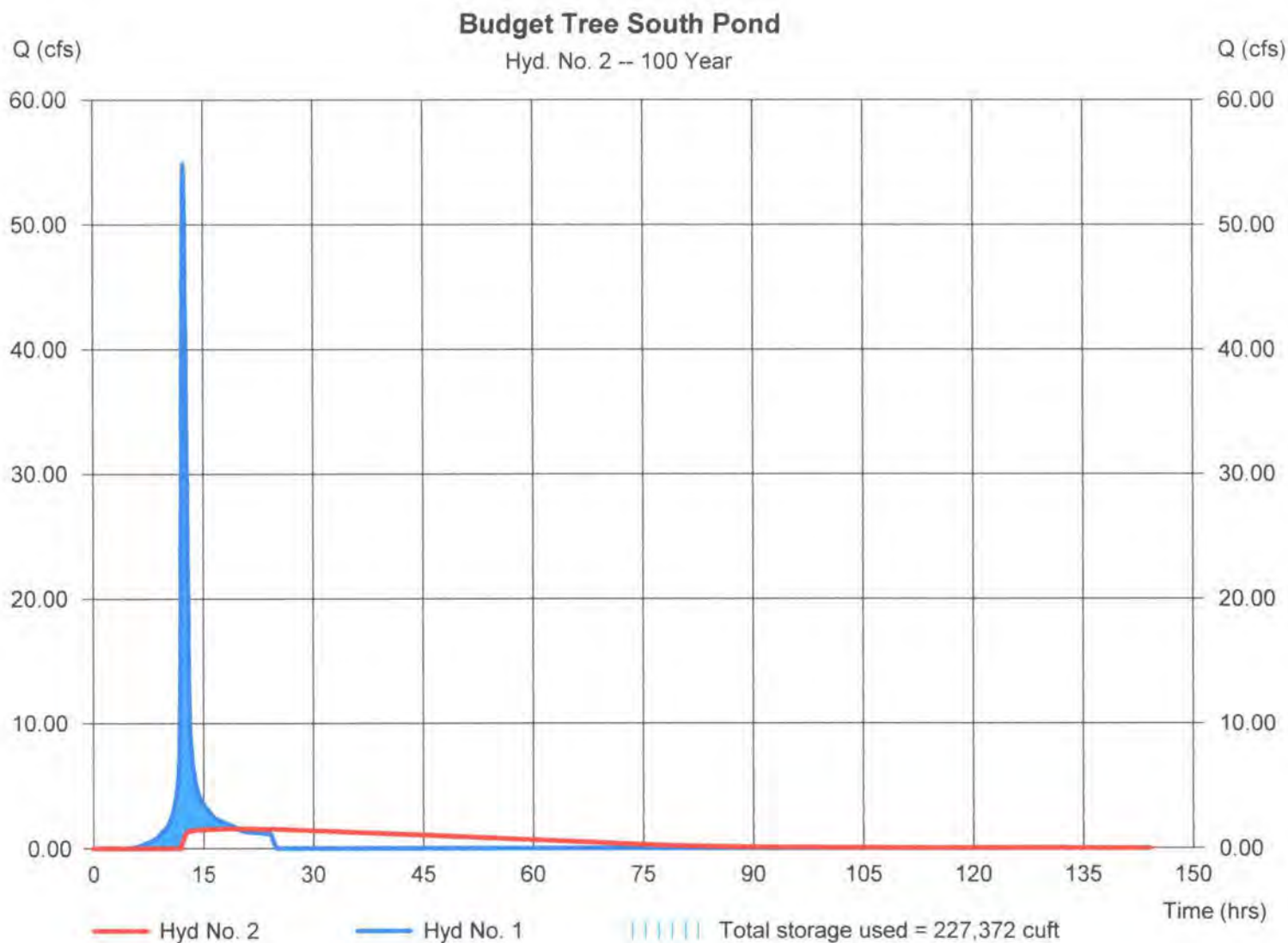
Tuesday, 04 / 12 / 2022

## Hyd. No. 2

### Budget Tree South Pond

Hydrograph type	= Reservoir	Peak discharge	= 1.571 cfs
Storm frequency	= 100 yrs	Time to peak	= 19.75 hrs
Time interval	= 3 min	Hyd. volume	= 257,456 cuft
Inflow hyd. No.	= 1 - Best Budget Tree	Max. Elevation	= 583.51 ft
Reservoir name	= South Pond	Max. Storage	= 227,372 cuft

Storage Indication method used.





# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Tuesday, 04 / 12 / 2022

## Hyd. No. 2

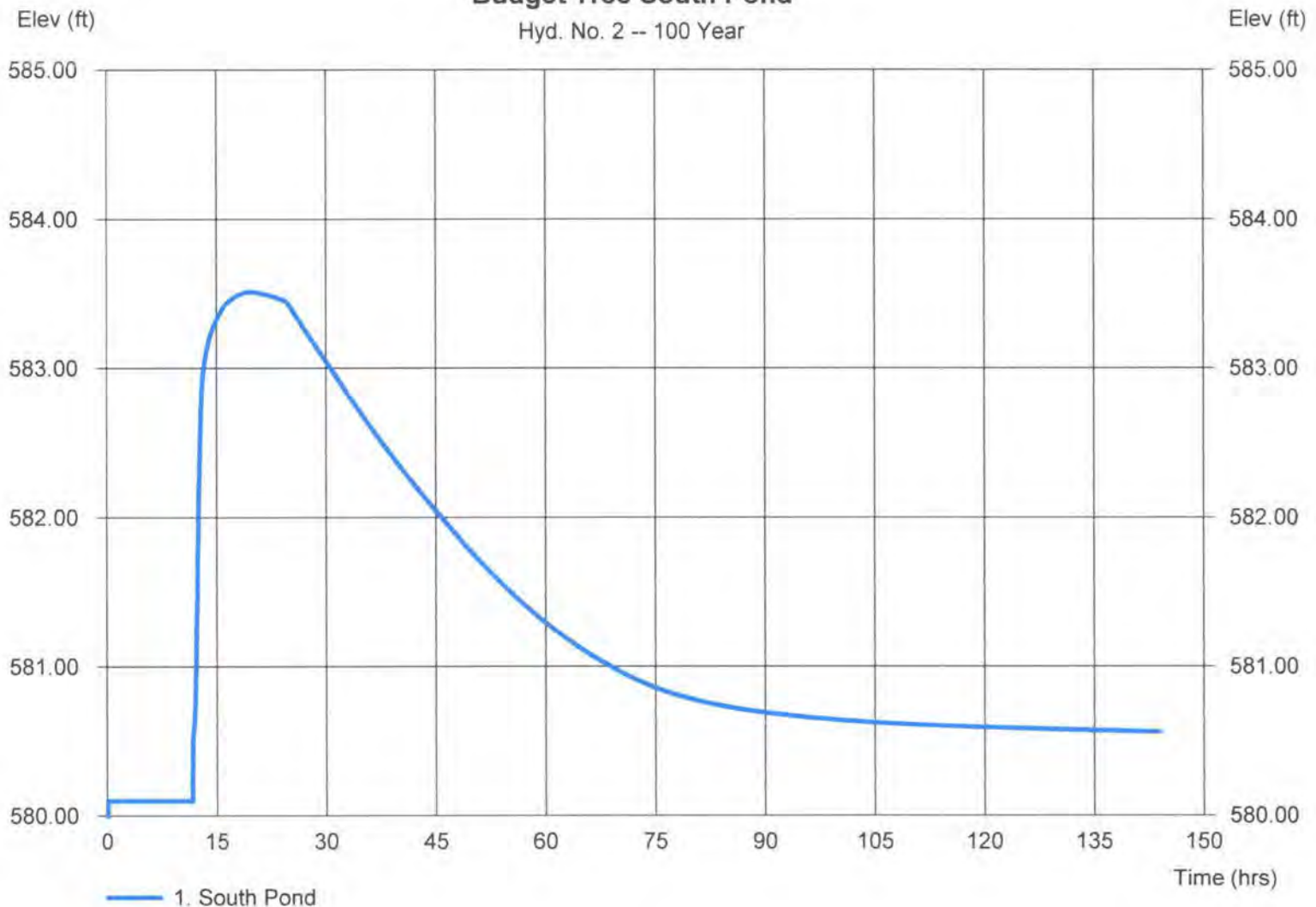
### Budget Tree South Pond

Hydrograph type	= Reservoir	Peak discharge	= 1.571 cfs
Storm frequency	= 100 yrs	Time to peak	= 19.75 hrs
Time interval	= 3 min	Hyd. volume	= 257,456 cuft
Inflow hyd. No.	= 1 - Best Budget Tree	Max. Elevation	= 583.51 ft
Reservoir name	= South Pond	Max. Storage	= 227,372 cuft

Storage Indication method used.

### Budget Tree South Pond

Hyd. No. 2 -- 100 Year





# Pond Report

## Pond No. 1 - South Pond

### Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Beginning Elevation = 580.00 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	580.00	57,600	0	0
1.00	581.00	61,504	59,535	59,535
2.00	582.00	65,536	63,503	123,038
3.00	583.00	69,696	67,599	190,637
4.00	584.00	73,984	71,822	262,459

### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 6.00	0.00	0.00	0.00
Span (in)	= 6.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 580.50	0.00	0.00	0.00
Length (ft)	= 0.00	0.00	0.00	0.00
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 0.00	0.00	0.00	0.00
Crest El. (ft)	= 0.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= ---	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	580.00	0.00	---	---	---	---	---	---	---	---	---	0.000
0.10	5,954	580.10	0.00	---	---	---	---	---	---	---	---	---	0.000
0.20	11,907	580.20	0.00	---	---	---	---	---	---	---	---	---	0.000
0.30	17,861	580.30	0.00	---	---	---	---	---	---	---	---	---	0.000
0.40	23,814	580.40	0.00	---	---	---	---	---	---	---	---	---	0.000
0.50	29,768	580.50	0.00	---	---	---	---	---	---	---	---	---	0.000
0.60	35,721	580.60	0.03 ic	---	---	---	---	---	---	---	---	---	0.030
0.70	41,675	580.70	0.11 ic	---	---	---	---	---	---	---	---	---	0.112
0.80	47,628	580.80	0.23 ic	---	---	---	---	---	---	---	---	---	0.229
0.90	53,582	580.90	0.36 ic	---	---	---	---	---	---	---	---	---	0.362
1.00	59,535	581.00	0.47 ic	---	---	---	---	---	---	---	---	---	0.473
1.10	65,886	581.10	0.56 ic	---	---	---	---	---	---	---	---	---	0.559
1.20	72,236	581.20	0.63 ic	---	---	---	---	---	---	---	---	---	0.634
1.30	78,586	581.30	0.70 ic	---	---	---	---	---	---	---	---	---	0.701
1.40	84,937	581.40	0.76 ic	---	---	---	---	---	---	---	---	---	0.762
1.50	91,287	581.50	0.82 ic	---	---	---	---	---	---	---	---	---	0.819
1.60	97,637	581.60	0.87 ic	---	---	---	---	---	---	---	---	---	0.871
1.70	103,987	581.70	0.92 ic	---	---	---	---	---	---	---	---	---	0.921
1.80	110,338	581.80	0.97 ic	---	---	---	---	---	---	---	---	---	0.969
1.90	116,688	581.90	1.01 ic	---	---	---	---	---	---	---	---	---	1.014
2.00	123,038	582.00	1.06 ic	---	---	---	---	---	---	---	---	---	1.057
2.10	129,798	582.10	1.10 ic	---	---	---	---	---	---	---	---	---	1.098
2.20	136,558	582.20	1.14 ic	---	---	---	---	---	---	---	---	---	1.138
2.30	143,318	582.30	1.18 ic	---	---	---	---	---	---	---	---	---	1.177
2.40	150,078	582.40	1.21 ic	---	---	---	---	---	---	---	---	---	1.214
2.50	156,838	582.50	1.25 ic	---	---	---	---	---	---	---	---	---	1.250
2.60	163,598	582.60	1.29 ic	---	---	---	---	---	---	---	---	---	1.286
2.70	170,357	582.70	1.32 ic	---	---	---	---	---	---	---	---	---	1.320
2.80	177,117	582.80	1.35 ic	---	---	---	---	---	---	---	---	---	1.353
2.90	183,877	582.90	1.39 ic	---	---	---	---	---	---	---	---	---	1.386
3.00	190,637	583.00	1.42 ic	---	---	---	---	---	---	---	---	---	1.418
3.10	197,819	583.10	1.45 ic	---	---	---	---	---	---	---	---	---	1.449
3.20	205,001	583.20	1.48 ic	---	---	---	---	---	---	---	---	---	1.480
3.30	212,184	583.30	1.51 ic	---	---	---	---	---	---	---	---	---	1.510
3.40	219,366	583.40	1.54 ic	---	---	---	---	---	---	---	---	---	1.539
3.50	226,548	583.50	1.57 ic	---	---	---	---	---	---	---	---	---	1.568
3.60	233,730	583.60	1.60 ic	---	---	---	---	---	---	---	---	---	1.596

Continues on next page...



South Pond

**Stage / Storage / Discharge Table**

<b>Stage ft</b>	<b>Storage cuft</b>	<b>Elevation ft</b>	<b>Clv A cfs</b>	<b>Clv B cfs</b>	<b>Clv C cfs</b>	<b>PrfRsr cfs</b>	<b>Wr A cfs</b>	<b>Wr B cfs</b>	<b>Wr C cfs</b>	<b>Wr D cfs</b>	<b>Exfil cfs</b>	<b>User cfs</b>	<b>Total cfs</b>
3.70	240,912	583.70	1.62 ic	---	---	---	---	---	---	---	---	---	1.624
3.80	248,095	583.80	1.65 ic	---	---	---	---	---	---	---	---	---	1.651
3.90	255,277	583.90	1.68 ic	---	---	---	---	---	---	---	---	---	1.678
4.00	262,459	584.00	1.70 ic	---	---	---	---	---	---	---	---	---	1.704

...End

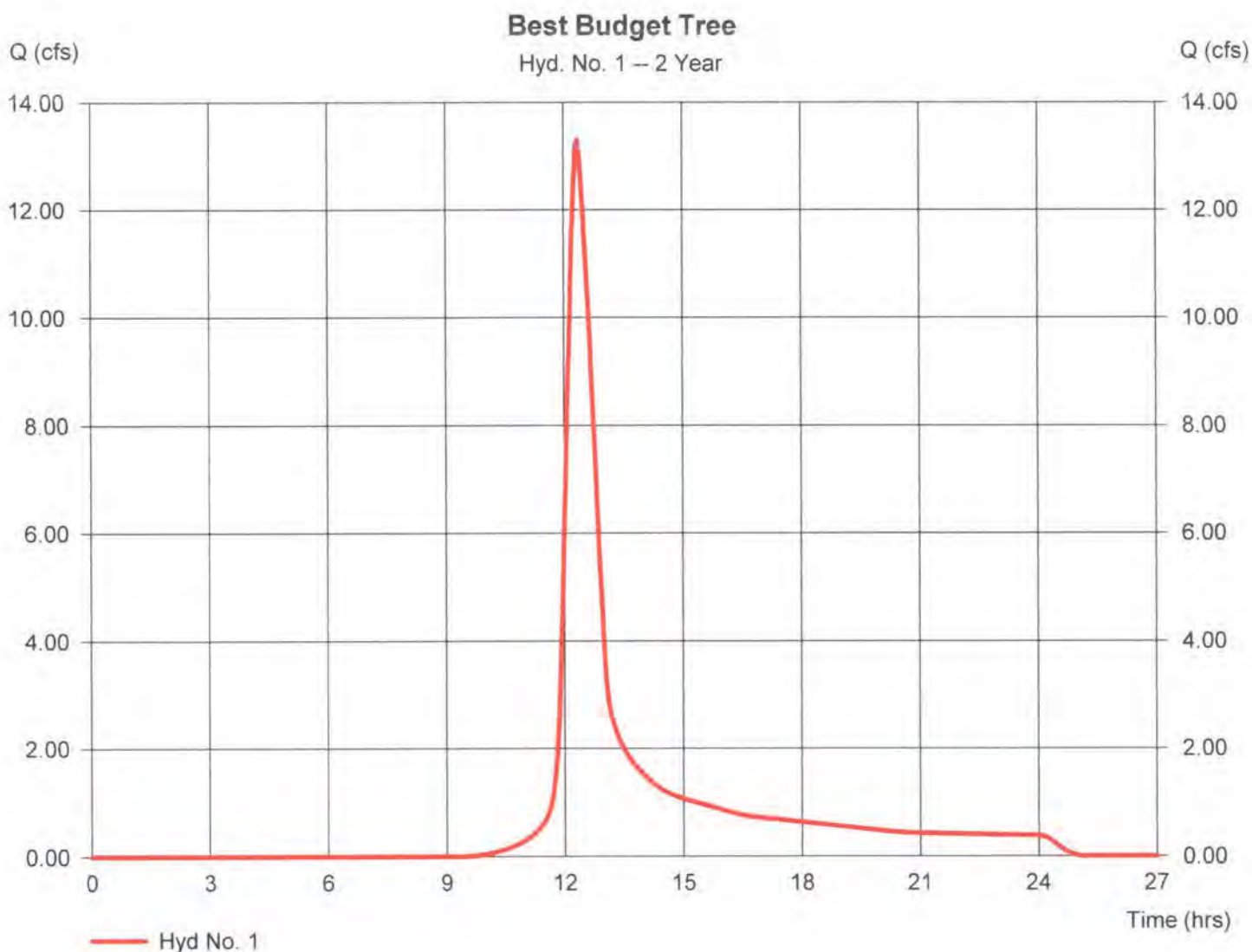


# Hydrograph Report

## Hyd. No. 1

### Best Budget Tree

Hydrograph type	= SCS Runoff	Peak discharge	= 13.31 cfs
Storm frequency	= 2 yrs	Time to peak	= 12.35 hrs
Time interval	= 3 min	Hyd. volume	= 71,276 cuft
Drainage area	= 13.000 ac	Curve number	= 80
Basin Slope	= 0.5 %	Hydraulic length	= 1000 ft
Tc method	= LAG	Time of conc. (Tc)	= 45.03 min
Total precip.	= 3.34 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484





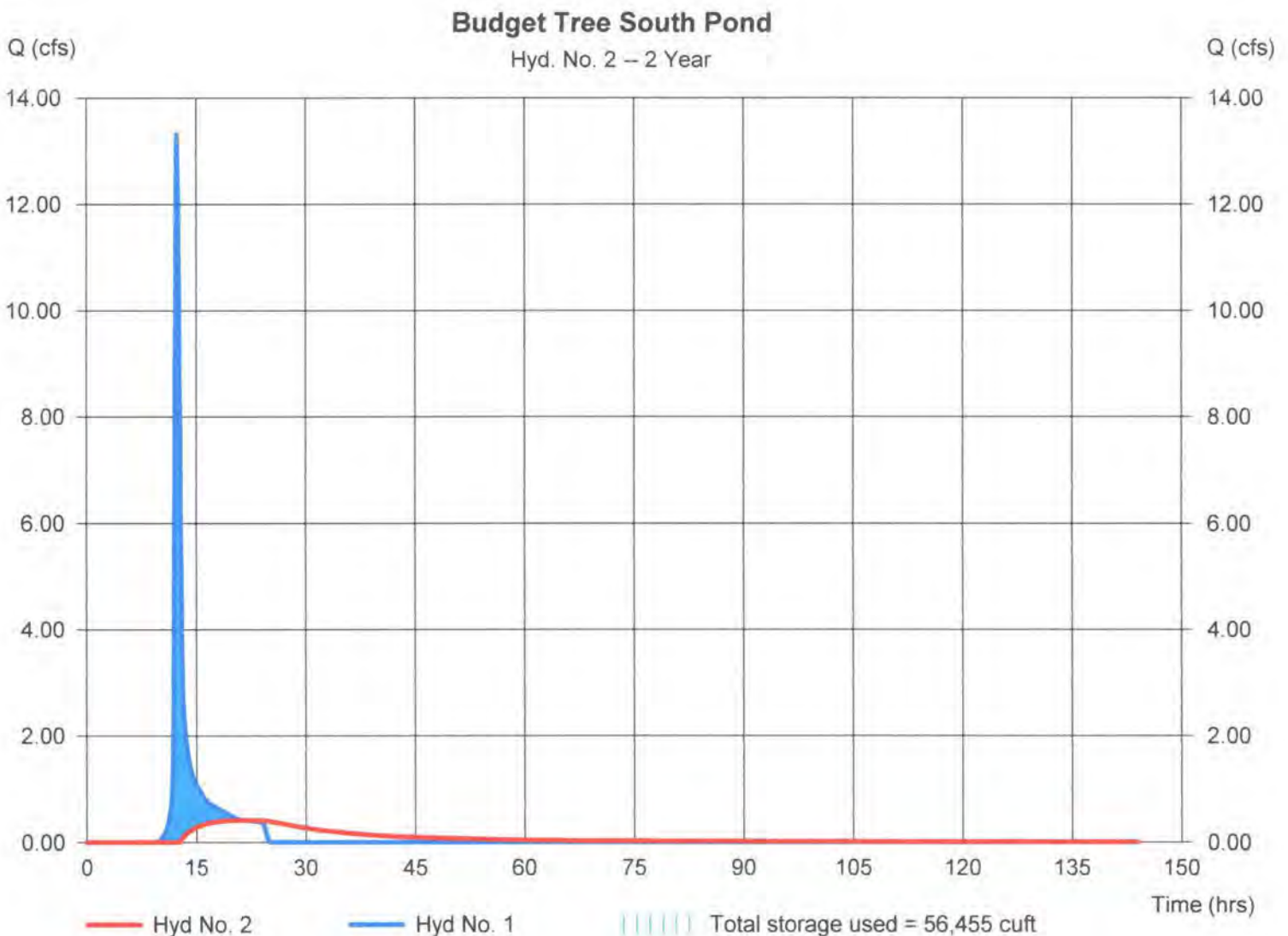
# Hydrograph Report

## Hyd. No. 2

### Budget Tree South Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.416 cfs
Storm frequency	= 2 yrs	Time to peak	= 21.95 hrs
Time interval	= 3 min	Hyd. volume	= 39,988 cuft
Inflow hyd. No.	= 1 - Best Budget Tree	Max. Elevation	= 580.95 ft
Reservoir name	= South Pond	Max. Storage	= 56,455 cuft

Storage Indication method used.





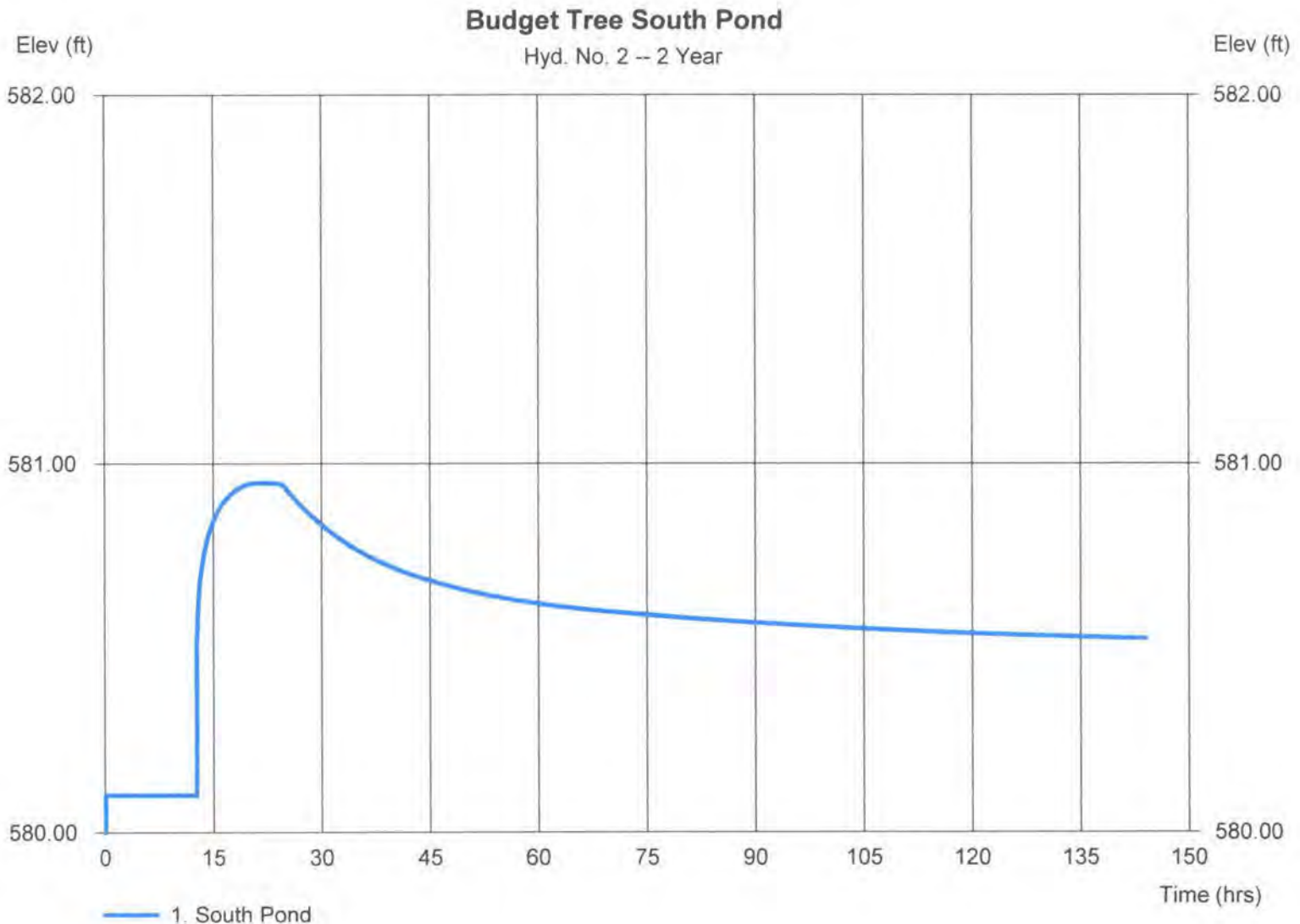
# Hydrograph Report

## Hyd. No. 2

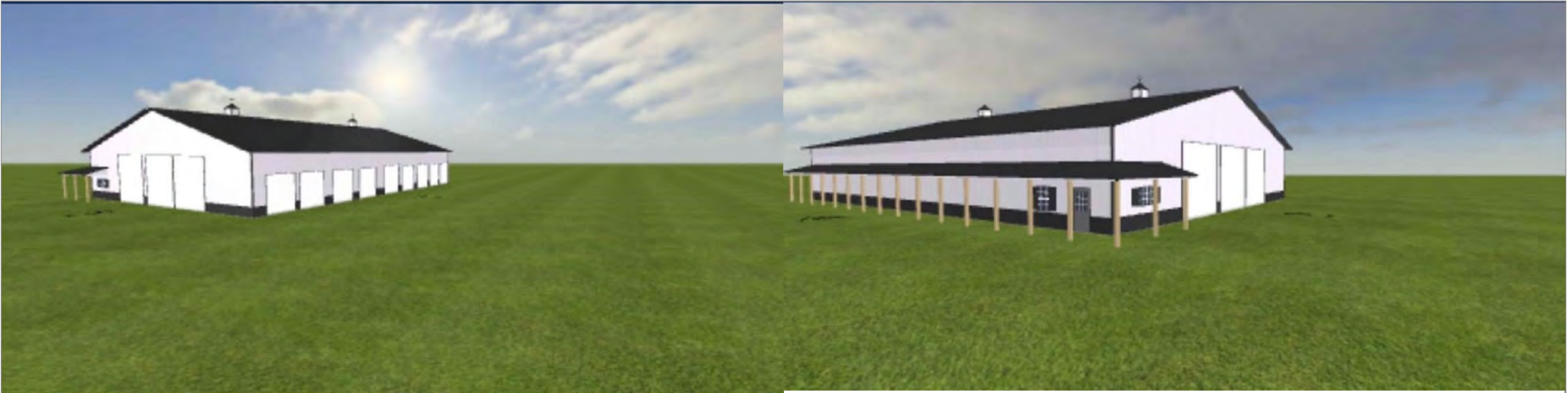
### Budget Tree South Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.416 cfs
Storm frequency	= 2 yrs	Time to peak	= 21.95 hrs
Time interval	= 3 min	Hyd. volume	= 39,988 cuft
Inflow hyd. No.	= 1 - Best Budget Tree	Max. Elevation	= 580.95 ft
Reservoir name	= South Pond	Max. Storage	= 56,455 cuft

Storage Indication method used.









**Matt Asselmeier**

---

**From:** Torri, James N <jtorri@joliet.gov>  
**Sent:** Thursday, April 21, 2022 10:09 AM  
**To:** Matt Asselmeier  
**Subject:** [External]RE: 09-15-200-003 Question

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Matt,

Joliet would not require this.

Thanks,

James N. Torri  
City of Joliet  
Planning Director  
150 W. Jefferson Street  
Joliet, IL 60432  
(815) 724-4049  
Fax: (815) 724-4056  
[www.joliet.gov](http://www.joliet.gov)

**From:** Matt Asselmeier <masselmeier@co.kendall.il.us>  
**Sent:** Wednesday, April 20, 2022 9:47 AM  
**To:** Torri, James N <jtorri@joliet.gov>; Engel, Natalie (nengel@vil.shorewood.il.us) <nengel@vil.shorewood.il.us>  
**Cc:** Scott Koeppel <skoeppel@co.kendall.il.us>; Scott Gengler <sgengler@co.kendall.il.us>; Fran Klaas <FKlaas@co.kendall.il.us>  
**Subject:** 09-15-200-003 Question

**[EXTERNAL EMAIL]** This message originated outside of the organization.

Jim and Natalie:

Kendall County received an application for a special use permit for a landscaping business at this property.

While this property is inside Shorewood's planning area, Joliet's plan calls for a bike path along Route 52 at this property. IDOT verbally told me that they do not want a ROW dedication.

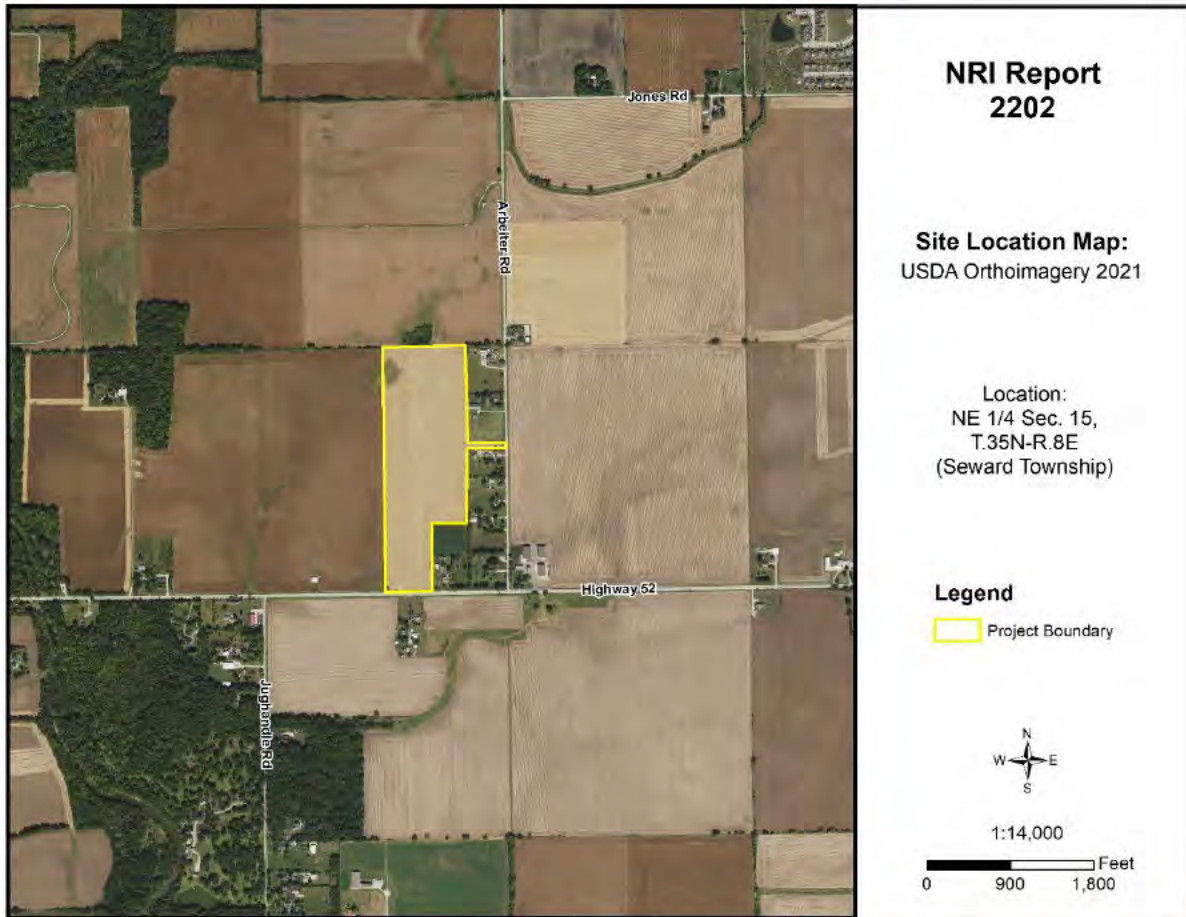
Do either of your municipalities want a ROW dedication?

Thanks,

Matthew H. Asselmeier, AICP, CFM  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498



# NATURAL RESOURCE INFORMATION (NRI) REPORT: #2202



May  
2022

Petitioner: Best Budget Tree Service  
Contact: Jeremy Dippold

Prepared By:



7775A Route 47  
Yorkville, Illinois 60560  
Phone: (630) 553-5821 x3  
[www.kendallswcd.org](http://www.kendallswcd.org)



## KENDALL COUNTY SOIL AND WATER CONSERVATION DISTRICT NATURAL RESOURCE INFORMATION (NRI) REPORT

Natural Resource Information Report Number	2202
Date District Board Reviews Application	May 2022
Applicant's Name	Best Budget Tree Service
Size of Parcel	48.59 acres
Current Zoning & Use	A-1 Agricultural
Proposed Zoning & Use	A-1 SU Agricultural with Special Use Permit; Tree Service Business
Parcel Index Number(s)	09-15-200-003
Contact Person	Jeremy Dippold

Copies of this report or notification of the proposed land-use change was provided to:	Yes	No
The Applicant	X	
The Applicant's Legal Representation		X
The Local/Township Planning Commission	X	
The Village/City/County Planning and Zoning Department or Appropriate Agency	X	
The Kendall County Soil and Water Conservation District Files	X	

Report Prepared By: *Alyse Olson* Position: *Resource Conservationist*



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## ***PURPOSE AND INTENT***

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The purpose of this report is to provide officials of the local governing body and other decision-makers with natural resource information. This information may be useful when undertaking land use decisions concerning variations, amendments or relief of local zoning ordinances, proposed subdivision of vacant or agricultural lands and the subsequent development of these lands. This report is a requirement under Section 22.02a of the Illinois Soil and Water Conservation Districts Act.

The intent of this report is to present the most current natural resource information available in a readily understandable manner. It contains a description of the present site conditions, the present resources, and the potential impacts that the proposed change may have on the site and its resources. The natural resource information was gathered from standardized data, on-site investigations and information furnished by the petitioner. This report must be read in its entirety so that the relationship between the natural resource factors and the proposed land use change can be fully understood.

Due to the limitations of scale encountered with the various resource maps, the property boundaries depicted in the various exhibits in this report provide a generalized representation of the property location and may not precisely reflect the legal description of the PIQ (Parcel in Question).

This report, when used properly, will provide the basis for proper land use change decisions and development while protecting the natural resource base of the county. It should not be used in place of detailed environmental and/or engineering studies that are warranted under most circumstances, but in conjunction with those studies.

The conclusions of this report in no way indicate that a certain land use is not possible, but it should alert the reader to possible problems that may occur if the capabilities of the land are ignored. Any questions on the technical data supplied in this report or if anyone feels that they would like to see more additional specific information to make the report more effective, please contact:

**Kendall County Soil and Water Conservation District**  
**7775A Route 47, Yorkville, IL 60560**  
**Phone: (630) 553-5821 ext. 3**  
**E-mail: [Alyse.Olson@il.nacdnet.net](mailto:Alyse.Olson@il.nacdnet.net)**



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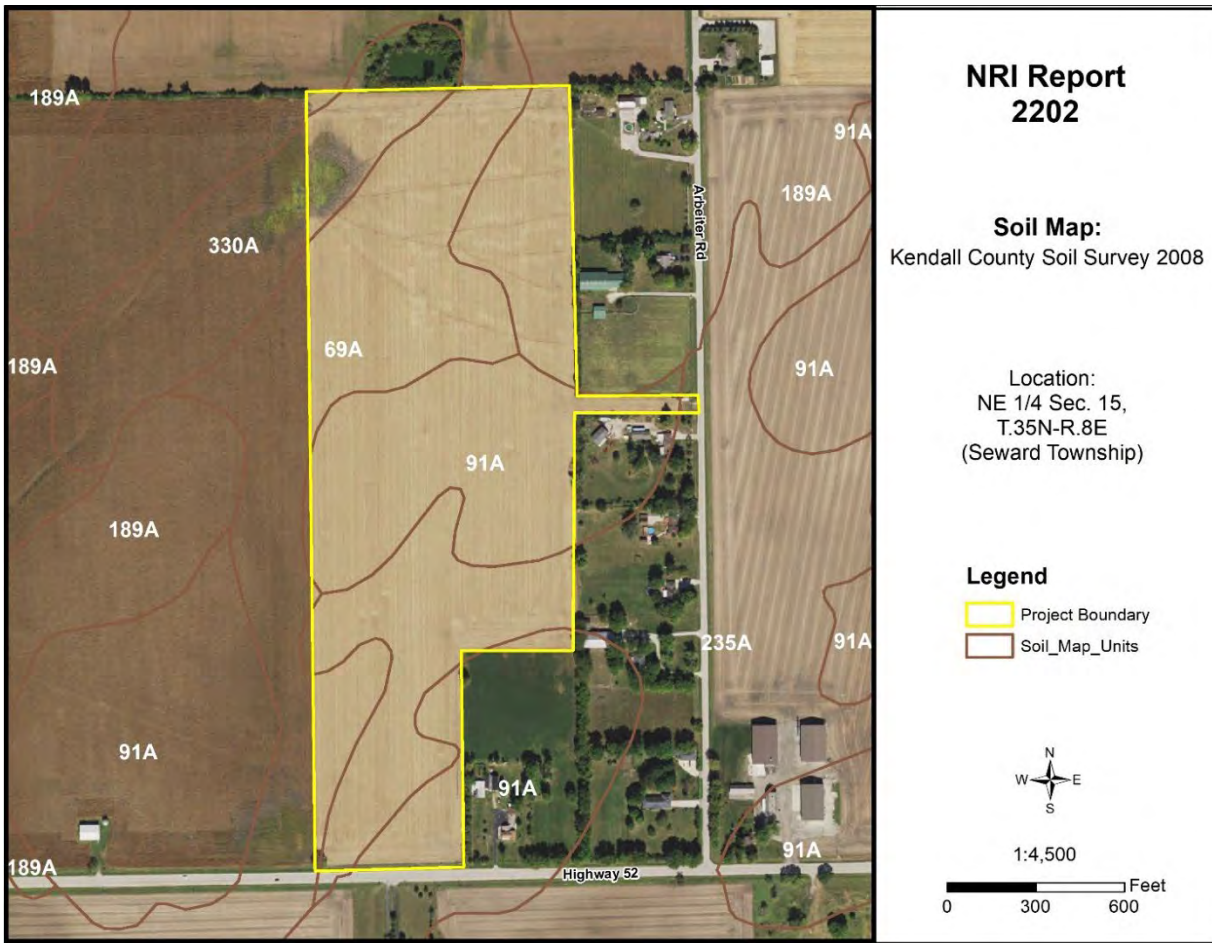
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## ***EXECUTIVE SUMMARY***

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Natural Resource Information Report Number	#2202
Petitioner	Best Budget Tree Service
Contact Person	Jeremy Dippold
County or Municipality the Petition is Filed With	Kendall County
Location of Parcel	NE ¼ of Section 15, Township 35 North, Range 8 East (Seward Township) of the 3 <sup>rd</sup> Principal Meridian
Project or Subdivision Name	Best Budget Tree Service
Existing Zoning & Land Use	A-1 Agricultural
Proposed Zoning & Land Use	A-1 SU Agricultural with Special Use Permit; Tree Service Business
Proposed Water Source	Well
Proposed Type of Sewage Disposal System	Septic
Proposed Type of Storm Water Management	Wet Bottom Detention Pond
Size of Site	48.59 acres
Land Evaluation Site Assessment Score	210 (Land Evaluation: 85; Site Assessment: 125)



**NATURAL RESOURCE CONSIDERATIONS****Figure 1: Soil Map****SOIL INFORMATION**

Based on information from the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) 2008 Kendall County Soil Survey, this parcel is shown to contain the following soil types (please note this does not replace the need for or results of onsite soil testing; if completed, please refer to onsite soil test results for planning/engineering purposes):

**Table 1: Soils Information**

Map Unit	Soil Name	Drainage Class	Hydrologic Group	Hydric Designation	Farmland Designation
69A	Milford silty clay loam, 0-2% slopes	Poorly Drained	C/D	Hydric	Prime Farmland if drained
91A	Swygert silty clay loam, 0-2% slopes	Somewhat Poorly Drained	C/D	Non-Hydric	Prime Farmland
189A	Martinton silt loam, 0-2% slopes	Somewhat Poorly Drained	C/D	Non-Hydric	Prime Farmland
235A	Bryce silty clay, 0-2% slopes	Poorly Drained	C/D	Hydric	Prime Farmland if drained
330A	Peotone silty clay loam, 0-2% slopes	Very Poorly Drained	C/D	Hydric	Prime Farmland if drained



**Hydrologic Soil Groups** – Soils have been classified into four (A, B, C, D) hydrologic groups based on runoff characteristics due to rainfall. If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D), the first letter is for drained areas and the second letter is for undrained areas.

- **Hydrologic group A:** Soils have a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.
- **Hydrologic group B:** Soils have a moderate infiltration rate when thoroughly wet, consist chiefly of moderately deep to deep, moderately well drained to well drained soils that have a moderately fine to moderately coarse texture. These soils have a moderate rate of water transmission.
- **Hydrologic group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.
- **Hydrologic group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

**Hydric Soils** – A hydric soil is one that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part of the soil profile that supports the growth or regeneration of hydrophytic vegetation. Soils with hydric inclusions have map units dominantly made up of non-hydric soils that may have inclusions of hydric soils in the lower positions on the landscape. Of the soils found onsite, three are classified as hydric soil (69A Milford silty clay loam, 235A Bryce silty clay, and 330A Peotone silty clay loam), and the remaining soils are classified as non-hydric soils with hydric inclusions likely (91A Swygert silty clay loam and 189A Martinton silt loam).

**Prime Farmland** – Prime farmland is land that has the best combination of physical and chemical characteristics for agricultural production. Prime farmland soils are an important resource to Kendall County and some of the most productive soils in the United States occur locally. Of the soils found onsite, all are designated as prime farmland.

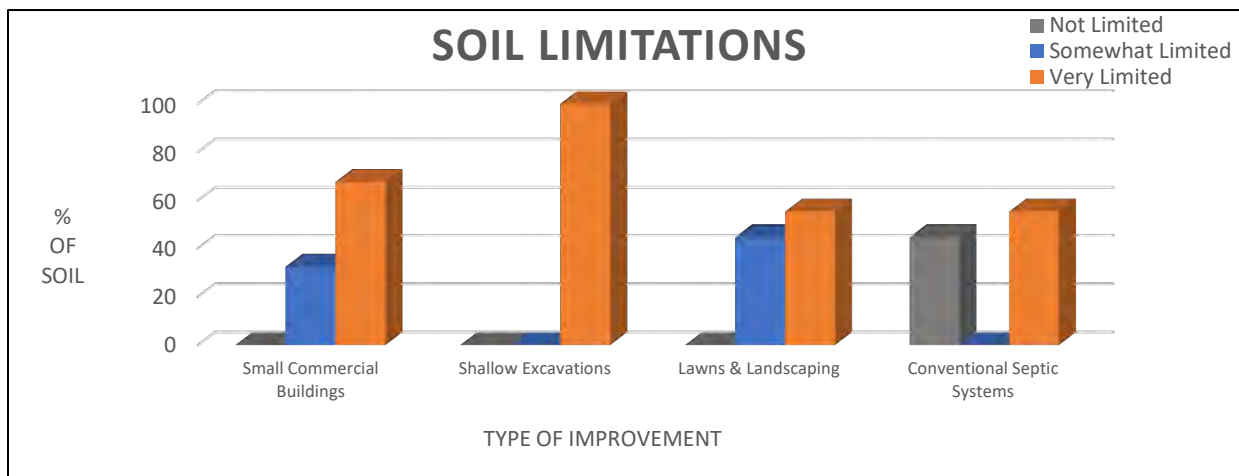
**Soil Limitations** – The USDA-NRCS Web Soil Survey rates the limitations of soils for dwellings with basements, dwellings without basements, small commercial buildings, shallow excavations, lawns/landscaping, and local roads and streets. Soils have different properties which influence the development of building sites. The USDA-NRCS classifies soils as Not Limited, Somewhat Limited, and Very Limited. Soils that are Not Limited indicates that the soil has properties that are favorable for the specified use. They will perform well and will have low maintenance. Soils that are Somewhat Limited are moderately favorable, and their limitations can be overcome through special planning, design, or installation. Soils that are Very Limited have features that are unfavorable for the specified use, and their limitations cannot easily be overcome.



**Table 2:** Soil Limitations

Soil Type	Small Commercial Buildings	Shallow Excavations	Lawns/ Landscaping	Conventional Septic Systems
69A	Very Limited	Very Limited	Very Limited	Unsuitable / Very Limited
91A	Somewhat Limited	Very Limited	Somewhat Limited	Suitable / Not Limited
189A	Very Limited	Very Limited	Somewhat Limited	Suitable / Not Limited
235A	Very Limited	Very Limited	Very Limited	Unsuitable / Very Limited
330A	Very Limited	Very Limited	Very Limited	Unsuitable / Very Limited

**Septic Systems** – The factors considered for determining suitability are the characteristics and qualities of the soil that affect the limitations for absorbing waste from domestic sewage disposal systems. The major features considered are soil permeability, percolation rate, groundwater level, depth to bedrock, flooding hazards, and slope. Soils are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Installation of an on-site sewage disposal system in soils designated as unsuitable may necessitate the installation of a non-conventional onsite sewage disposal system. For more information please contact the Kendall County Health Department (811 W. John Street, Yorkville, IL; (630) 553-9100 ext. 8026).

**Figure 2:** Soil Limitations

### KENDALL COUNTY LAND EVALUATION AND SITE ASSESSMENT (LESA)

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

- **Land Evaluation (LE):** The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland, or forestland. The best group is assigned a value of 100 and all other groups are assigned lower values. The Land Evaluation is



based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.

- The Land Evaluation score for this site is **85**, indicating that this site is **well suited** for agricultural uses.
- **Site Assessment (SA):** The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Site Assessment value is based on a 200-point scale and accounts for 2/3 of the total score. The Kendall County LESA Committee is responsible for this portion of the LESA system.
  - The Site Assessment score for this site is **125**.

The **LESA Score for this site is 210 out of a possible 300, which indicates a medium level of protection** for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County. If the project is agricultural in nature, however, a higher score may provide an indication of the suitability of the project as it relates to the compatibility with existing agricultural land use.

#### **WETLANDS**

The U.S. Fish & Wildlife Service's National Wetlands Inventory map **indicates the presence** of a wetland(s) on the proposed project site. To determine if a wetland is present, a wetland delineation specialist, who is recognized by the U.S. Army Corps of Engineers, should determine the exact boundaries and value of the wetlands.

#### **FLOODPLAIN**

The Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Map (FIRM) for Kendall County, Community Panel No. 17093C0145H (effective date January 8, 2014) was reviewed to determine the presence of floodplain and floodway areas within the project site. According to the map, the parcel is **not located within** the floodplain or floodway.

#### **SEDIMENT AND EROSION CONTROL**

Development on this site should include an erosion and sediment control plan in accordance with local, state, and federal regulations. Soil erosion on construction sites is a resource concern because suspended sediment from areas undergoing development is a primary nonpoint source of water pollution. Please consult the *Illinois Urban Manual* (<https://illinoisurbanmanual.org/>) for appropriate best management practices.



**LAND USE FINDINGS:**

The Kendall County Soil and Water Conservation District (SWCD) Board has reviewed the proposed development plans for Petitioner Best Budget Tree Service for the Special Use Permit request to construct and operate a tree service and landscaping business on one parcel (Parcel Index Number 09-15-200-003) within Seward Township of Kendall County located in the NE ¼ of Section 15, Township 35N, and Range 8E of the 3<sup>rd</sup> Principal Meridian. Based on the information provided by the petitioner, and a review of natural resource related data available to the Kendall County SWCD, the SWCD Board presents the following information.

The Kendall County SWCD has always had the opinion that Prime Farmland should be preserved whenever feasible. Of the soils found onsite, 100% are classified as prime farmland. A land evaluation (LE), which is a part of the Land Evaluation and Site Assessment (LESA), was conducted on this parcel. The soils on this parcel scored an 85 out of a possible 100 points indicating that the soils are well suited for agricultural uses. The total LESA Score for this site is 210 out of a possible 300, which indicates a medium level of protection for the proposed project site. Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County. If the project is agricultural in nature, however, a higher score may provide an indication of the suitability of the project as it relates to the compatibility with existing agricultural land use.

Soils found on the project site are rated for specific uses and can have potential limitations for development. Soil types with severe limitations do not preclude the ability to develop the site for the proposed use, but it is important to note that the limitation may require soil reclamation, special design/engineering, or maintenance to obtain suitable soil conditions to support development with significant limitations. This report indicates that for soils located on the parcel, 100% are very limited for shallow excavations, 68% are very limited for small commercial buildings, and 55% are very limited for lawns/landscaping. The remaining land is considered somewhat limited for these types of developments/uses. Additionally, 55% of the soils are considered unsuitable for conventional septic systems. This information is based on the soil in an undisturbed state. If the scope of the project may include the use of onsite septic systems, please consult with the Kendall County Health Department.

This site is located within the Upper Illinois River watershed and the Minooka Branch Aux Sable Creek sub watershed. This development should include a soil erosion and sediment control plan to be implemented during construction. Sediment may become a primary non-point source of pollution; eroded soils during the construction phase can create unsafe conditions on roadways, degrade water quality and destroy aquatic ecosystems lower in the watershed.

For intense use, it is recommended that a drainage tile survey be completed on the parcel to locate the subsurface drainage tile and should be taken into consideration during the land use planning process. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. Impaired tile may affect a few acres or hundreds of acres of drainage.

The information that is included in this Natural Resources Information Report is to assure that the Land Developers take into full consideration the limitations of that land that they wish to develop. Guidelines and recommendations are also a part of this report and should be considered in the planning process. The Natural Resource Information Report is required by the Illinois Soil and Water Conservation District Act (Ill. Compiled Statutes, Ch. 70, Par 405/22.02a).



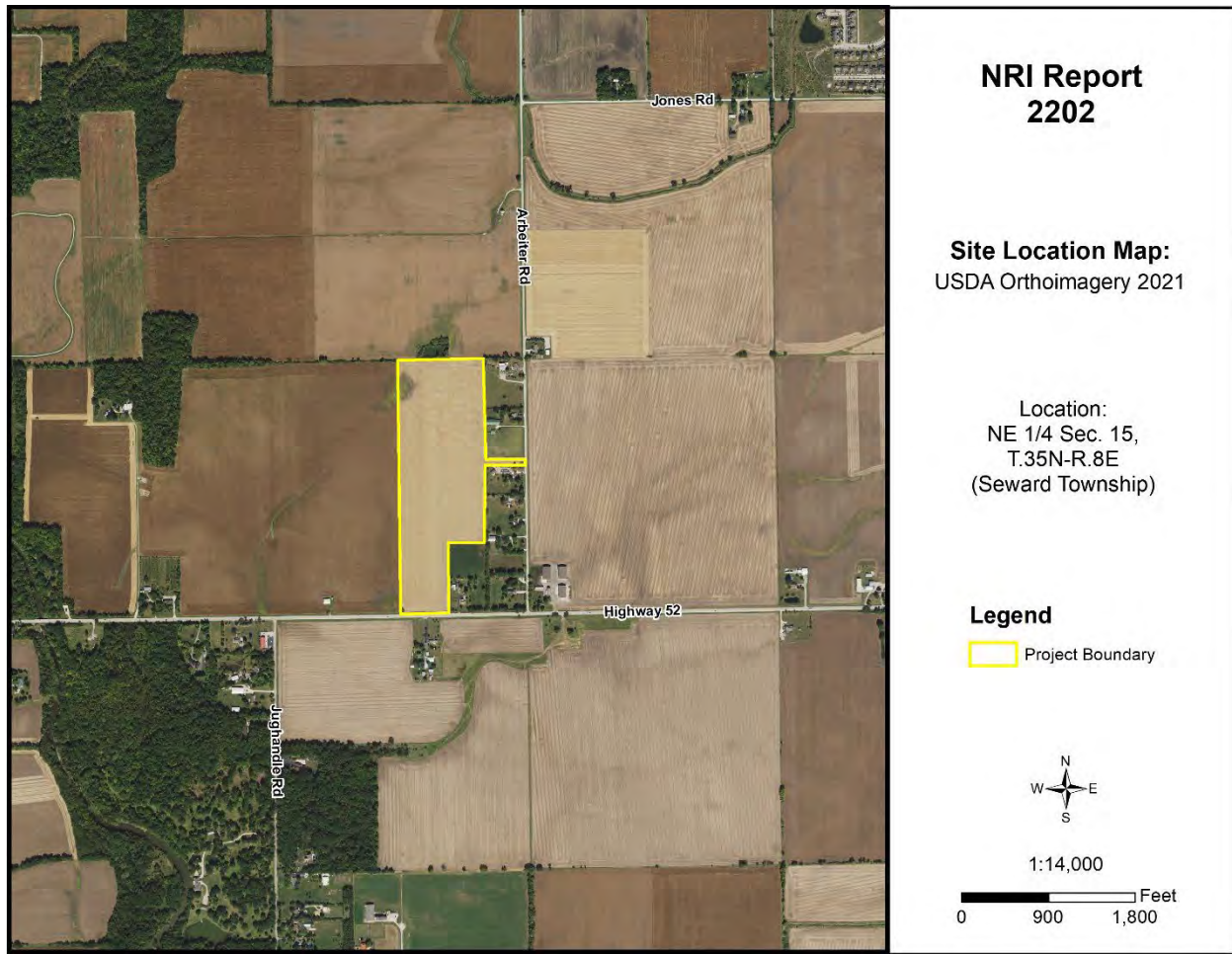
SWCD Board Representative

5/2/2022  
Date









**Figure 4: 2021 Aerial Map with NRI Site Boundary**



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## **ARCHAEOLOGIC/CULTURAL RESOURCES INFORMATION**

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Simply stated, cultural resources are all the past activities and accomplishments of people. They include the following: buildings; objects made or used by people; locations; and less tangible resources, such as stories, dance forms, and holiday traditions.

The Soil and Water Conservation District most often encounters cultural resources as historical properties. These may be prehistoric or historical sites, buildings, structures, features, or objects. The most common type of historical property that the Soil and Water Conservation District may encounter is non-structural archaeological sites. These sites often extend below the soil surface and must be protected against disruption by development or other earth moving activity if possible. Cultural resources are *non-renewable* because there is no way to “grow” a site to replace a disrupted site.

Landowners with historical properties on their land have ownership of that historical property. However, the State of Illinois owns all the following: human remains, grave markers, burial mounds, and artifacts associated with graves and human remains.

Non-grave artifacts from archaeological sites and historical buildings are the property of the landowner. The landowner may choose to disturb a historical property but may not receive federal or state assistance to do so. If an earth moving activity disturbs human remains, the landowner must contact the county coroner within 48 hours.

<p><b>The Illinois Historic Preservation Agency has not been notified of the proposed land use change by the Kendall County SWCD. The applicant may need to contact the IHPA according to current Illinois law.</b></p>
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## ***ECOLOGICALLY SENSITIVE AREAS***

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### **WHAT IS BIOLOGICAL DIVERSITY AND WHY SHOULD IT BE CONSERVED?<sup>1</sup>**

Biological diversity, or biodiversity, is the range of life on our planet. A more thorough definition is presented by botanist Peter H. Raven: “At the simplest level, biodiversity is the sum total of all the plants, animals, fungi and microorganisms in the world, or in a particular area; all of their individual variation; and all of the interactions between them. It is the set of living organisms that make up the fabric of the planet Earth and allow it to function as it does, by capturing energy from the sun and using it to drive all of life’s processes; by forming communities of organisms that have, through the several billion years of life’s history on Earth, altered the nature of the atmosphere, the soil and the water of our Planet; and by making possible the sustainability of our planet through their life activities now” (Raven 1994).

It is not known how many species occur on our planet. Presently, about 1.4 million species have been named. It has been estimated that there are perhaps 9 million more that have not been identified. What is known is that they are vanishing at an unprecedented rate. Reliable estimates show extinction occurring at a rate several orders of magnitude above “background” in some ecological systems (Wilson 1992, Hoose 1981).

The reasons for protecting biological diversity are complex, but they fall into four major categories. First, loss of diversity generally weakens entire natural systems. Healthy ecosystems tend to have many natural checks and balances. Every species plays a role in maintaining this system. When simplified by the loss of diversity, the system becomes more susceptible to natural and artificial perturbations. The chances of a system-wide collapse increase. In parts of the midwestern United States, for example, it was only the remnant areas of natural prairies that kept soil intact during the dust bowl years of the 1930s (Roush 1982).

Simplified ecosystems are almost always expensive to maintain. For example, when synthetic chemicals are relied upon to control pests, the target species are not the only ones affected. Their predators are almost always killed or driven away, exasperating the pest problem. In the meantime, people are unintentionally breeding pesticide-resistant pests. A process has begun where people become perpetual guardians of the affected area, which requires the expenditure of financial resources and human ingenuity to keep the system going.

A second reason for protecting biological diversity is that it represents one of our greatest untapped resources. Great benefits can be reaped from a single species. About 20 species provide 90% of the world’s food. Of these 20, just three, wheat, maize, and rice supply over one half of that food. American wheat farmers need new varieties every five to 15 years to compete with pests and diseases. Wild strains of wheat are critical genetic reservoirs for these new varieties.

Further, every species is a potential source of human medicine. In 1980, a published report identified the market value of prescription drugs from higher plants at over \$3 billion. Organic alkaloids, a class of



chemical compounds used in medicines, are found in an estimated 20% of plant species. Yet only 2% of plant species have been screened for these compounds (Hoose 1981).

The third reason for protecting diversity is that humans benefit from natural areas and depend on healthy ecosystems. The natural world supplies our air, our water, our food and supports human economic activity. Further, humans are creatures that evolved in a diverse natural environment between forest and grasslands. People need to be reassured that such places remain. When people speak of “going to the country,” they generally mean more than getting out of town. For reasons of their own sanity and wellbeing, they need a holistic, organic experience. Prolonged exposure to urban monotony produces neuroses, for which cultural and natural diversity cure.

Historically, the lack of attention to biological diversity, and the ecological processes it supports, has resulted in economic hardships for segments of the basin’s human population.

The final reason for protecting biological diversity is that species and natural systems are intrinsically valuable. The above reasons have focused on the benefits of the natural world to humans. All things possess intrinsic value simply because they exist.

#### **BIOLOGICAL RESOURCES CONCERNING THE SUBJECT PARCEL**

As part of the Natural Resources Information Report, staff checks office maps to determine if any nature preserves or ecologically sensitive areas are in the general vicinity of the parcel in question. If there is a nature preserve in the area, then that resource will be identified as part of the report. The SWCD recommends that every effort be made to protect that resource. Such efforts should include, but are not limited to erosion control, sediment control, stormwater management, and groundwater monitoring.

**Office maps indicate that ecologically sensitive area(s) are located on or near the parcel in question (PIQ). There is a freshwater emergent wetland located in the northwest corner of the PIQ. There is also the Aux Sable Creek and Baker Woods Forest Preserve within a mile of the PIQ to the west.**

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<sup>1</sup>Taken from *The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities*, prepared by the Nature Conservancy Great Lakes Program 79W. Monroe Street, Suite 1309, Chicago, IL 60603, January 1994.



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## ***SOILS INFORMATION***

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### **IMPORTANCE OF SOILS INFORMATION**

Soils information comes from the Natural Resources Conservation Service Soil Maps and Descriptions for Kendall County. This information is important to all parties involved in determining the suitability of the proposed land use change.

Each soil polygon is given a number, which represents its soil type. The letter found after the soil type number indicates the soils slope class.

Each soil map unit has limitations for a variety of land uses such as septic systems, buildings with basements, and buildings without basements. It is important to remember that soils do not function independently of each other. The behavior of a soil depends upon the physical properties of adjacent soil types, the presence of artificial drainage, soil compaction, and its position in the local landscape.

The limitation categories (not limited, somewhat limited, or very limited) indicate the potential for difficulty in using that soil unit for the proposed activity and, thus, the degree of need for thorough soil borings and engineering studies. A limitation does not necessarily mean that the proposed activity cannot be done on that soil type. It does mean that the reasons for the limitation need to be thoroughly understood and dealt with to complete the proposed activity successfully. Very limited indicates that the proposed activity will be more difficult and costly to do on that soil type than on a soil type with a somewhat limited or not limited rating.

Soil survey interpretations are predictions of soil behavior for specified land uses and specified management practices. They are based on the soil properties that directly influence the specified use of the soil. Soil survey interpretations allow users of soil surveys to plan reasonable alternatives for the use and management of soils.

Soil interpretations do not eliminate the need for on-site study and testing of specific sites for the design and construction for specific uses. They can be used as a guide for planning more detailed investigations and for avoiding undesirable sites for an intended use. The scale of the maps and the range of error limit the use of the soil delineation.



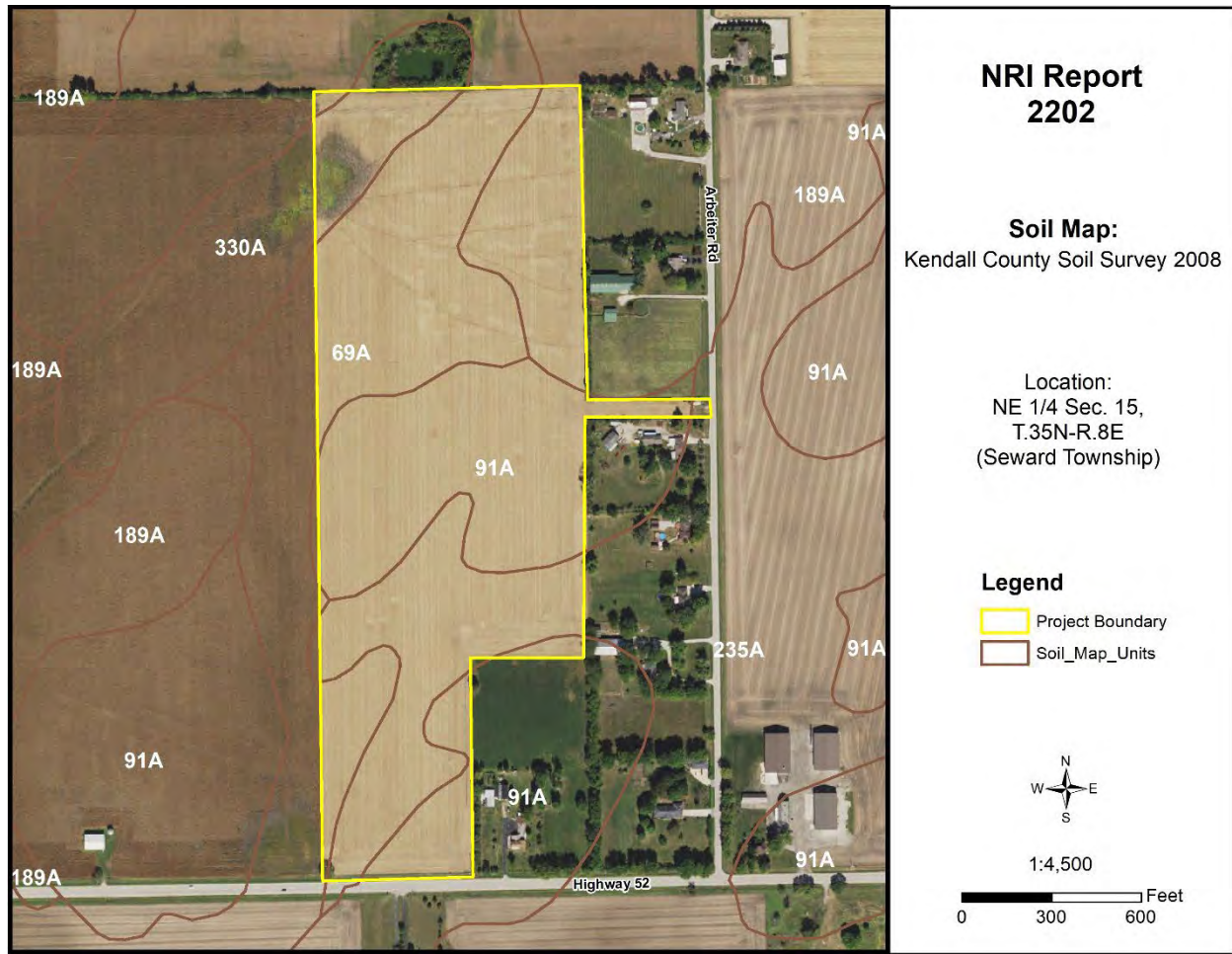


Figure 5: Soil Map

Table 3: Soil Map Unit Descriptions

Symbol	Descriptions	Acres	Percent
69A	Milford silty clay loam, 0-2% slopes	14.1	29.0%
91A	Swygert silty clay loam, 0-2% slopes	15.8	32.4%
189A	Martinton silt loam, 0-2% slopes	6.0	12.3%
235A	Bryce silty clay, 0-2% slopes	10.1	20.8%
330A	Peotone silty clay loam, 0-2% slopes	2.7	5.5%

Source: National Cooperative Soil Survey – USDA-NRCS



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## ***SOILS INTERPRETATIONS EXPLANATION***

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### **GENERAL – NONAGRICULTURAL**

These interpretative ratings help engineers, planners, and others to understand how soil properties influence behavior when used for nonagricultural uses such as building site development or construction materials. This report gives ratings for proposed uses in terms of limitations and restrictive features. The tables list only the most restrictive features.

Other features may need treatment to overcome soil limitations for a specific purpose. Ratings come from the soil's "natural" state, that is, no unusual modification occurs other than that which is considered normal practice for the rated use. Even though soils may have limitations, an engineer may alter soil features or adjust building plans for a structure to compensate for most degrees of limitations. Most of these practices, however, are costly. The final decision in selecting a site for a particular use generally involves weighing the costs for site preparation and maintenance. Soil properties influence development of building sites, including the selection of the site, the design of the structure, construction, performance after construction, and maintenance. Soil limitation ratings of not limited, somewhat limited, and very limited are given for the types of proposed improvements that are listed or inferred by the petitioner as entered on the report application and/or zoning petition. The most common types of building limitation that this report gives limitations ratings for is septic systems. It is understood that engineering practices can overcome most limitations for buildings with and without basements, and small commercial buildings. Limitation ratings for these types of buildings are not commonly provided. Organic soils, when present on the parcel, are referenced in the hydric soils section of the report. This type of soil is considered unsuitable for all types of construction.

### **LIMITATIONS RATINGS**

- **Not Limited:** This soil has favorable properties for the use. The degree of limitation is minor. The people involved can expect good performance and low maintenance.
- **Somewhat Limited:** This soil has moderately favorable properties for the use. Special planning, design, or maintenance can overcome this degree of limitation. During some part of the year, the expected performance is less desirable than for soils rated slight.
- **Very Limited:** This soil has one or more properties that are unfavorable for the rated use. These may include the following: steep slopes, bedrock near the surface, flooding, high shrink-swell potential, a seasonal high water table, or low strength. This degree of limitation generally requires major soil reclamation, special design, or intensive maintenance, which in most situations is difficult and costly.



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## ***BUILDING LIMITATIONS***

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### **BUILDING ON POORLY SUITED OR UNSUITABLE SOILS**

Building on poorly suited or unsuitable soils can present problems to future property owners such as cracked foundations, wet basements, lowered structural integrity and high maintenance costs associated with these problems. The staff of the Kendall County SWCD strongly urges scrutiny by the plat reviewers when granting parcels with these soils exclusively.

**Small Commercial Buildings** – Ratings are for structures that are less than three stories high and do not have basements. The foundation is assumed to be spread footings of reinforced concrete built on disturbed soil at a depth of 2 feet or at the depth of maximum frost penetration, whichever is deeper. The ratings are based on soil properties that affect the capacity of the soil to support a load without movement and on the properties that affect excavation and construction costs.

**Shallow Excavations** – Trenches or holes dug to a maximum depth of 5 or 6 feet for utility lines, open ditches, or other purposes. Ratings are based on soil properties that influence the ease of digging and the resistance to sloughing.

**Lawns and Landscaping** – Require soils on which turf and ornamental trees and shrubs can be established and maintained (irrigation is not considered in the ratings). The ratings are based on the soil properties that affect plant growth and trafficability after vegetation is established.

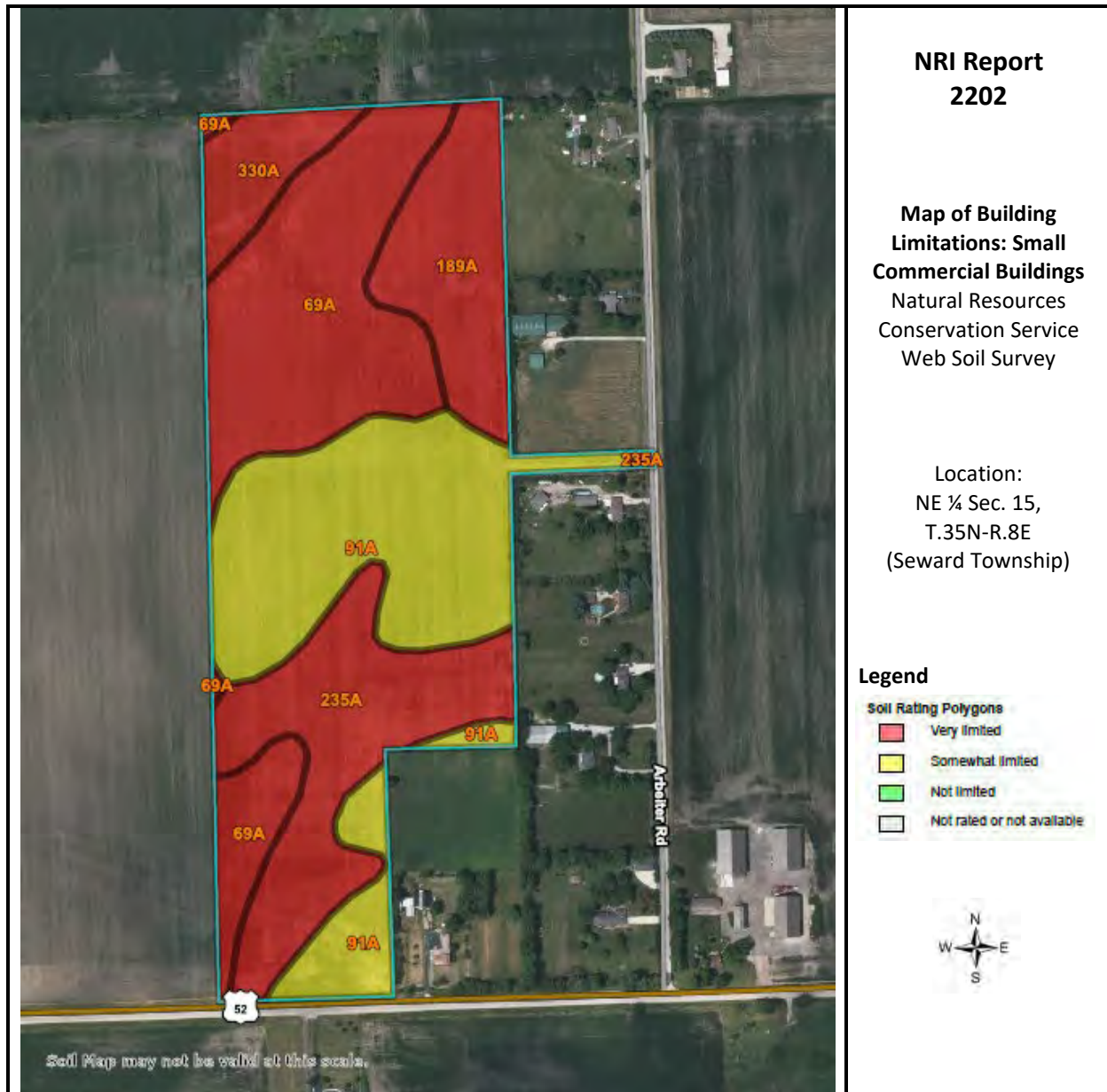
**Onsite Sewage Disposal** – The factors considered are the characteristics and qualities of the soil that affect the limitations for absorbing waste from domestic sewage disposal systems. The major features considered are soil permeability, percolation rate, groundwater level, depth to bedrock, flooding hazards, and slope. The table below indicates soils that are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Installation of an on-site sewage disposal system in soils designated as unsuitable may necessitate the installation of a non-conventional onsite sewage disposal system. For more information please contact the Kendall County Health Department – Environmental Health at (630) 553-9100 x8026.



**Table 4:** Building Limitations

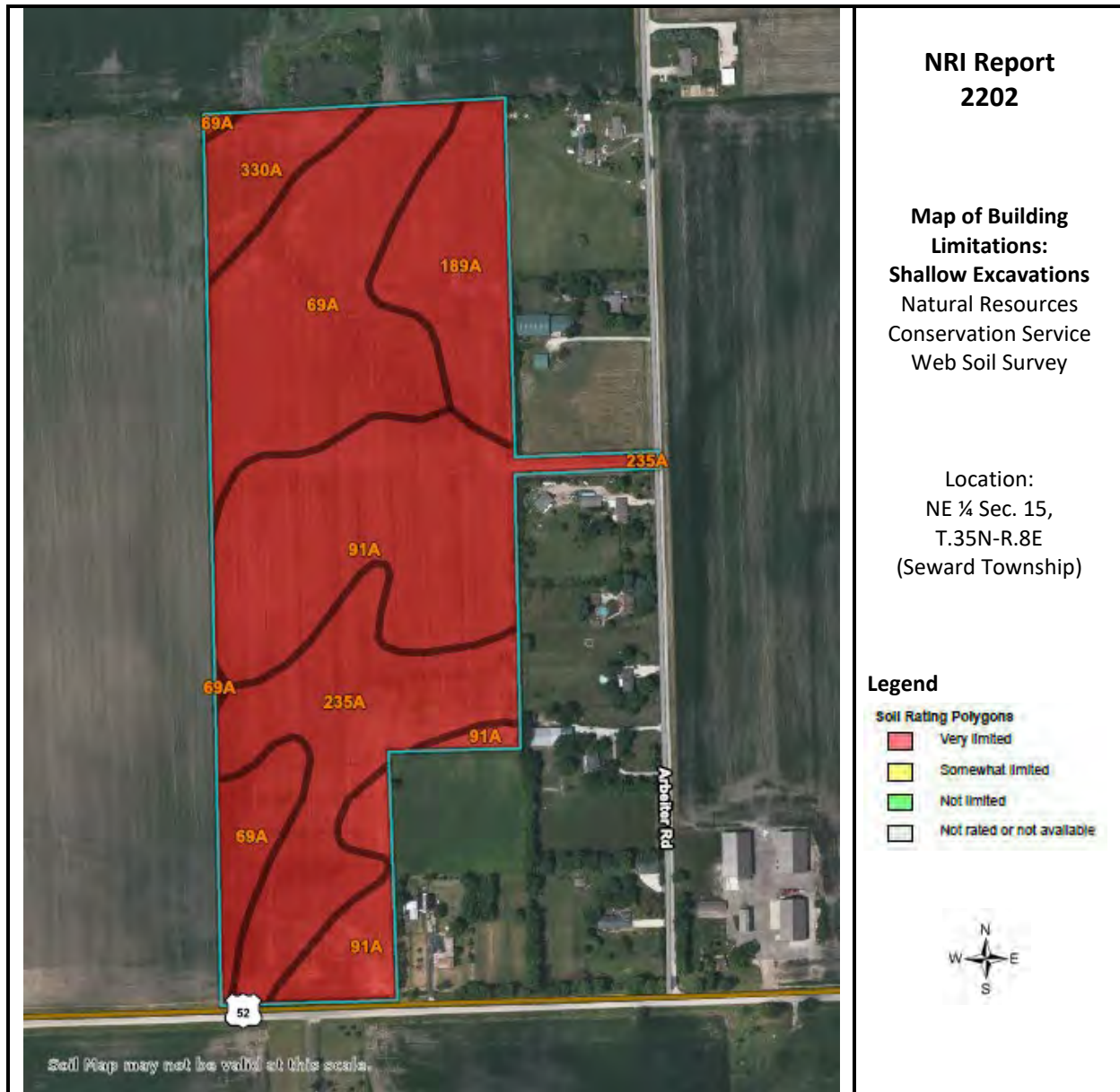
<b>Soil Type</b>	<b>Small Commercial Buildings</b>	<b>Shallow Excavations</b>	<b>Lawns &amp; Landscaping</b>	<b>Onsite Conventional Sewage Systems</b>	<b>Acres</b>	<b>%</b>
69A	<b>Very Limited:</b> Ponding Depth to saturated zone Shrink-swell	<b>Very Limited:</b> Ponding Depth to saturated zone Unstable excavation walls Dusty Too clayey	<b>Very Limited:</b> Ponding Depth to saturated zone Dusty	<b>Unsuitable/Very Limited:</b> Wet	14.1	29.0%
91A	<b>Somewhat Limited:</b> Depth to saturated zone Shrink-swell	<b>Very Limited:</b> Depth to saturated zone Too clayey Dusty Unstable excavation walls	<b>Somewhat Limited:</b> Depth to saturated zone Dusty	<b>Suitable/Not Limited</b>	15.8	32.4%
189A	<b>Very Limited:</b> Shrink-swell Depth to saturated zone	<b>Very Limited:</b> Depth to saturated zone Dusty Unstable excavation walls	<b>Somewhat Limited:</b> Depth to saturated zone Dusty	<b>Suitable/Not Limited</b>	6.0	12.3%
235A	<b>Very Limited:</b> Ponding Depth to saturated zone Shrink-swell	<b>Very Limited:</b> Ponding Depth to saturated zone Too clayey Unstable excavation walls Dusty	<b>Very Limited:</b> Ponding Depth to saturated zone Too clayey Dusty	<b>Unsuitable/Very Limited:</b> Wet	10.1	20.8%
330A	<b>Very Limited:</b> Ponding Depth to saturated zone Shrink-swell	<b>Very Limited:</b> Ponding Depth to saturated zone Unstable excavation walls Dusty Too clayey	<b>Very Limited:</b> Ponding Depth to saturated zone Dusty	<b>Unsuitable/Very Limited:</b> Wet	2.7	5.5%
<b>% Very Limited</b>	<b>67.6%</b>	<b>100%</b>	<b>55.3%</b>	<b>55.3%</b>		





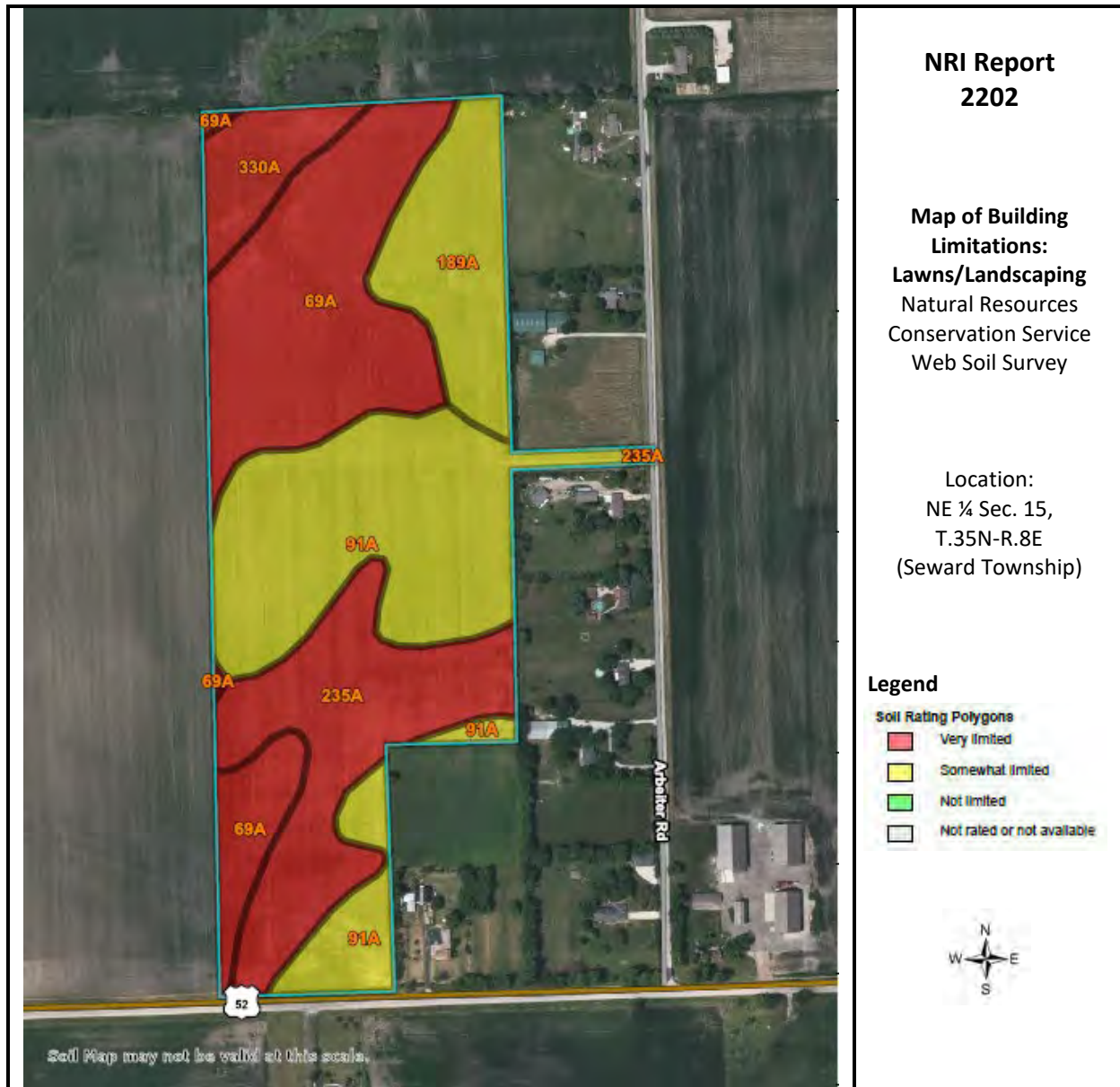
**Figure 6A:** Map of Building Limitations – Small Commercial Buildings





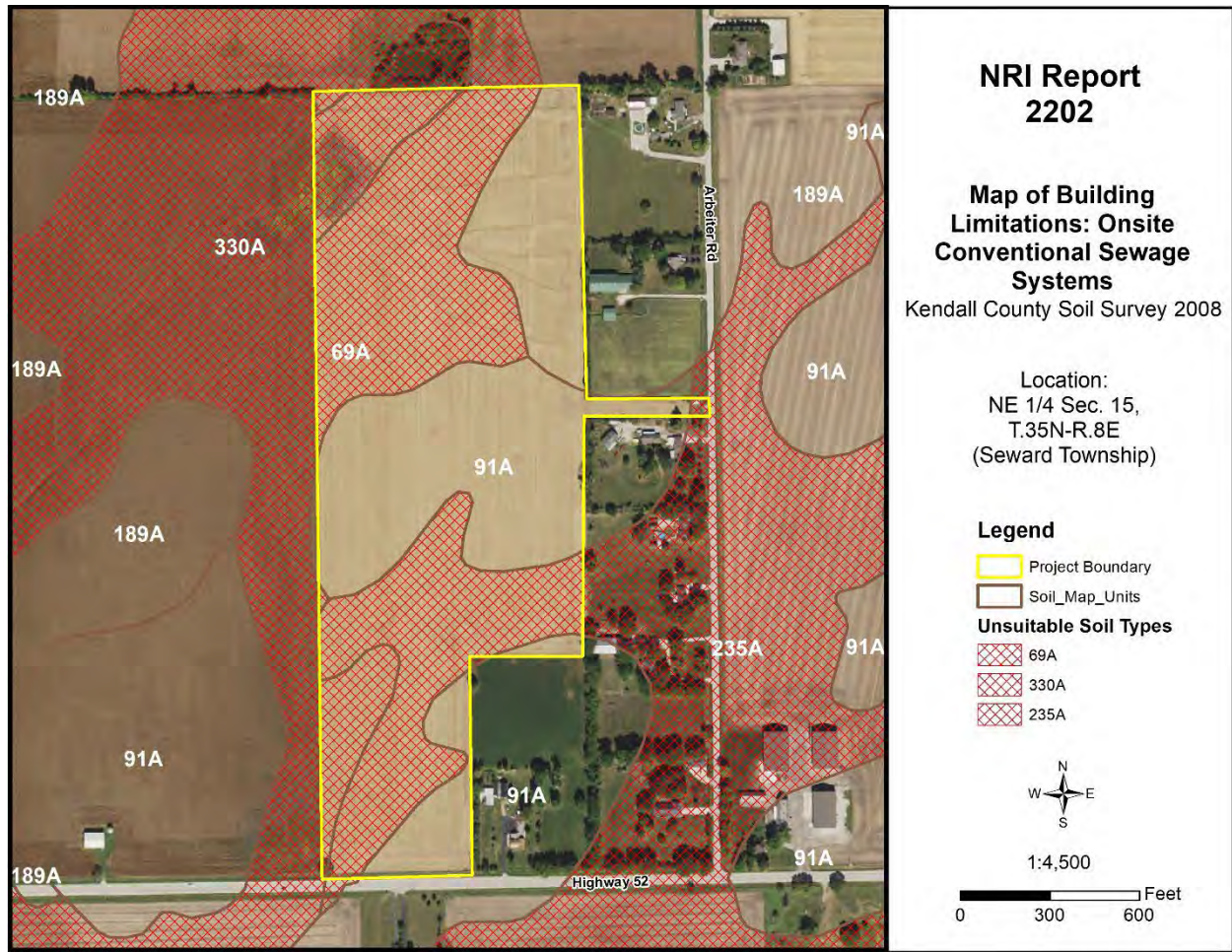
**Figure 6B: Map of Building Limitations – Shallow Excavations**





**Figure 6C:** Map of Building Limitations – Lawns/Landscaping





**Figure 6D: Map of Building Limitations – Onsite Conventional Sewage System**



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## **SOIL WATER FEATURES**

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Table 5, below, gives estimates of various soil water features that should be taken into consideration when reviewing engineering for a land use project.

**HYDROLOGIC SOIL GROUPS (HSGs)** – The groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

- **Group A:** Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.
- **Group B:** Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained, or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.
- **Group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.
- **Group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

**Note:** If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D) the first letter is for drained areas and the second is for undrained areas.

**SURFACE RUNOFF** – Surface runoff refers to the loss of water from an area by flow over the land surface. Surface runoff classes are based upon slope, climate and vegetative cover and indicates relative runoff for very specific conditions (it is assumed that the surface of the soil is bare and that the retention of surface water resulting from irregularities in the ground surface is minimal). The classes are negligible, very low, low, medium, high, and very high.

**MONTHS** – The portion of the year in which a water table, ponding, and/or flooding is most likely to be a concern.

**WATER TABLE** – Water table refers to a saturated zone in the soil and the data indicates, by month, depth to the top (upper limit) and base (lower limit) of the saturated zone in most years. These estimates are based upon observations of the water table at selected sites and on evidence of a saturated zone (grayish colors or mottles (redoximorphic features)) in the soil. Note: A saturated zone that lasts for less than a month is not considered a water table.

**PONDING** – Ponding refers to standing water in a closed depression, and the data indicates surface water depth, duration, and frequency of ponding.



- **Duration:** Expressed as *very brief* if less than 2 days, *brief* if 2 to 7 days, *long* if 7 to 30 days and *very long* if more than 30 days.
- **Frequency:** Expressed as: *none* meaning ponding is not possible; *rare* means unlikely but possible under unusual weather conditions (chance of ponding is 0-5% in any year); *occasional* means that it occurs, on the average, once or less in 2 years (chance of ponding is 5 to 50% in any year); and *frequent* means that it occurs, on the average, more than once in 2 years (chance of ponding is more than 50% in any year).

**FLOODING** – The temporary inundation of an area caused by overflowing streams, by runoff from adjacent slopes, or by tides. Water standing for short periods after rainfall or snowmelt is not considered flooding, and water standing in swamps and marshes is considered ponding rather than flooding.

- **Duration:** Expressed as: *extremely brief* if 0.1 hour to 4 hours; *very brief* if 4 hours to 2 days; *brief* if 2 to 7 days; *long* if 7 to 30 days; and *very long* if more than 30 days.
- **Frequency:** Expressed as: *none* means flooding is not probable; *very rare* means that it is very unlikely but possible under extremely unusual weather conditions (chance of flooding is less than 1% in any year); *rare* means that it is unlikely but possible under unusual weather conditions (chance of flooding is 1 to 5% in any year); *occasional* means that it occurs infrequently under normal weather conditions (chance of flooding is 5 to 50% in any year but is less than 50% in all months in any year); and *very frequent* means that it is likely to occur very often under normal weather conditions (chance of flooding is more than 50% in all months of any year).

**Note:** The information is based on evidence in the soil profile. In addition, consideration is also given to local information about the extent and levels of flooding and the relation of each soil on the landscape to historic floods. Information on the extent of flooding based on soil data is less specific than that provided by detailed engineering surveys that delineate flood-prone areas at specific flood frequency levels.



**Table 5:** Water Features

<b>Map Unit</b>	<b>Hydrologic Group</b>	<b>Surface Runoff</b>	<b>Water Table</b>	<b>Ponding</b>	<b>Flooding</b>
69A	C/D	Negligible	<u>January – May</u> <b>Upper Limit:</b> 0.0'-1.0' <b>Lower Limit:</b> 6.0' <u>June – December</u> <b>Upper Limit:</b> -- <b>Lower Limit:</b> --	<u>January – May</u> <b>Surface Water Depth:</b> 0.0'-0.5' <b>Duration:</b> Brief (2 to 7 days) <b>Frequency:</b> Frequent <u>June – December</u> <b>Surface Water Depth:</b> -- <b>Duration:</b> -- <b>Frequency:</b> --	<u>January – December</u> <b>Duration:</b> -- <b>Frequency:</b> None
91A	C/D	Medium	<u>January – May</u> <b>Upper Limit:</b> 1.0'-2.0' <b>Lower Limit:</b> 2.9'-4.8' <u>June – December</u> <b>Upper Limit:</b> -- <b>Lower Limit:</b> --	<u>January – December</u> <b>Surface Water Depth:</b> -- <b>Duration:</b> -- <b>Frequency:</b> None	<u>January – December</u> <b>Duration:</b> -- <b>Frequency:</b> None
189A	C/D	Low	<u>January – May</u> <b>Upper Limit:</b> 1.0'-2.0' <b>Lower Limit:</b> 6.0' <u>June – December</u> <b>Upper Limit:</b> -- <b>Lower Limit:</b> --	<u>January – December</u> <b>Surface Water Depth:</b> -- <b>Duration:</b> -- <b>Frequency:</b> None	<u>January – December</u> <b>Duration:</b> -- <b>Frequency:</b> None
235A	C/D	Negligible	<u>January – May</u> <b>Upper Limit:</b> 0.0'-1.0' <b>Lower Limit:</b> 6.0' <u>June – December</u> <b>Upper Limit:</b> -- <b>Lower Limit:</b> --	<u>January – May</u> <b>Surface Water Depth:</b> 0.0'-0.5' <b>Duration:</b> Brief (2 to 7 days) <b>Frequency:</b> Frequent <u>June – December</u> <b>Surface Water Depth:</b> -- <b>Duration:</b> -- <b>Frequency:</b> --	<u>January – December</u> <b>Duration:</b> -- <b>Frequency:</b> None
330A	C/D	Negligible	<u>January – June</u> <b>Upper Limit:</b> 0.0'-1.0' <b>Lower Limit:</b> 6.0' <u>July – December</u> <b>Upper Limit:</b> -- <b>Lower Limit:</b> --	<u>January – May</u> <b>Surface Water Depth:</b> 0.0'-0.5' <b>Duration:</b> Brief (2 to 7 days) <b>Frequency:</b> Frequent <u>June – December</u> <b>Surface Water Depth:</b> -- <b>Duration:</b> -- <b>Frequency:</b> --	<u>January – December</u> <b>Duration:</b> -- <b>Frequency:</b> None



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## ***SOIL EROSION AND SEDIMENT CONTROL***

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Erosion is the wearing away of the soil by water, wind, and other forces. Soil erosion threatens the Nation's soil productivity and contributes the most pollutants in our waterways. Water causes about two thirds of erosion on agricultural land. Four properties, mainly, determine a soil's erodibility: texture, slope, structure, and organic matter content.

**Slope** has the most influence on soil erosion potential when the site is under construction. Erosivity and runoff increase as slope grade increases. The runoff then exerts more force on the particles, breaking their bonds more readily and carrying them farther before deposition. The longer water flows along a slope before reaching a major waterway, the greater the potential for erosion.

Soil erosion during and after this proposed construction can be a primary non-point source of water pollution. Eroded soil during the construction phase can create unsafe conditions on roadways, decrease the storage capacity of lakes, clog streams and drainage channels, cause deterioration of aquatic habitats, and increase water treatment costs. Soil erosion also increases the risk of flooding by choking culverts, ditches, and storm sewers and by reducing the capacity of natural and man-made detention facilities.

The general principles of erosion and sedimentation control measures include:

- Reducing or diverting flow from exposed areas, storing flows, or limiting runoff from exposed areas
- Staging construction to keep disturbed areas to a minimum
- Establishing or maintaining temporary or permanent groundcover
- Retaining sediment on site
- Properly installing, inspecting, and maintaining control measures

Erosion control practices are useful controls only if they are properly located, installed, inspected, and maintained.

The SWCD recommends an erosion and sediment control plan for all building sites, especially if there is a wetland or stream nearby.

**Table 6:** Soil Erosion Potential

<b>Soil Type</b>	<b>Slope</b>	<b>Rating</b>	<b>Acreage</b>	<b>Percent of Parcel</b>
69A	0-2%	Slight	14.1	29.0%
91A	0-2%	Slight	15.8	32.4%
189A	0-2%	Slight	6.0	12.3%
235A	0-2%	Slight	10.1	20.8%
330A	0-2%	Slight	2.7	5.5%



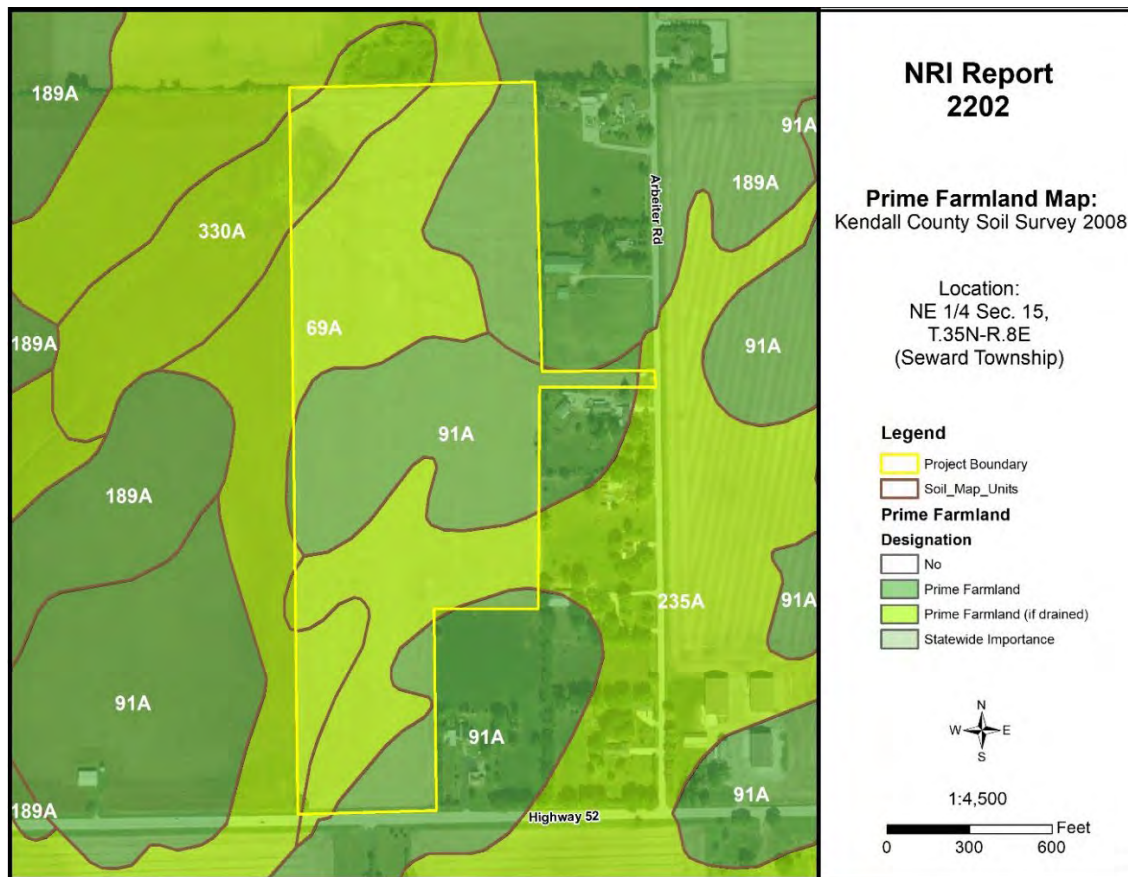
## ***PRIME FARMLAND SOILS***

Prime farmland soils are an important resource to Kendall County. Some of the most productive soils in the United States occur locally. Each soil map unit in the United States is assigned a prime or non-prime rating. Prime agricultural land does not need to be in the production of food & fiber.

Section 310 of the NRCS general manual states that urban or built-up land on prime farmland soils is not prime farmland. The percentages of soils map units on the parcel reflect the determination that urban or built up land on prime farmland soils is not prime farmland.

**Table 7:** Prime Farmland Soils

Soil Types	Prime Designation	Acreage	Percent
69A	Prime Farmland if drained	14.1	29.0%
91A	Prime Farmland	15.8	32.4%
189A	Prime Farmland	6.0	12.3%
235A	Prime Farmland if drained	10.1	20.8%
330A	Prime Farmland if drained	2.7	5.5%
<b>% Prime Farmland</b>	<b>100%</b>		



**Figure 7:** Map of Prime Farmland Soils



## **LAND EVALUATION AND SITE ASSESSMENT (LESA)**

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

### **LAND EVALUATION (LE)**

The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland, or forestland. The best group is assigned a value of 100, and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The LE score is calculated by multiplying the relative value of each soil type by the number of acres of that soil. The sum of the products is then divided by the total number of acres; the answer is the Land Evaluation score on this site. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.

### **SITE ASSESSMENT (SA)**

The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The value group is a predetermined value based upon prime farmland designation. The Kendall County LESA Committee is responsible for this portion of the LESA system.

**Please Note:** A land evaluation (LE) score will be compiled for every project parcel. However, when a parcel is located within municipal planning boundaries, a site assessment (SA) score is not compiled as the scoring factors are not applicable. As a result, only the LE score is available, and a full LESA score is unavailable for the parcel.

**Table 8A:** Land Evaluation Computation

Soil Type	Value Group	Relative Value	Acres	Product (Relative Value x Acres)
69A	3	87	14.1	1,226.7
91A	4	79	15.8	1,248.2
189A	2	94	6.0	564
235A	3	87	10.1	878.7
330A	30	87	2.7	234.9
<b>Totals</b>			<b>48.7</b>	<b>4,152.5</b>
<b>LE Calculation</b>			(Product of relative value / Total Acres) 4,152.5 / 48.7 = 85.3	
<b>LE Score</b>			<b>LE = 85</b>	



The Land Evaluation score for this site is 85, indicating that this site is well suited for agricultural uses considering the Land Evaluation score is above 80.

**Table 8B: Site Assessment Computation**

<b>A.</b>	<b>Agricultural Land Uses</b>	<b>Points</b>
	1. Percentage of area in agricultural uses within 1.5 miles of site. (20-10-5-0)	10
	2. Current land use adjacent to site. (30-20-15-10-0)	20
	3. Percentage of site in agricultural production in any of the last 5 years. (20-15-10-5-0)	20
	4. Size of site. (30-15-10-0)	15
<b>B.</b>	<b>Compatibility / Impact on Uses</b>	
	1. Distance from city or village limits. (20-10-0)	0
	2. Consistency of proposed use with County Land Resource Management Concept Plan and/or municipal comprehensive land use plan. (20-10-0)	20
	3. Compatibility of agricultural and non-agricultural uses. (15-7-0)	7
<b>C.</b>	<b>Existence of Infrastructure</b>	
	1. Availability of public sewage system. (10-8-6-0)	8
	2. Availability of public water system. (10-8-6-0)	8
	3. Transportation systems. (15-7-0)	7
	4. Distance from fire protection service. (10-8-6-2-0)	10
	<b>Site Assessment Score:</b>	<b>125</b>

The Site Assessment score for this site is 125. The Land Evaluation value (85) is added to the Site Assessment value (125) to obtain a LESA Score of 210. The table below shows the level of protection for the proposed project site based on the LESA Score.

**Table 9: LESA Score Summary**

<b>LESA SCORE</b>	<b>LEVEL OF PROTECTION</b>
0-200	Low
<b>201-225</b>	<b>Medium</b>
226-250	High
251-300	Very High

**Land Evaluation Value: 85 + Site Assessment Value: 125 = LESA Score: 210**

**The LESA Score for this site is 210 which indicates a medium level of protection for the proposed project site.** Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County. If the project is agricultural in nature, however, a higher score may provide an indication of the suitability of the project as it relates to the compatibility with existing agricultural land use.



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## ***LAND USE PLANS***

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Many counties, municipalities, villages, and townships have developed land-use plans. These plans are intended to reflect the existing and future land-use needs of a given community. Please contact the Kendall County Planning, Building & Zoning for information regarding the County's comprehensive land use plan and map.

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## ***DRAINAGE, RUNOFF, AND FLOOD INFORMATION***

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U.S.G.S Topographic maps give information on elevations, which are important mostly to determine slopes, drainage directions, and watershed information.

Elevations determine the area of impact of floods of record. Slope information determines steepness and erosion potential. Drainage directions determine where water leaves the PIQ, possibly impacting surrounding natural resources.

Watershed information is given for changing land use to a subdivision type of development on parcels greater than 10 acres.

### **WHAT IS A WATERSHED?**

Simply stated, a watershed is the area of land that contributes water to a certain point. The watershed boundary is important because the area of land in the watershed can now be calculated using an irregular shape area calculator such as a dot counter or planimeter.

Using regional storm event information, and site-specific soils and land use information, the peak stormwater flow through the point marked "O" for a specified storm event can be calculated. This value is called a "Q" value (for the given storm event) and is measured in cubic feet per second (CFS).

When construction occurs, the Q value naturally increases because of the increase in impermeable surfaces. This process decreases the ability of soils to accept and temporarily hold water. Therefore, more water runs off and increases the Q value.

Theoretically, if each development, no matter how large or small, maintains their preconstruction Q value after construction by the installation of stormwater management systems, the streams and wetlands and lakes will not suffer damage from excessive urban stormwater.

For this reason, the Kendall County SWCD recommends that the developer for intense uses such as a subdivision calculate the preconstruction Q value for the exit point(s). A stormwater management system



should be designed, installed, and maintained to limit the postconstruction Q value to be at or below the preconstruction value.

### **IMPORTANCE OF FLOOD INFORMATION**

A floodplain is defined as land adjoining a watercourse (riverine) or an inland depression (non-riverine) that is subject to periodic inundation by high water. Floodplains are important areas demanding protection since they have water storage and conveyance functions which affect upstream and downstream flows, water quality and quantity, and suitability of the land for human activity. Since floodplains play distinct and vital roles in the hydrologic cycle, development that interferes with their hydrologic and biologic functions should be carefully considered.

Flooding is both dangerous to people and destructive to their properties. The following maps, when combined with wetland and topographic information, can help developers and future homeowners to “sidestep” potential flooding or ponding problems.

FIRM is the acronym for the Flood Insurance Rate Map, produced by the Federal Emergency Management Agency (FEMA). These maps define flood elevation adjacent to tributaries and major bodies of water and superimpose that onto a simplified USGS topographic map. The scale of the FIRM maps is generally dependent on the size and density of parcels in that area. (This is to correctly determine the parcel location and floodplain location.) The FIRM map has three (3) zones. Zone A includes the 100-year flood, Zone B or Zone X (shaded) is the 100 to 500-year flood, and Zone C or Zone X (unshaded) is outside the floodplain.

The Hydrologic Atlas (H.A.) Series of the Flood of Record Map is also used for the topographic information. This map is different from the FIRM map mainly because it will show isolated or pocketed flooded areas. Kendall County uses both these maps in conjunction with each other for flooded area determinations. The Flood of Record maps show the areas of flood for various years. Both maps stress that the recurrence of flooding is merely statistical. A 100-year flood may occur twice in one year, or twice in one week, for that matter.

It should be noted that greater floods than those shown on the two maps are possible. The flood boundaries indicated provide a historic record only until the map publication date. Additionally, these flood boundaries are a function of the watershed conditions existing when the maps were produced. Cumulative changes in runoff characteristics caused by urbanization can result in an increase in flood height of future flood episodes.

Floodplains play a vital role in reducing the flood damage potential associated with an urbanizing area and, when left in an undisturbed state, also provide valuable wildlife habitat benefits. If it is the petitioner's intent to conduct floodplain filling or modification activities, the petitioner, and the Unit of Government responsible need to consider the potentially adverse effects this type of action could have on adjacent properties. The change or loss of natural floodplain storage often increases the frequency and severity of flooding on adjacent property.



If the available maps indicate the presence of a floodplain on the PIQ, the petitioner should contact the IDOT-OWR and FEMA to delineate a floodplain elevation for the parcel. If a portion of the property is indeed floodplain, applicable state, county, and local regulations will need to be reflected in the site plans.

Another indication of flooding potential can be found in the soils information. Hydric soils indicate the presence of drainageways, areas subject to ponding, or a naturally occurring high water table. These need to be considered along with the floodplain information when developing the site plan and the stormwater management plan. Development on hydric soils can contribute to the loss of water storage within the soil and the potential for increased flooding in the area.

This parcel is located on minimal topography (slopes 0 to 2%) and an elevation range of approximately 582'-588' above sea level. According to the FEMA Floodplain Map, the parcel in question does not contain floodway or floodplain. The parcel drains predominantly to the south.

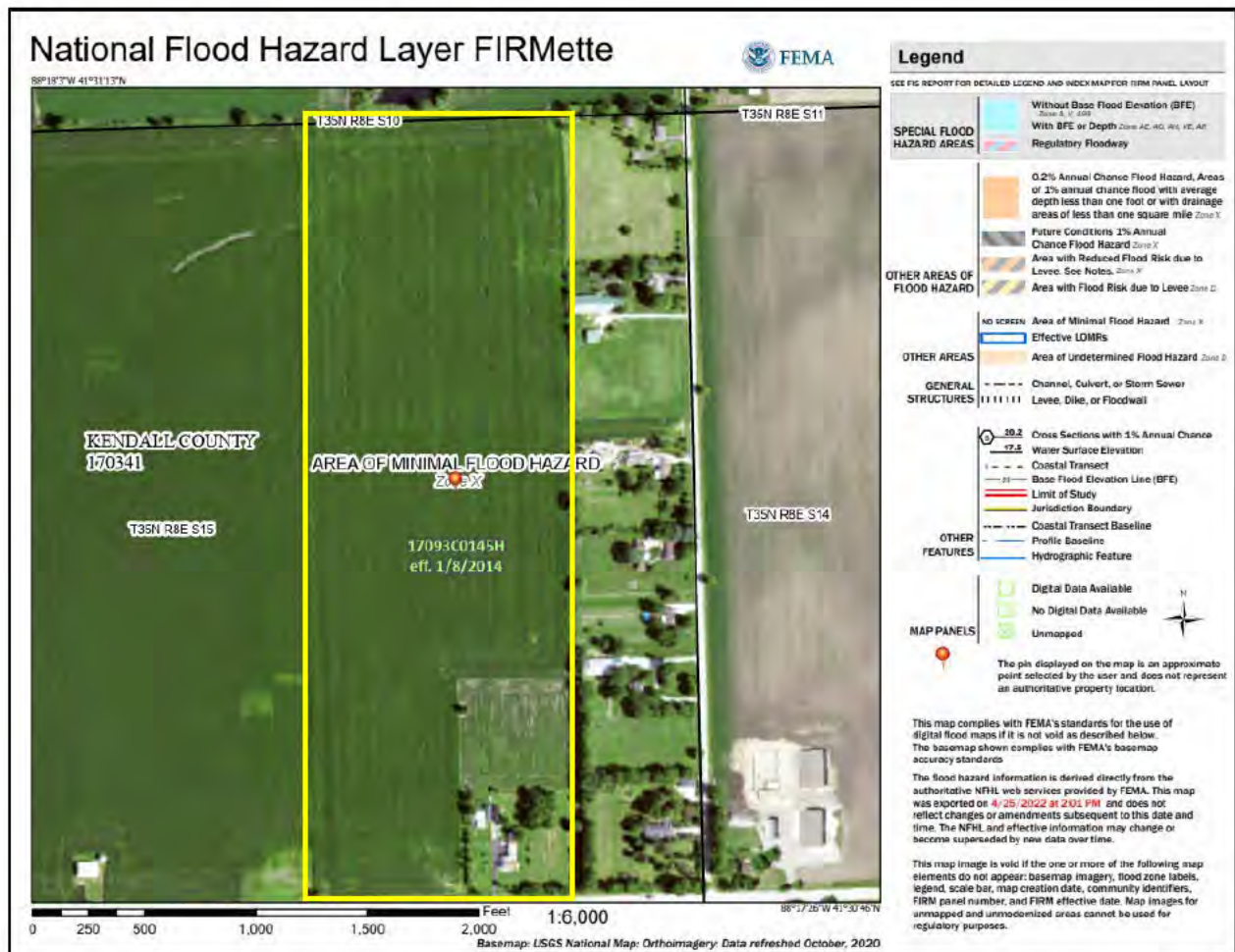


Figure 8: FEMA Floodplain Map



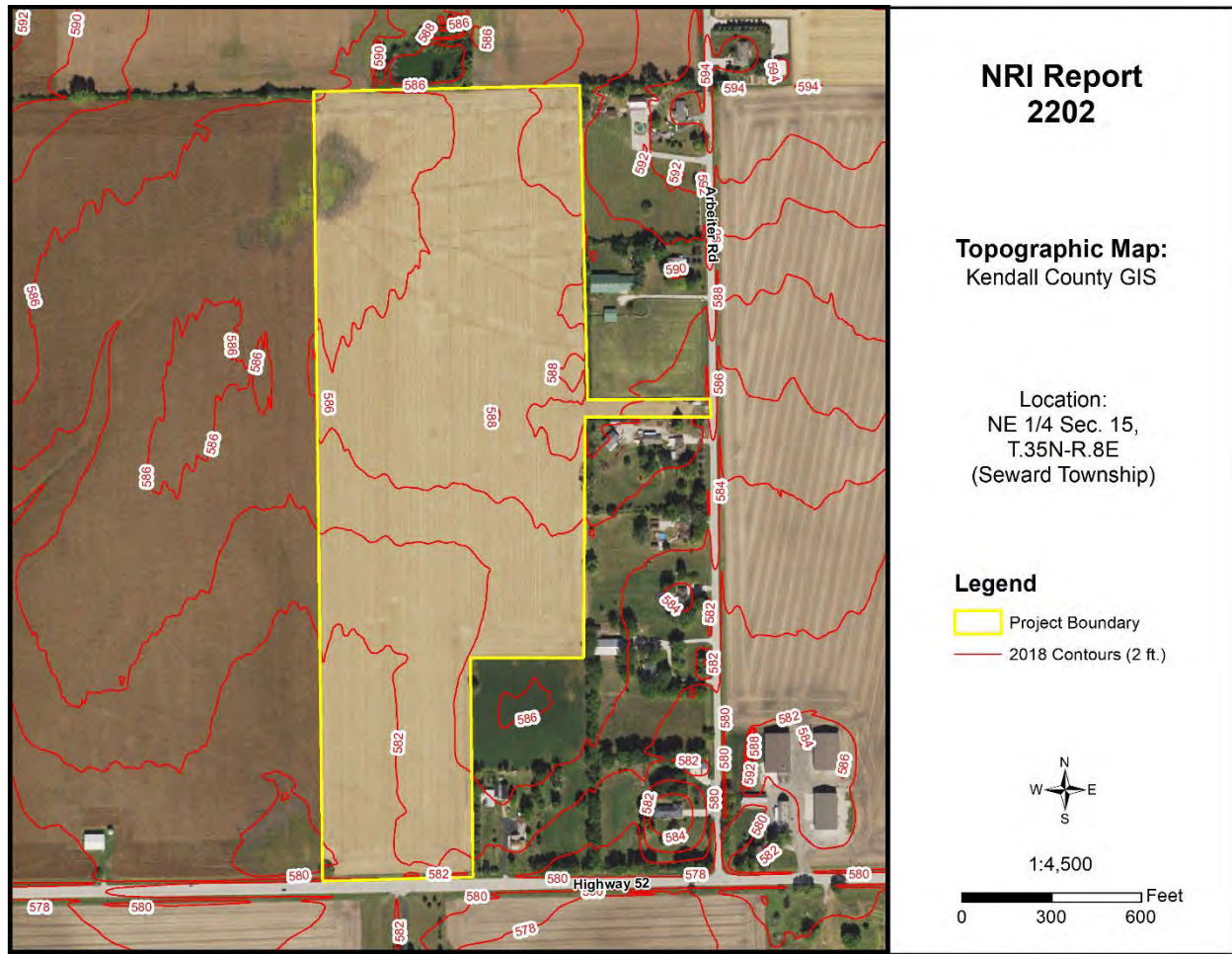


Figure 9: Topographic Map



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## ***WATERSHED PLANS***

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### **WATERSHED AND SUB WATERSHED INFORMATION**

A watershed is the area of land that drains into a specific point including a stream, lake, or other body of water. High points on the Earth's surface, such as hills and ridges define watersheds. When rain falls in the watershed, it flows across the ground towards a stream or lake. Rainwater carries pollutants such as oils, pesticides, and soil.

Everyone lives in a watershed. Their actions can impact natural resources and people living downstream. Residents can minimize this impact by being aware of their environment and the implications of their activities, implementing practices recommended in watershed plans, and educating others about their watershed.

The following are recommendations to developers for protection of this watershed:

- Preserve open space
- Maintain wetlands as part of development
- Use natural water management
- Prevent soil from leaving a construction site
- Protect subsurface drainage
- Use native vegetation
- Retain natural features
- Mix housing styles and types
- Decrease impervious surfaces
- Reduce area disturbed by mass grading
- Shrink lot size and create more open space
- Maintain historical and cultural resources
- Treat water where it falls
- Preserve views
- Establish and link trails

<p><b>This parcel is located within the Upper Illinois River watershed and the Minooka Branch Aux Sable Creek sub watershed.</b></p>
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## WETLAND INFORMATION

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### IMPORTANCE OF WETLAND INFORMATION

Wetlands function in many ways to provide numerous benefits to society. They control flooding by offering a slow release of excess water downstream or through the soil. They cleanse water by filtering out sediment and some pollutants and can function as rechargers of our valuable groundwater. They also are essential breeding, rearing, and feeding grounds for many species of wildlife.

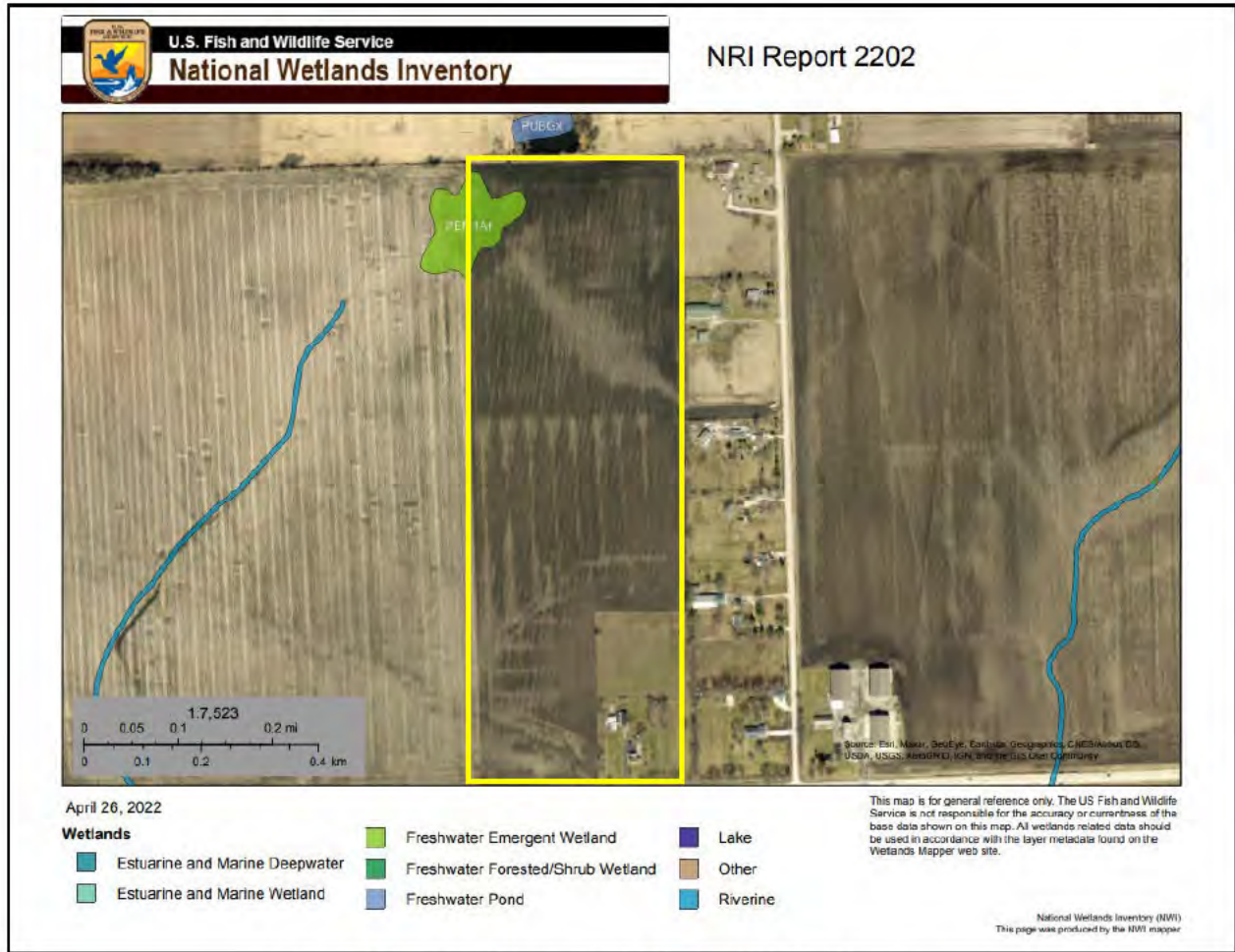
These benefits are particularly valuable in urbanizing areas as development activity typically adversely affects water quality, increases the volume of stormwater runoff, and increases the demand for groundwater. In an area where many individual homes rely on shallow groundwater wells for domestic water supplies, activities that threaten potential groundwater recharge areas are contrary to the public good. The conversion of wetlands, with their sediment trapping and nutrient absorbing vegetation, to biologically barren stormwater detention ponds can cause additional degradation of water quality in downstream or adjacent areas.

It has been estimated that over 95% of the wetlands that were historically present in Illinois have been destroyed while only recently has the true environmental significance of wetlands been fully recognized. America is losing 100,000 acres of wetland a year and has saved 5 million acres total (since 1934). One acre of wetland can filter 7.3 million gallons of water a year. These are reasons why our wetlands are high quality and important.

This section contains the NRCS (Natural Resources Conservation Service) Wetlands Inventory, which is the most comprehensive inventory to date. The NRCS Wetlands Inventory is reproduced from an aerial photo at a scale of 1" equals 660 feet. The NRCS developed these maps in cooperation with U.S. EPA (Environmental Protection Agency,) and the U.S. Fish and Wildlife Service, using the National Food Security Act Manual, 3rd Edition. The main purpose of these maps is to determine wetland areas on agricultural fields and areas that may be wetlands but are in a non-agriculture setting.

The NRCS Wetlands Inventory in no way gives an exact delineation of the wetlands, but merely an outline, or the determination that there is a wetland within the outline. For the final, most accurate wetland **determination** of a specific wetland, a wetland **delineation** must be certified by NRCS staff using the National Food Security Act Manual (on agricultural land.) On urban land, a certified wetland delineator must perform the delineation using the ACOE 1987 Manual. *See the glossary section for the definitions of "delineation" and "determination."*





**Figure 10: Wetland Map – USFWS National Wetland Inventory**

Office maps indicate that a mapped freshwater emergent wetland is present near the northwest corner on the parcel in question (PIQ).



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## **HYDRIC SOILS**

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Soils information gives another indication of flooding potential. The soils map on the following page indicates the soil(s) on the parcel that the Natural Resources Conservation Service indicates as hydric. Hydric soils, by definition, have seasonal high water at or near the soil surface and/or have potential flooding or ponding problems. All hydric soils range from poorly suited to unsuitable for building. One group of the hydric soils are the organic soils, which formed from dead organic material. Organic soils are unsuitable for building because of not only the high water table but also their subsidence problems.

It is important to add the possibility of hydric inclusions in a soil type. An inclusion is a soil polygon that is too small to appear on these maps. While relatively insignificant for agricultural use, hydric soil inclusions become more important to more intense uses such as a residential subdivision.

While considering hydric soils and hydric inclusions, it is noteworthy to mention that subsurface agriculture drainage tile occurs in almost all poorly drained and somewhat poorly drained soils. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. A damaged subsurface drainage tile may return original hydrologic conditions to all the areas that drained through the tile (ranging from less than one acre to many square miles.)

For an intense land use, such as a subdivision, the Kendall County SWCD recommends the following: a topographical survey with 1 foot contour intervals to accurately define the flood area on the parcel, an intensive soil survey to define most accurately the locations of the hydric soils and inclusions, and a drainage tile survey on the area to locate the tiles that must be preserved to maintain subsurface drainage.

**Table 10:** Hydric Soils

<b>Soil Types</b>	<b>Drainage Class</b>	<b>Hydric Designation</b>	<b>Hydric Inclusions Likely</b>	<b>Acreage</b>	<b>Percent</b>
69A	Poorly Drained	Hydric	No	14.1	29.0%
91A	Somewhat Poorly Drained	Non-Hydric	Yes	15.8	32.4%
189A	Somewhat Poorly Drained	Non-Hydric	Yes	6.0	12.3%
235A	Poorly Drained	Hydric	No	10.1	20.8%
330A	Very Poorly Drained	Hydric	No	2.7	5.5%



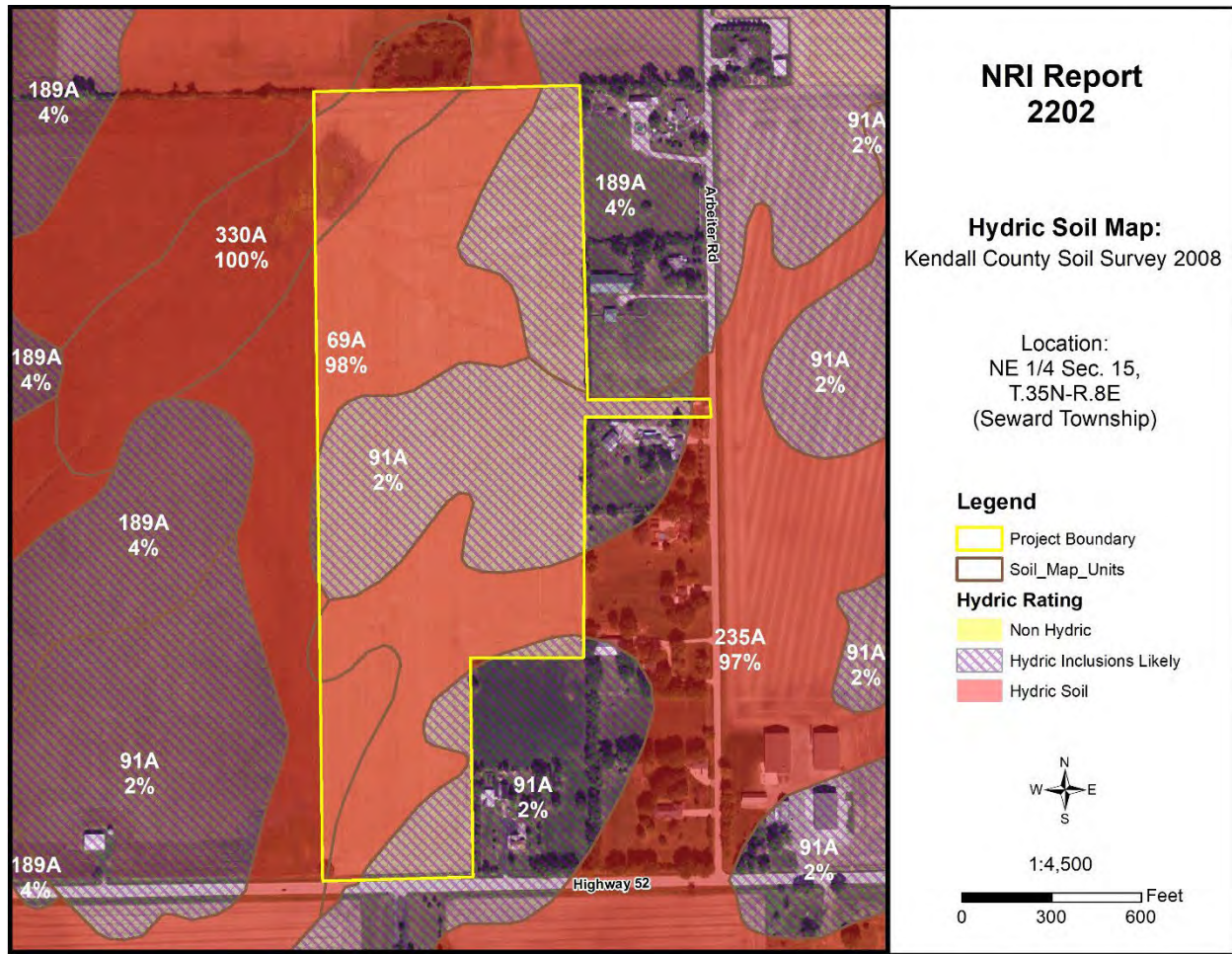


Figure 11: Hydric Soil Map



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## **WETLAND AND FLOODPLAIN REGULATIONS**

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PLEASE READ THE FOLLOWING IF YOU ARE PLANNING TO DO ANY WORK NEAR A STREAM (THIS INCLUDES SMALL UNNAMED STREAMS), LAKE, WETLAND OR FLOODWAY.

The laws of the United States and the State of Illinois assign certain agencies specific and different regulatory roles to protect the waters within the State's boundaries. These roles, when considered together, include protection of navigation channels and harbors, protection against floodway encroachments, maintenance and enhancement of water quality, protection of fish and wildlife habitat and recreational resources, and, in general, the protection of total public interest. Unregulated use of the waters within the State of Illinois could permanently destroy or alter the character of these valuable resources and adversely impact the public. Therefore, please contact the proper regulatory authorities when planning any work associated with Illinois waters so that proper consideration and approval can be obtained.

### **WHO MUST APPLY?**

Anyone proposing to dredge, fill, rip rap, or otherwise alter the banks or beds of, or construct, operate, or maintain any dock, pier, wharf, sluice, dam, piling, wall, fence, utility, floodplain or floodway subject to State or Federal regulatory jurisdiction should apply for agency approvals.

### **REGULATORY AGENCIES**

- **Wetland or U.S. Waters:** U.S. Army Corps of Engineers, Rock Island District, Clock Tower Building, Rock Island, IL
- **Floodplains:** Illinois Department of Natural Resources/Office of Water Resources, One Natural Resources Way, Springfield, IL 62702-1270.
- **Water Quality/Erosion Control:** Illinois Environmental Protection Agency, Springfield, IL

### **COORDINATION**

We recommend early coordination with the regulatory agencies BEFORE finalizing work plans. This allows the agencies to recommend measures to mitigate or compensate for adverse impacts. Also, the agency can make possible environmental enhancement provisions early in the project planning stages. This could reduce time required to process necessary approvals.

**CAUTION:** Contact with the United States Army Corps of Engineers is strongly advised before commencement of any work in or near a Waters of the United States. This could save considerable time and expense. Persons responsible for willful and direct violation of Section 10 of the River and Harbor Act of 1899 or Section 404 of the Federal Water Pollution Control Act are subject to fines ranging up to \$27,500 per day of violation and imprisonment for up to one year or both.



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## **GLOSSARY**

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**AGRICULTURAL PROTECTION AREAS (AG AREAS)** - Allowed by P.A. 81-1173. An AG AREA consists of a minimum of 350 acres of farmland, as contiguous and compact as possible. Petitioned by landowners, AG AREAS protect for a period of ten years initially, then reviewed every eight years thereafter. AG AREA establishment exempts landowners from local nuisance ordinances directed at farming operations, and designated land cannot receive special tax assessments on public improvements that do not benefit the land, e.g. water and sewer lines.

**AGRICULTURE** - The growing, harvesting and storing of crops including legumes, hay, grain, fruit and truck or vegetable including dairying, poultry, swine, sheep, beef cattle, pony and horse production, fur farms, and fish and wildlife farms; farm buildings used for growing, harvesting and preparing crop products for market, or for use on the farm; roadside stands, farm buildings for storing and protecting farm machinery and equipment from the elements, for housing livestock or poultry and for preparing livestock or poultry products for market; farm dwellings occupied by farm owners, operators, tenants or seasonal or year around hired farm workers.

**B.G.** - Below Grade. Under the surface of the Earth.

**BEDROCK** - Indicates depth at which bedrock occurs. Also lists hardness as rippable or hard.

**FLOODING** - Indicates frequency, duration, and period during year when floods are likely to occur.

**HIGH LEVEL MANAGEMENT** - The application of effective practices adapted to different crops, soils, and climatic conditions. Such practices include providing for adequate soil drainage, protection from flooding, erosion and runoff control, near optimum tillage, and planting the correct kind and amount of high-quality seed. Weeds, diseases, and harmful insects are controlled. Favorable soil reaction and near optimum levels of available nitrogen, phosphorus, and potassium for individual crops are maintained. Efficient use is made of available crop residues, barnyard manure, and/or green manure crops. All operations, when combined efficiently and timely, can create favorable growing conditions and reduce harvesting losses -- within limits imposed by weather.

**HIGH WATER TABLE** - A seasonal high water table is a zone of saturation at the highest average depth during the wettest part of the year. May be apparent, perched, or artesian kinds of water tables.

- **Water table, Apparent:** A thick zone of free water in the soil. An apparent water table is indicated by the level at which water stands in an uncased borehole after adequate time is allowed for adjustment in the surrounding soil.
- **Water table, Artesian:** A water table under hydrostatic head, generally beneath an impermeable layer. When this layer is penetrated, the water level rises in an uncased borehole.
- **Water table, Perched:** A water table standing above an unsaturated zone. In places an upper, or perched, water table is separated from a lower one by a dry zone.



**DELINEATION** - For Wetlands: A series of orange flags placed on the ground by a certified professional that outlines the wetland boundary on a parcel.

**DETERMINATION** - A polygon drawn on a map using map information that gives an outline of a wetland.

**HYDRIC SOIL** - This type of soil is saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions in the upper part (USDA Natural Resources Conservation Service 1987).

**INTENSIVE SOIL MAPPING** - Mapping done on a smaller more intensive scale than a modern soil survey to determine soil properties of a specific site, e.g. mapping for septic suitability.

**LAND EVALUATION AND SITE ASSESSMENT (L.E.S.A.)** - LESA is a systematic approach for evaluating a parcel of land and to determine a numerical value for the parcel for farmland preservation purposes.

**MODERN SOIL SURVEY** - A soil survey is a field investigation of the soils of a specific area, supported by information from other sources. The kinds of soil in the survey area are identified and their extent shown on a map, and an accompanying report describes, defines, classifies, and interprets the soils. Interpretations predict the behavior of the soils under different used and the soils' response to management. Predictions are made for areas of soil at specific places. Soils information collected in a soil survey is useful in developing land-use plans and alternatives involving soil management systems and in evaluating and predicting the effects of land use.

**PALUSTRINE** - Name given to inland freshwater wetlands.

**PERMEABILITY** - Values listed estimate the range (in rate and time) it takes for downward movement of water in the major soil layers when saturated but allowed to drain freely. The estimates are based on soil texture, soil structure, available data on permeability and infiltration tests, and observation of water movement through soils or other geologic materials.

**PIQ** - Parcel in question

**POTENTIAL FROST ACTION** - Damage that may occur to structures and roads due to ice lens formation causing upward and lateral soil movement. Based primarily on soil texture and wetness.

**PRIME FARMLAND** - Prime farmland soils are lands that are best suited to food, feed, forage, fiber and oilseed crops. It may be cropland, pasture, woodland, or other land, but it is not urban and built up land or water areas. It either is used for food or fiber or is available for those uses. The soil qualities, growing season, and moisture supply are those needed for a well-managed soil economically to produce a sustained high yield of crops. Prime farmland produces in highest yields with minimum inputs of energy and economic resources and farming the land results in the least damage to the environment. Prime farmland has an adequate and dependable supply of moisture from precipitation or irrigation. The temperature and growing season are favorable. The level of acidity or alkalinity is acceptable. Prime farmland has few or no rocks and is permeable to water and air. It is not excessively erodible or saturated



with water for long periods and is not frequently flooded during the growing season. The slope ranges mainly from 0 to 5 percent (USDA Natural Resources Conservation Service).

**PRODUCTIVITY INDEXES** - Productivity indexes for grain crops express the estimated yields of the major grain crops grown in Illinois as a single percentage of the average yields obtained under basic management from several of the more productive soils in the state. This group of soils is composed of the Muscatine, Ipava, Sable, Lisbon, Drummer, Flanagan, Littleton, Elburn and Joy soils. Each of the 425 soils found in Illinois are found in Circular 1156 from the Illinois Cooperative Extension Service.

**SEASONAL** - When used in reference to wetlands indicates that the area is flooded only during a portion of the year.

**SHRINK-SWELL POTENTIAL** - Indicates volume changes to be expected for the specific soil material with changes in moisture content.

**SOIL MAPPING UNIT** - A map unit is a collection of soil areas of miscellaneous areas delineated in mapping. A map unit is generally an aggregate of the delineations of many different bodies of a kind of soil or miscellaneous area but may consist of only one delineated body. Taxonomic class names and accompanying phase terms are used to name soil map units. They are described in terms of ranges of soil properties within the limits defined for taxa and in terms of ranges of taxadjuncts and inclusions.

**SOIL SERIES** - A group of soils, formed from a particular type of parent material, having horizons that, except for texture of the A or surface horizon, are similar in all profile characteristics and in arrangement in the soil profile. Among these characteristics are color, texture, structure, reaction, consistence, and mineralogical and chemical composition.

**SUBSIDENCE** - Applies mainly to organic soils after drainage. Soil material subsides due to shrinkage and oxidation.

**TERRAIN** - The area or surface over which a particular rock or group of rocks is prevalent.

**TOPSOIL** - That portion of the soil profile where higher concentrations of organic material, fertility, bacterial activity and plant growth take place. Depths of topsoil vary between soil types.

**WATERSHED** - An area of land that drains to an associated water resource such as a wetland, river or lake. Depending on the size and topography, watersheds can contain numerous tributaries, such as streams and ditches, and ponding areas such as detention structures, natural ponds and wetlands.

**WETLAND** - An area that has a predominance of hydric soils and that is inundated or saturated by surface or groundwater at a frequency and duration sufficient enough to support, and under normal circumstances does support, a prevalence of hydrophytic vegetation typically adapted for life in saturated soil conditions.



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## REFERENCES

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Hydric Soils of the United States. USDA Natural Resources Conservation Service, 2007.

DFIRM – Digital Flood Insurance Rate Maps for Kendall County. Prepared by FEMA – Federal Emergency Management Agency.

Hydrologic Unit Map for Kendall County. Natural Resources Conservation Service, United States Department of Agriculture.

Land Evaluation and Site Assessment System. The Kendall County Department of Planning Building and Zoning, and The Kendall County Soil and Water Conservation District. In cooperation with: USDA, Natural Resources Conservation Service.

Soil Survey of Kendall County. United States Department of Agriculture 2008, Natural Resources Conservation Service.

Illinois Urban Manual. Association of Illinois Soil & Water Conservation Districts, 2020.

Kendall County Land Atlas and Plat Book. 21<sup>st</sup> Edition, 2021.

Potential For Contamination of Shallow Aquifers from Land Burial of Municipal Wastes. Illinois State Geological Survey.

Natural Resources Conservation Service National Wetland Inventory Map. United States Department of Agriculture.

Geologic Road Map of Illinois. Department of Natural Resources, Illinois State Geological Survey, Natural Resources Building, 615 East Peabody, Champaign IL 61820-6964.

Wetlands - The Corps of Engineers' Administration of the Section 404 Program (GAO/RCED-88-110).

Soil Erosion by Water - United States Department of Agriculture Natural Resources Conservation Service. Agriculture Information Bulletin 513.

The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities, prepared by the Nature Conservancy Great Lakes Program 79W. Monroe Street, Suite 1309, Chicago, IL 60603, January 1994.



Attachment 8

**From:** [Jillian Prodehl](#)  
**To:** [Matt Asselmeier](#)  
**Subject:** [External]Petition 22-10  
**Date:** Monday, May 9, 2022 12:57:47 PM

---

**CAUTION** - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Matt,

The Planning Commission for Seward Township did pass the below, but our remarks were seeing if there is a lighting plan for the security lights with their location being so close to residences. We did not see a photometric plan in their petition.

Petition 22-10- Mark Fecht on Behalf of Fecht Brothers, Inc. (property owner), and Jeremy and Samantha Dippold, on Behalf of Best Budget Tree, LLC

Thank you!  
Jillian Prodehl



**From:** [Lara Edgar](#)  
**To:** [Matt Asselmeier](#)  
**Cc:** [Engel Natalie](#)  
**Subject:** [External]Re: 09-15-200-003 Question  
**Date:** Wednesday, May 4, 2022 10:34:23 AM

---

**CAUTION** - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning,

Thank you for reaching out. We have decided that we also do not want a ROW dedication however - we do expect that if there were ever to be a bike path at this location, that the developer would coordinate with IDOT to construct.

Thank you,

**Edgar Lara**

*Village Planner*



One Towne Center Blvd | Shorewood, IL 60404

(E): [elara@vil.shorewood.il.us](mailto:elara@vil.shorewood.il.us) | (P): 1-815-741-7708

Would you like to help with [Designing Shorewood](#)? Join the Comprehensive Planning efforts by sharing your thoughts and ideas about designing Shorewood's future.

---

**From:** Matt Asselmeier <masselmeier@co.kendall.il.us>  
**Sent:** Wednesday, April 20, 2022 9:47 AM  
**To:** Jim Torri <Jtorri@joliet.gov>; Engel\_Natalie <nengel@vil.shorewood.il.us>  
**Cc:** Scott Koeppel <skoeppe@co.kendall.il.us>; Scott Gengler <sgengler@co.kendall.il.us>; Fran Klaas <FKlaas@co.kendall.il.us>  
**Subject:** 09-15-200-003 Question

**CAUTION:** This email originated from outside of the organization. Do not click on links or open attachments unless you recognize the sender, can confirm their contact information, were expecting the communication, and know the content is safe.

Jim and Natalie:

Kendall County received an application for a special use permit for a landscaping business at this property.

While this property is inside Shorewood's planning area, Joliet's plan calls for a bike path along Route 52 at this property. IDOT verbally told me that they do not want a ROW dedication.

Do either of your municipalities want a ROW dedication?



Thanks,

Matthew H. Asselmeier, AICP, CFM  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498  
PH: 630-553-4139  
Fax: 630-553-4179





## MINOOKA FIRE PROTECTION DISTRICT

*"A Culture of Excellent Service"*

P.O. Box 736  
7901 E. Minooka Road  
Minooka, Illinois 60447

Ph: 815-467-5637  
Fx: 815-467-5453  
[www.minookafire.com](http://www.minookafire.com)

May 5, 2022

Mr. Matthew H. Asselmeier, AICP, CFM  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498

Re: Kendall County Zoning Petition 22-10  
PIN: 09-15-200-003

Dear Mr. Asselmeier:


A review of Petition 22-10 has been completed and the Fire District has the following stipulations:

1. A fire alarm system that complies with the 2015 International Fire Code, NFPA 72 and Minooka Fire Protection District Ordinance's is required for the proposed building. Have the Petitioner's fire alarm contractor submit plans for review and approval prior to beginning installation of the fire alarm system.
2. The proposed mulch pile will need to be monitored and maintained to prevent overheating and a fire. Please provide the Fire District with a plan to monitor and maintain the mulch pile. No smoking signs will need to be posted to prevent smoking near the mulch pile.
3. Due to the distance from municipal water supply combined with the proposed mulch storage a dry fire hydrant that can utilize the pond as a water source is recommended.
4. The address for this property will need to be properly marked at the street.

No guarantee is rendered as to the completeness of the zoning change application review, and the responsibility for full compliance with both state and locally adopted codes, standards and regulations rests with the owner or his authorized agent or subcontractor. Subsequent discovery of errors or omissions shall not be construed as authority to violate, cancel or set aside any provision of any applicable codes.

Thank you for the opportunity to review and comment on your application. Should you have any questions or concerns, please feel free to contact me at 815-467-5637 ext. 113.

Respectfully,

  
Mary Ludemann, Fire Inspector  
Minooka Fire Protection District



**From:** Mary Ludemann  
**To:** Matt Asselmeier  
**Subject:** RE: [External]FW: Kendall County Zoning Petition 22-10  
**Date:** Friday, May 6, 2022 9:10:07 AM

---

Hi,

Somewhere visible near the mulch pile area to prevent any smoking materials from accidentally reaching the mulch. Just something to remind employees to avoid smoking in that area.

Take care,

Mary Kay Ludemann, Fire Inspector  
Minooka Fire Protection District  
7901 E. Minooka Road  
P.O. Box 736  
Minooka, IL 60447  
(815) 467-5637 ext. 113  
[www.minookafire.com](http://www.minookafire.com)

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**From:** Matt Asselmeier <masselmeier@kendallcountyil.gov>  
**Sent:** Thursday, May 5, 2022 2:15 PM  
**To:** Mary Ludemann <ludemannm@MinookaFire.com>  
**Subject:** RE: [External]FW: Kendall County Zoning Petition 22-10

Mary:

Regarding the no smoking signs, do you want those placed at a particular location in relation to the mulch pile?

Thanks,

Matthew H. Asselmeier, AICP, CFM  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498  
PH: 630-553-4139  
Fax: 630-553-4179

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**ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)  
May 3, 2022 – Unapproved Meeting Minutes**

PBZ Chairman Scott Gengler called the meeting to order at 9:01 a.m.

Present:

Matt Asselmeier – PBZ Department  
Scott Gengler – PBZ Committee Chair  
Brian Holdiman – PBZ Department  
Fran Klaas – Highway Department  
Alyse Olson – Soil and Water Conservation District  
Aaron Rybski – Health Department

Absent:

Meagan Briganti – GIS Department  
Greg Chismark – WBK Engineering, LLC  
David Guritz – Forest Preserve  
Commander Jason Langston – Sheriff's Department

Audience:

Jeremy Dippold, Samantha Dippold, and John Tebrugge

**AGENDA**

Mr. Klaas made a motion, seconded by Mr. Rybski, to approve the agenda as presented.

With a voice vote of six (6) ayes, the motion carried.

**MINUTES**

Mr. Rybski made a motion, seconded by Mr. Klaas, to approve the April 5, 2022, meeting minutes.

With a voice vote of five (5) ayes, the motion carried. Ms. Olson abstained.

**PETITIONS**

**Petition 22-10 Mark Fecht on Behalf of Fecht Brothers, Inc. (Property Owner) and Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC (Contract Purchaser)**

Mr. Asselmeier summarized the request.

Best Budget Tree, LLC would like to purchase the subject property from Fecht Brothers Inc. in order to operate a tree and landscaping business at the property.

Best Budget Tree, LLC has been in existence for over ten (10) years.

The application materials, site plan, landscaping plan, stormwater plans, and renderings of the proposed building were provided.

The property is on the north side of Route 52 across from 2190 and 2200 Route 52.

The property is approximately forty-eight (48) acres in size.

The property is zoned A-1 Agricultural.

The County's Future Land Use Map calls for the property to be Rural Residential (Max 0.65 Du/Acre). Shorewood's Future Land Use Map calls for the property to be Residential and Commercial.

Route 52 is a State maintained Arterial road.

Joliet has a trail planned along Route 52, but Joliet does not want a right-of-way dedication at this time; an email to that effect was provided.

There are no floodplains on the property. There is a wetland near the northwest corner of the property.

The adjacent land uses are Agricultural and Single-Family Residential.

The adjacent properties are zoned A-1 and R-3.



The County's Future Land Use Map calls for the area to be Commercial, Rural Residential, and Suburban Residential. Joliet's Future Land Use Map calls for the area to be Residential. Shorewood's Future Land Use Map calls for the area to be Residential and Commercial.

The nearby properties are zoned A-1, A-1 SU, and R-1, and R-3.

The A-1 special use permit to the west is for the sale of agricultural products not grown on the premises.

EcoCAT Report was submitted on April 15, 2022, and indicated the following protected resources:

Aux Sable Creek INAI Site  
Greater Redhorse (*Moxostoma valenciennesi*)

The Illinois Department of Conservation determined that negative impacts were unlikely and consultation was terminated on April 18, 2022.

The application for NRI was submitted April 21, 2022. The LESA Score was 210 indicating a medium level of protection.

Petition information was sent to Seward Township on April 25, 2022.

Petition information was sent to the Village of Shorewood on April 25, 2022.

Petition information was sent to the Minooka Fire Protection District on April 25, 2022.

Per Section 7:01.D.30 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least seventy-three thousand, two hundred eighty pounds (73,280 lbs.), unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.
3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials, the above conditions have been met.

According to the business plan, the business currently operates two (2) four (4) employee crews in April through October and one (1) four (4) employee crew in November through March. The Petitioners plan to hire four (4) additional employees, if business increases. Employees arrive at the property at approximately 7:30 a.m., go to work sites, and return to the property between 3:30 p.m. and 4:00 p.m. Employees unload equipment and materials and leave between 4:30 p.m. and 5:00 p.m. The business operates on Monday through Fridays with an occasional Saturday.

Business equipment presently consists of two (2) bucket trucks, two (2) wood chippers, two (2) one (1) ton pickup trucks, two (2) utility trailers, two (2) spare pick-up trucks, and one (1) wheel loader tractor. When not in operation, the Petitioners plan to house vehicles and equipment inside the proposed approximately nine thousand six hundred (9,600) square foot building. Mulch and firewood piles would be placed on the gravel area as shown on the site plan and landscaping plan and would be piled a maximum twelve feet (12') in height. The Petitioners do not plan to store stone, brick, or rock at the property. Per the site plan, the gravel area is approximately ten point five (10.5) acres in size. If there is a motor vehicle or equipment related leak, the impacted gravel will be removed and replaced with clean gravel.

No retail services will be available at the property and retail customers will not be invited onto the property.

If approved, the Petitioners plan to start operations as quickly as possible.



One (1) approximately nine thousand six hundred (9,600) square foot building is proposed for the site in the location depicted on the site plan and landscaping plan. The building will look substantially like the rendering provided. The walls will be approximately sixteen feet (16') feet tall and the doors will be fourteen feet (14') in height. The peak of the building will be a maximum twenty-four feet (24').

Any structures related to the landscaping business would be required to obtain applicable building permits.

No well or septic system presently exists on the property. No other utilities are located on the property.

One (1) ten foot by ten foot (10' X 10') dumpster enclosure was shown on the site plan and landscaping plan east of the vehicle parking area.

The property drains to the south.

There is one (1) wetland located near the northwest corner of the property.

The site plan and landscaping plan show a proposed seventy-three thousand, nine hundred eighty-four (73,984) square foot wet bottom pond. At the deepest point, the pond will be sixteen feet (16') deep. The stormwater plan information was provided.

Per the site plan and landscaping plan, the Petitioners plan to install one (1) thirty foot (30') wide gravel driveway. The driveway will be approximately forty-eight feet (48') from the western property line.

According to site plan and landscaping plan, the Petitioners plan to install two (2) parking areas. One (1) parking area is planned south of the building and the other parking area is planned west of the building. The total number of parking spaces is twenty-one (21) including one (1) handicapped accessible parking space.

Three (3) pipeline easements exist on the property.

No existing lighting is located on the property. The Petitioners plan to install security lighting. No information was provided regarding lighting type or location.

According to the site plan and landscaping plan, one (1) non-illuminated sign is proposed between the gravel driveway and the western property line. No information was provided regarding sign dimensions or height.

No security information was provided.

The landscaping plan shows one hundred fifty (150) white pines along the perimeter of the property. The white pines will be three (3') feet at the time of planting and will grow to between fifty feet (50') and eighty feet (80'). Ten (10) deciduous trees are planned along the perimeter of the pond. The trees will be one and one half inches (1.5") at the time of planting. The landscaping plan also calls for a seed mix of Kentucky blue grass and turf type perennial grass around the pond and along the gravel driveway. Vegetation will be installed after the gravel and pond are installed.

The portion of the property not used for storage, building, driveway, or the pond will remain farmed. Most of the property will be farmed in 2022, which will delay the installation of the landscaping until 2023.

No information was provided regarding noise control.

No new odors are foreseen by the proposed use.

If approved, this would be the nineteenth (19<sup>th</sup>) special use permit for a landscaping business in unincorporated Kendall County.

The proposed Findings of Fact were as follows:

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Provided the site is developed in accordance with the submitted site plan and landscaping plan, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. Conditions may be placed in the special use permit ordinance to address hours of operation.



That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. If a stormwater management permit is issued based on the submitted materials, drainage should not be an issue. If the Illinois Department of Transportation approves the access, ingress and egress should not be an issue. Utilities will need to be extended and/or installed on the property.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true. No variances are required.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 9-21 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents". Also, the Kendall County Future Land Use Map and the Village of Shorewood's Future Land Use Map call for commercial uses near the intersection of Route 52 and Arbeiter Road.

Staff recommends approval of the special use permit for a landscaping business subject to the following conditions and restrictions:

1. The site shall be developed substantially in accordance with the site plan and landscaping plan.
2. The gravel area shown on the site plan and landscaping plan shall not exceed ten point five (10.5) acres in size. The owners of the business allowed by this special use permit may reduce the amount of acreage covered by gravel.
3. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
4. One (1) approximately nine thousand six hundred (9,600) square foot building may be installed on the subject property in substantially the location shown on the site plan. The building shall look substantially like the building depicted in the rendering. The maximum height of the building shall be twenty-four feet (24').
5. Any new structures constructed or installed related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
6. No business operations may commence at the subject property until an occupancy permit is issued for the building shown on the site plan. No business operations may commence at the subject property until the parking stalls, dumpster enclosure, and wet bottom pond shown on the site plan are installed. Business operations may commence at the subject property prior to the installation of vegetation shown on the landscaping plan.
7. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property during the hours the business is open and shall be stored indoors during non-business hours.
8. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
9. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
10. All landscape related materials shall be stored indoors or on the gravel area depicted on the site plan. The maximum



height of the piles of landscaping related material shall be twelve feet (12') in height, unless otherwise restricted by a stormwater management permit. Stone, brick, and rock shall not be stored outdoors.

11. The size and depth of the wet bottom pond shall be governed by the stormwater management permit issued for the subject property.
12. One (1) two (2) sided non-illuminated sign may be installed on the location depicted on the site plan.
13. One hundred fifty (150) white pines shall be installed in substantially the locations shown on the landscaping plan. The white pines shall be a minimum of three feet (3') in height at the time of planting. The white pines shall be installed by June 30, 2023. Damaged or dead white pines shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the white pines.
14. Ten (10) deciduous trees shall be installed in substantially the locations shown on the landscaping plan. The deciduous trees shall be a minimum one point five inches (1.5") in diameter at the time of planting. The deciduous trees shall be installed by June 30, 2023. Damaged or dead deciduous trees shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the deciduous trees.
15. The seed mix called for in the landscaping plan shall be installed by June 30, 2023. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the seed mix.
16. No landscape waste generated off the property can be burned on the subject property.
17. A maximum of twenty (20) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work. No employees shall engage in the sale of landscaping related materials on the property.
18. No retail customers of the business allowed by this special use permit shall be invited onto the property by anyone associated with the use allowed by this special use permit.
19. The hours of operation of the business allowed by this special use permit shall be Monday through Saturday from 7:30 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
20. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.
21. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
22. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
23. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.



24. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
25. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
26. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

Mr. Gengler asked how long the business had been operating. Jeremy Dippold responded that he had been working in the area since the 1990s.

Mr. Klaas asked if the six inch (6") pipe went to Route 52. John Tebrugge, Petitioners' Engineer, said the pipe goes almost to Route 52.

Mr. Holdiman asked if the Petitioners had discussed access with the Illinois Department of Transportation. Mr. Dippold favored having a wider driveway. Samantha Dippold said final approval of the access would not occur until they (the Dippolds) own the property.

Mr. Holdiman discussed the applicable building code. He advised the Petitioners to tell their builders that the building would not be agricultural use.

Mr. Rybski asked about bathrooms and sinks. Based on current information, the well would not be a non-community well. He advised the Petitioners to design the septic system for maximum load.

Discussion occurred about the size of the gravel area. The stormwater calculations will be based on the ten point five (10.5) acre maximum, but the Petitioners do not have to construct a gravel area of that size.

The business is currently located at Interstate 55 and Renwick Road.

The Petitioners have not had any correspondence with Seward Township. They were advised to contact Seward Township.

The Petitioners had not talked to any neighbors. They were advised to talk to neighbors.

Discussion occurred about lighting. The Petitioners were advised to identify on the site plan where lights would be placed.

The Petitioners had no plans to use the access off of Arbeiter Road.

The land comes with building allocations.

Mr. Holdiman made a motion, seconded by Mr. Rybski, to recommend approval of the requested special use permit with the condition proposed by Staff.

With a voice vote of six (6) ayes, the motion carried.

The proposal goes to the Kendall County Regional Planning Commission on May 25, 2022.

#### **REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD**

Mr. Asselmeier reported that Petition 22-08 was approved by the County Board.

#### **OLD BUSINESS/NEW BUSINESS**

None

#### **CORRESPONDENCE**

None

#### **PUBLIC COMMENT**

None



**ADJOURNMENT**

Mr. Rybski made a motion, seconded by Mr. Klaas, to adjourn.

With a voice vote of six (6) ayes, the motion carried.

The ZPAC, at 9:29 a.m., adjourned.

Respectfully Submitted,  
Matthew H. Asselmeier, AICP, CFM  
Senior Planner





May 4, 2022

Mr. Matt Asselmeier  
Kendall County Planning, Building, & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498

Subject: Best Budget Tree (WBK Project 19-102.AN)

Dear Mr. Asselmeier:

We have received and reviewed the following information for the subject project:

- Stormwater Management Detention Design Computations prepared by Tebrugge Engineering dated April 12, 2022 and received April 20, 2022.
- Engineering Plans for Best Budget Tree Site Plan prepared by Tebrugge Engineering dated April 2022 and received April 20, 2022.
- Landscape Plan for Best Budget Tree Site Plan prepared by Tebrugge Engineering dated April 2022 and received April 20, 2022.

The following comments require resolution prior to our recommendation for approval of a stormwater permit.

1. Stormwater Report - The area within the silt fence is over 23 acres compared to 13 acres identified in the stormwater report.
2. Stormwater Report – The curve number for impervious areas should be 98. Also, verify the curve number for gravel and “landscape” based on hydrologic soil group. Finally, the wet pond has a curve number of 100.
3. Stormwater Report - Areas of development are not being captured and bypass the stormwater basin. This includes a gravel driveway. Quantify these areas, flows and justify why this is acceptable.
4. Stormwater Report - Provide an existing conditions exhibit and evaluation of the property identifying off-site tributary areas and existing outfall locations and existing 2 year and 100 year flows. Provide a corollary proposed conditions exhibit with outfall locations and proposed peak flow rates.
5. Stormwater Report - Provide a field tile map.
6. Stormwater Report - Provide a wetland delineation and determination of jurisdiction.
7. Stormwater Report - Determine the elevation and location to which the wetland area overtops and flows overland.
8. Storm sewer pipe is depicted as crossing several pipeline easements. Verify and document approval of utility crossings.






9. It appears discharge from the stormwater basin is to US 52. Please verify and provide approval of the discharge by IDOT. Also, provide sizing and approval of the driveway culvert within US 52 ROW.
10. Engineering Plans - All proposed gravel and impervious surfaces are not clearly routed to the stormwater basin.
11. Engineering Plans - Depict all storm sewer pipe size, materials, manholes, slopes and outfall location. This includes the culvert depicted in US 52 ROW.
12. Engineering Plans - The plans depict two foot contours. One foot contours are required.
13. Engineering Plans – An asphalt pavement section is depicted but no area indicated on the plans. Remove the asphalt pavement detail or clearly depict the location of proposed pavement.
14. Engineering Plans – Clearly depict the normal water elevation and high water elevation in the stormwater basin.

The applicant's design professionals are responsible for performing and checking all design computations, dimensions, details, and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve applicant's design professionals of their duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications. If you have any questions or comments, please contact us at (630) 443-7755.

Sincerely,

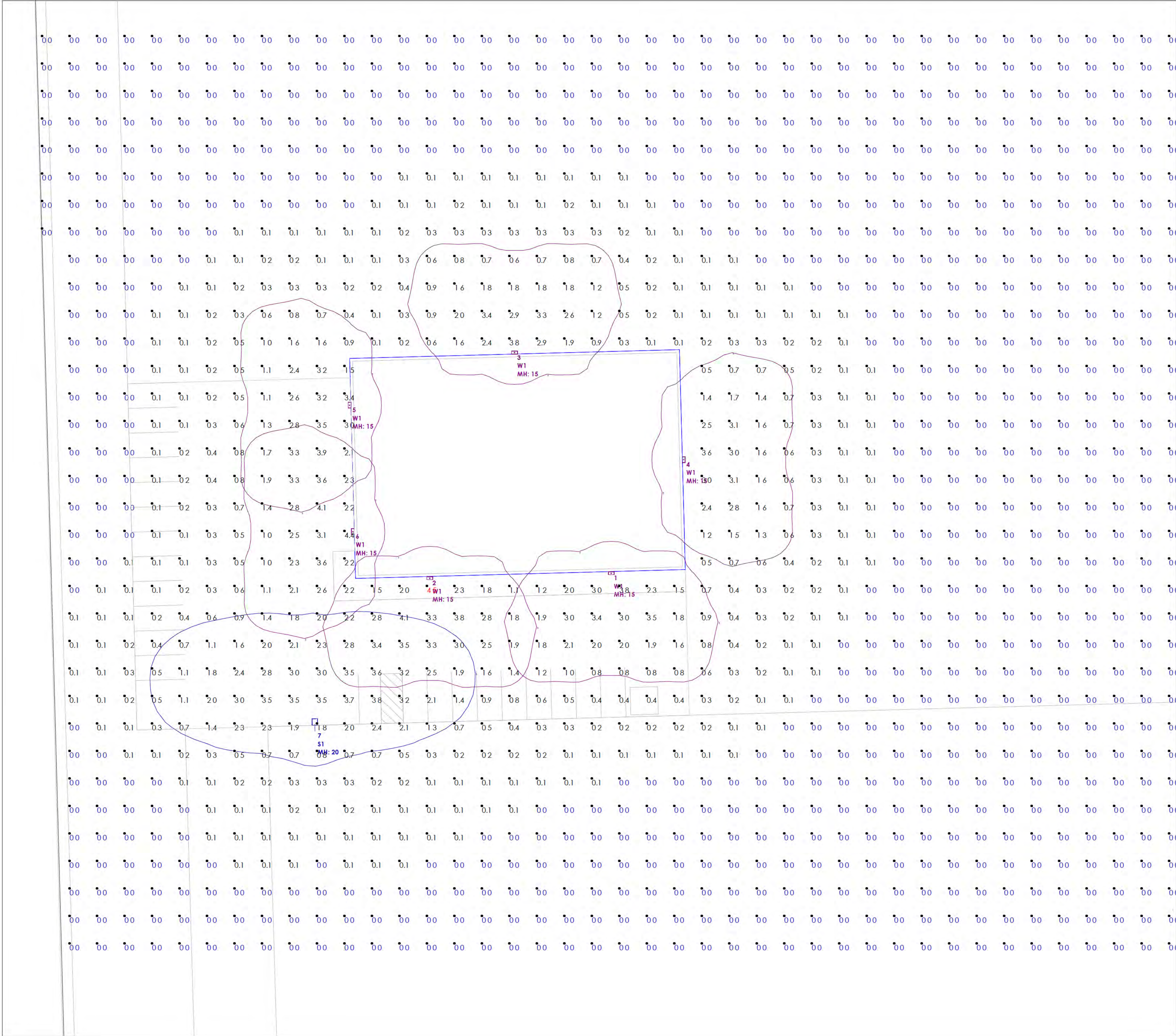
  
Greg Chismark PE  
WBK Engineering, LLC



Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.										
Symbol	Qty	Tag	Arrangement	Luminaire Lumens	Arr. Lum. Lumens	Luminaire Watts	Arr. Watts	LLF	Manufacturer	Description
	1	S1	Single	12010	12010	87.9	87.9	0.900	HUBBELL OUTDOOR	RAR1-160L-100-4K7-3-UNV-AX-X
	6	W1	Single	7558	7558	82.8	82.8	0.900	HUBBELL OUTDOOR	LNC3-24L4K-105-4-U-X

Calculation Summary										
Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min	Description		
SITE Planar	Illuminance	Fc	0.34	4.5	0.0	N.A.	N.A.	READINGS @ GRADE		
PARKING AREAS	Illuminance	Fc	1.73	4.4	0.1	44.00	17.30	READINGS @ GRADE		

Luminaire Location Summary				
LumNo	Label	Mtg Ht	Orient	Tilt
1	LNC3-24L4K-105-4	15	270	0
2	LNC3-24L4K-105-4	15	270	0
3	LNC3-24L4K-105-4	15	90	0
4	LNC3-24L4K-105-4	15	0	0
5	LNC3-24L4K-105-4	15	180	0
6	LNC3-24L4K-105-4	15	180	0
7	RAR1-160L-100-4K7-3	20	91	0



Scale: 1 inch= 20 Ft.

PARKING LOT DESIGN GUIDE	MAINTAINED HORIZONTAL		MAINTAINED VERTICAL		MAXIMUM	
	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN	MAX:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARKING (UNCOVERED) ZONE 2 (SUBURBAN)	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2	-	-	FOR SECURITY ISSUES, RAISE AVG. TO 3	
SIMPLIFIED RECOMMENDATIONS BASED ON IES "THE LIGHTING HANDBOOK" 10TH EDITION AND IES RP-20-14. INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES						

NOTES
PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.
ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.
THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.
FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.
FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.
CALCULATION GRID VALUES 10'-0" O.C.



PROJECT NAME: BEST BUDGET TREE SERVICE, 22419 W RENWICK RD, PLAINFIELD, IL

CLIENT NAME: TEBRUGGE ENGINEERING

DRAWN BY: Joeli Collins  
joeli.collins@pg-enlighten.com  
847.228.1199

PG CONTACT: Dan Ardelean  
Dan.Ardelean@pg-enlighten.com  
847.228.1199

1	2	3
REVISIONS		

Date:5/11/2022



# SSS-H SERIES POLES

SQUARE STRAIGHT STEEL

## APPLICATIONS

Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

## CONSTRUCTION

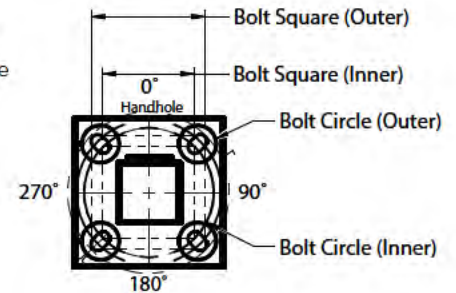
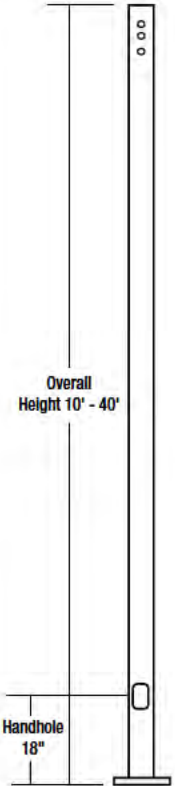
- Shaft: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- base cover: Two-piece square aluminum base cover included standard
- pole cap: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- hand hole: Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- anchor bolts: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling
- Anchor bolt part numbers:  
3/4 x 30 x 3 — TAB-30-M38  
1 x 36 x 4 — TAB-36-M38

## FINISH

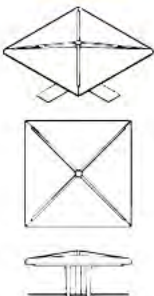
- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

## WAREHOUSE 'STOCKED' POLES:

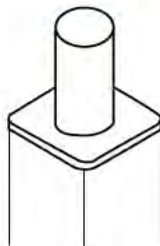
- SSSH-20-40-STK and SSSH-25-40-STK
- The above catalog numbers use a combination of the S2 and B3 drill pattern



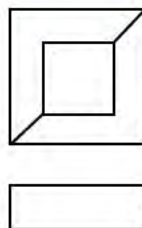
### POLE CAP



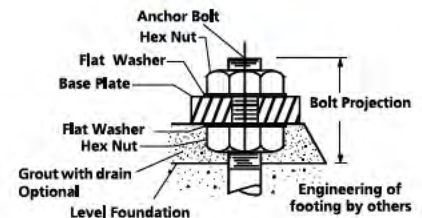
### TENON



### BASE COVER



### BASE DETAIL





# SSS-H SERIES POLES

SQUARE STRAIGHT STEEL

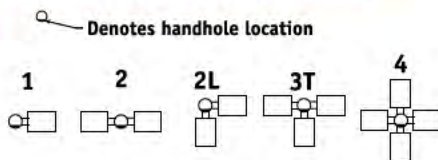
## ORDERING GUIDE

Example: SSS-H-25-40-A/B/C-2L-S2-DBT-UL

CATALOG #

Series	Height	Shaft	Thickness	Mounting	Finish	Options
<b>SSS-H</b> Square Straight Steel Pole Hubbell Outdoor	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	Reference page 3 Ordering matrix	<b>1</b> Single arm mount <b>2</b> Two fixtures at 180° <b>2L</b> Two fixtures at 90° <b>3T</b> Three fixtures at 90° <b>4</b> Four fixtures at 90° <b>TA</b> Tenon (2.38" OD x 4" Tall) <b>TB</b> Tenon (2.88" OD x 4" Tall) <b>TC</b> Tenon (3.5" OD x 6" Tall) <b>TR<sup>1</sup></b> Removable Tenon (2.38" x 4") <b>OT</b> Open Top (includes pole cap)	<b>BLT</b> Black Matte Textured <b>BLS</b> Black Gloss Smooth <b>DBT</b> Dark Bronze Matte Textured <b>DBS</b> Dark Bronze Gloss Smooth <b>GTT</b> Graphite Matte Textured <b>LGS</b> Light Grey Gloss Smooth <b>PSS</b> Platinum Silver Smooth <b>WHT</b> White Matte Textured <b>WHS</b> White Gloss Smooth <b>VGT</b> Verde Green Textured  <b>Color Option</b>  <b>CC</b> Custom Colors  <b>Drill Pattern</b>  <b>B3</b> 2 bolt (2-1/2" spacing), Ratio <b>S2</b> 2 bolt (3-1/2" spacing)	<b>GFI<sup>2</sup></b> 20 Amp GFCI Receptacle and Cover <b>EHH<sup>2</sup></b> Extra Handhole  <b>C05<sup>2</sup></b> .5" Coupling <b>C07<sup>2</sup></b> .75" Coupling <b>C20<sup>2</sup></b> 2" Coupling <b>MPB<sup>2</sup></b> Mid-pole Luminaire Bracket <b>VM2</b> 2nd mode vibration damper  <b>LAB</b> Less Anchor Bolts <b>UL</b> UL Certified

## MOUNTING ORIENTATION



## ACCESSORIES- ORDER SEPARATELY

CATALOG NUMBER	DESCRIPTION
<b>VM1<sup>3</sup></b>	1st mode vibration damper
<b>VM2SXX*</b>	2nd mode vibration damper

\* XX = 08 for 8', 12 for 12', 15 for 16', 20 for 20', and 24' for 24'

### Notes:

- Removable tenon used in conjunction with side arm mounting. First specify desired arm
- Specify option location using logic found on page 1 (Option Orientation)
- VM1 recommended on poles 20' and taller with EPA of less than 1.



# SSS-H SERIES POLES

SQUARE STRAIGHT STEEL

## ORDERING GUIDE (CONTINUED)

Catalog Number	Height		Nominal Shaft Dimensions	Wall Thickness	Bolt Circle (suggested)	Bolt Circle (range)	Bolt Square (range)	Base Plate Square	Anchor bolt size	Bolt Projection	Pole weight
	Feet	Meters									
SSS-H-10-40-A-XX-XX	10	3.0	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	77
SSS-H-12-40-A-XX-XX	12	3.7	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	90
SSS-H-14-40-A-XX-XX	14	4.3	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	103
SSS-H-16-40-A-XX-XX	16	4.9	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	116
SSS-H-18-40-A-XX-XX	18	5.5	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	129
SSS-H-20-40-A-XX-XX	20	6.1	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	142
SSS-H-25-40-A-XX-XX	25	7.6	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	175
SSS-H-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	152
SSS-H-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	171
SSS-H-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	190
SSS-H-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	209
SSS-H-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	257
SSS-H-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	304
SSS-H-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	219
SSS-H-18-50-B-XX-XX	18	5.5	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	243
SSS-H-20-50-B-XX-XX	20	6.1	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	267
SSS-H-25-50-B-XX-XX	25	7.6	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	327
SSS-H-30-50-B-XX-XX	30	9.1	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	387
SSS-H-25-50-C-XX-XX	25	7.6	5" square	.25"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	427
SSS-H-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	507
SSS-H-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	329
SSS-H-25-60-B-XX-XX	25	7.6	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	404
SSS-H-30-60-B-XX-XX	30	9.1	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	479
SSS-H-35-60-B-XX-XX	35	10.7	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	554
SSS-H-40-60-B-XX-XX	40	12.2	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	629

### Notes:

1 Factory supplied template must be used when setting anchor bolts. Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

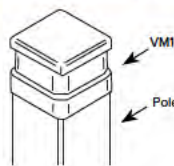
### EHH EXTRA HANDHOLE



### C05 - C07 - C20 - COUPLING



### VM1 - VIBRATION DAMPER 1ST MODE



Field installed Pole Top damper designed to reduce pole top deflection or sway. VM1 is recommended for pole systems 20' and taller with a total EPA of 1.0 or less.

### VM2 - VIBRATION DAMPER 2ND MODE



Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

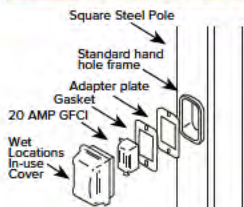
### VM2SXX - VIBRATION DAMPER 2ND MODE



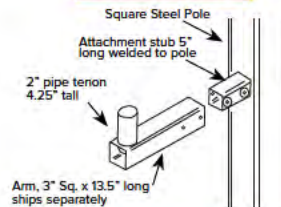
VM2S08 - 8'  
VM2S12 - 12'  
VM2S16 - 16'  
VM2S20 - 20'  
VM2S24 - 24'

Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

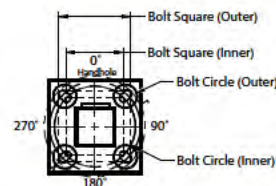
### GFI - 20 AMP GFCI RECEPTACLE & COVER



### MPB - MID POLE BRACKET



### OPTION ORIENTATION



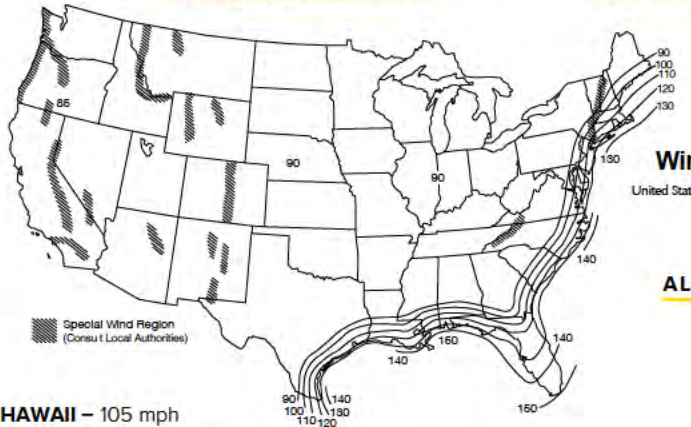
Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet). Example: Option C07 should be ordered as: SSS-H-20-40-A-TA-DBT-C07-0-15 (5" coupling on the handhole/arm side of pole, 15 feet up from the pole base) if spacing required between option. Consult factory for other configurations.



# SSS-H SERIES POLES

SQUARE STRAIGHT STEEL

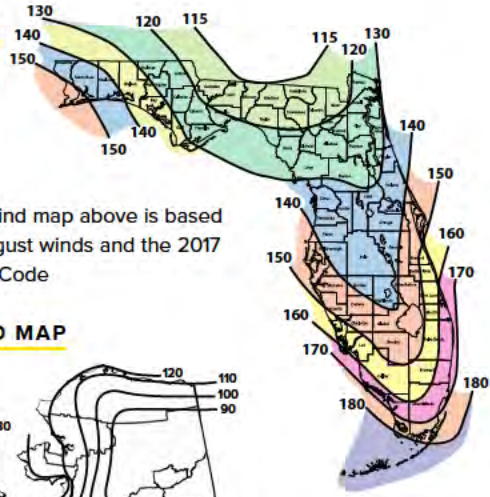
## ASCE7-05 WIND MAP



HAWAII – 105 mph

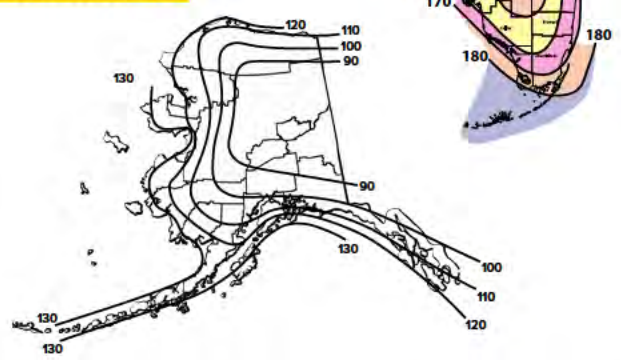
PUERTO RICO – 145 mph

## FLORIDA REGION WIND MAP



- Florida region wind map above is based upon 3-second gust winds and the 2017 Florida Building Code

## ALASKA REGION WIND MAP



ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds  
(Use for all locations except Florida)

Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-H-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-H-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-H-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-H-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-H-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-H-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-H-25-40-A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR
SSS-H-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-H-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-H-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-H-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-H-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-H-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2
SSS-H-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-H-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-H-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-H-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-H-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.9	6.0	5.1
SSS-H-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.5	2.8	2.1	1.4
SSS-H-20-60-B	25.0	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3
SSS-H-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-H-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-H-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-H-40-60-B	8.1	5.8	2.2	NR	NR	NR	NR	NR	NR	NR

Florida Building Code 2017 EPA Load Rating - 3 second gust  
wind speeds (Use for Florida only)

Catalog Number	115	120	130	140	150	160	170	180
SSS-H-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9
SSS-H-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSS-H-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSS-H-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSS-H-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSS-H-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSS-H-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR
SSS-H-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSS-H-16-40-B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6
SSS-H-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6
SSS-H-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSS-H-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSS-H-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5
SSS-H-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSS-H-20-50-B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSS-H-25-50-B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-25-50-C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSS-H-25-60-B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8
SSS-H-30-60-B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-H-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-H-40-60-B	1.8	NR	NR	NR	NR	NR	NR	NR



RESET

# SSS-H SERIES POLES

SQUARE STRAIGHT STEEL

**Notes:**

- 1 Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- 2 The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- 3 Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- 4 Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- 5 Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. [https://hubbellcdn.com/ohwassets/HLL/outdoor/resources/literature/files/Pole\\_Wind\\_Induced\\_Flyer\\_HLQI0022.pdf](https://hubbellcdn.com/ohwassets/HLL/outdoor/resources/literature/files/Pole_Wind_Induced_Flyer_HLQI0022.pdf)
- 6 Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

**Due to our continued efforts to improve our products, product specifications are subject to change without notice.**



# RATIO Series

AREA/SITE LIGHTER

## FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



## RELATED PRODUCTS

⌘ [Airo](#) ⌘ [Cimarron LED](#) ⌘ [Ratio Family](#)



IP66



See Certification Specifications

## CONTROL TECHNOLOGY



**NX DISTRIBUTED INTELLIGENCE**

**wiSCAPE™**

## SPECIFICATIONS

### CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

### OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

### INSTALLATION

- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

### ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

### ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

### CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0- 10 V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- SiteSync™ wireless control system is available via 7-pin See ordering information and details at: [www.hubbelllighting.com/sitesync](http://www.hubbelllighting.com/sitesync)
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

### CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at [www.designlights.org](http://www.designlights.org)
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See [Buy American Solutions](http://Buy American Solutions)

### WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	3,000–48,000
Wattage Range	25–340
Efficacy Range (LPW)	118–155
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	13.5–24 (6.1–10.9)



# RATIO SERIES

AREA/SITE LIGHTER

## ORDERING GUIDE

Example: RAR1-80L-25-3K7-2-UNV-ASQ-BL-NXWE-BC

CATALOG #

### ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Optics Rotation	Voltage
<b>RAR1</b> Ratio Area Size 1	<b>80L-25</b> 25W - 3,000 Lumens	<b>3K7</b> 3000K, 70 CRI	<b>2</b> IES TYPE II	Blank for no rotation	<b>UNV</b> Universal 120-277V
	<b>80L-39</b> 39W - 5,200 Lumens	<b>4K7</b> 4000K, 70 CRI	<b>3</b> IES TYPE III	<b>L</b> Optic rotation left	<b>120</b> 120V
	<b>80L-50</b> 50W - 6,000 Lumens	<b>5K7</b> 5000K, 70 CRI	<b>4W</b> IES TYPE IV	<b>R</b> Optic rotation right	<b>208</b> 208V
	<b>160L-70</b> 70W - 9,000 Lumens		<b>5QW</b> IES TYPE V		<b>240</b> 240V
	<b>160L-100</b> 100W - 12,000 Lumens				<b>277</b> 277V
	<b>160L-115</b> 115W - 15,000 Lumens				<b>347</b> 347V
	<b>160L-135</b> 135W - 18,000 Lumens				<b>480</b> 480V
<b>RAR2</b> Ratio Area Size 2	<b>320L-110</b> 110W - 15,000 Lumens				
	<b>320L-140</b> 140W - 18,000 Lumens				
	<b>320L-165</b> 165W - 21,000 Lumens				
	<b>480L-185</b> 185W - 24,000 Lumens				
	<b>480L-210</b> 210W - 27,000 Lumens				
	<b>480L-240</b> 240W - 30,000 Lumens				
	<b>480L-255</b> 255W - 36,000 Lumens				
	<b>480L-295</b> 295W - 42,000 Lumens				
	<b>480L-340</b> 340W - 48,000 Lumens				

Mounting	Color	Control Options Network	Options
<b>ASQ</b> Arm mount for square pole/flat surface	<b>BLT</b> Black Matte Textured	<b>NXWE</b> NX Wireless Enabled (module + radio)	<b>BC</b> Backlight control
<b>ASQU</b> Universal arm mount for square pole/flat surface	<b>BLS</b> Black Gloss Smooth	<b>NXSPW_F</b> NX Wireless, PIR Occ. Sensor, Daylight Harvesting <sup>4</sup>	<b>F</b> Fusing (must specify voltage)
<b>Mounting Round Poles</b>	<b>DBT</b> Dark Bronze Matte Textured	<b>NXSP_F</b> NX, PIR Occ. Sensor, Daylight Harvesting <sup>4</sup>	<b>TB</b> Terminal block
<b>A_</b> Arm mount for round pole <sup>1</sup>	<b>DBS</b> Dark Brone Gloss Smooth	<b>Control Options Other</b>	<b>2PF</b> 2 power feed with 2 drivers <sup>2</sup>
<b>A_U</b> Universal arm mount for round pole <sup>1</sup>	<b>GTT</b> Graphite Matte Textured	<b>SCP-40F</b> Programmable occupancy sensor <sup>3</sup>	
<b>Mounting Other</b>	<b>LGS</b> Light Grey Gloss Smooth	<b>7PR</b> 7-Pin twist lock receptacle	
<b>WB</b> Wall bracket	<b>PSS</b> Platinum Silver Smooth	<b>7PR-SC</b> 7-Pin receptacle with shorting cap	
<b>MAF</b> Mast arm fitter for 2-3/8" OD horizontal arm	<b>WHT</b> White Matte Textured	<b>7PR-MD40F</b> Low voltage sensor for 7PR	
<b>K</b> Knuckle	<b>WHS</b> White Gloss Smooth	<b>7PR-TL</b> 7-Pin PCR with photocontrol	
	<b>VGT</b> Verde Green Textured	<b>Sensors</b>	
	<b>Color Option</b>	<b>BTS_F</b> Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens <sup>4</sup>	
	<b>CC</b> Custom Color	<b>BTSO_F</b> Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens, up to 12' mounting height <sup>5</sup>	

#### Notes:

- 1 Replace " " with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole
- 2 Not available with 25, 50, 255, 295 & 340W configurations
- 3 At least one SCPREMOTE required to program SCP motion sensor
- 4 Replace " " with "14" for up to 14' mounting height, "40F" for 15-40' mounting height
- 5 Replace " " with "12" for up to 12' mounting height

### STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Mounting	Finish
<b>RAR1-100-4K-3</b>	12,000	100W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
<b>RAR1-100-4K-4W</b>	12,000	100W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
<b>RAR1-135-4K-3</b>	18,000	135W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
<b>RAR1-135-4K-4W</b>	18,000	135W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
<b>RAR2-165-4K-3</b>	21,000	165W	320L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
<b>RAR2-165-4K-4W</b>	21,000	165W	320L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze



# RATIO SERIES

AREA/SITE LIGHTER

## OPTIONS AND ACCESSORIES - STOCK (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> RARRPA3DB	Round pole adapter 3.5" to 4.13" for ASQ arm, 3.5" to 4.13" OD pole, dark bronze finish
<input type="checkbox"/> RARA3UDB	Universal mount for square pole or round pole 3.5" to 4.13", dark bronze finish
<input type="checkbox"/> RARBC80L	Ratio blacklight control 80L
<input type="checkbox"/> RARBC160L	Ratio blacklight control 160L
<input type="checkbox"/> RARBC320L	Ratio blacklight control 320L
<input type="checkbox"/> RARBC480L	Ratio blacklight control 480L

## ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
<input type="checkbox"/> RAR-ASQU-XX	Universal arm mount for square pole/flat surface <sup>2</sup>
<input type="checkbox"/> RAR-A_U-XX	Universal arm mount for round poles <sup>1,2</sup>
<input type="checkbox"/> RAR-RPA_-XX	Round pole adapter <sup>1,2</sup>
<input type="checkbox"/> SETAVP-XX	4" square pole top tenon adapter, 2 3/8" OD slipfitter <sup>2</sup>
<input type="checkbox"/> RETAVP-XX	4" round pole top tenon adapter, 2 3/8" OD slipfitter for max. Four fixtures (90°); order 4" round pole adapters separately <sup>2</sup>
<input type="checkbox"/> BIRD-SPIKE-3	Ratio size 1 bird deterrent/spikes
<input type="checkbox"/> BIRD-SPIKE-4	Ratio size 2 bird deterrent/spikes
<input type="checkbox"/> RARWB-XX	Wall bracket - use with Mast Arm Fitter or Knuckle <sup>2</sup>

1 Replace "\_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole

2 Replace "XX" with desired color/paint finish

## CONTROLS

### Control Options

#### Standalone

SW7PR	SiteSync™ on fixture module via 7PR
SWUSB	SiteSync™ Software on USB
SWTAB	SiteSync™ Windows Tablet
SWBRG	SiteSync™ Wireless Bridge Node
SWFC	SiteSync™ Field Commission Serve
SCPREMOTE	Order at least one per project location to program and control

#### Networked – Wireless

WIR-RME-L	wISCAPE External Fixture Module <sup>1,2</sup>
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#### NX Networked – Wireless

NXOFM-1R1D-UNV	NX Wireless, Daylight Harvesting, BLE, 7 pin twisted lock
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Notes:

- 1 Works with external networked photosensor
- 2 wISCAPE Gateway required for system programming



# RATIO SERIES

AREA/SITE LIGHTER

## PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR1	25	25.4	2	3438	135	1	0	1	3445	136	1	0	1	3240	128	1	0	1
			3	3460	136	1	0	1	3467	136	1	0	1	3260	128	1	0	1
			4W	3406	134	1	0	1	3412	134	1	0	1	3209	126	1	0	1
			5QW	3483	137	2	0	1	3490	137	2	0	1	3282	129	2	0	1
	39	39	2	5263	139	1	0	2	5273	139	1	0	2	4960	131	1	0	2
			3	5297	139	1	0	2	5308	140	1	0	2	4991	131	1	0	2
			4W	5200	137	1	0	2	5210	137	1	0	2	4900	129	1	0	2
			5QW	5333	140	3	0	1	5344	141	3	0	1	5025	132	3	0	1
	50	49.8	2	6310	127	1	0	2	6323	127	1	0	2	5946	120	1	0	2
			3	6349	128	1	0	2	6362	128	1	0	2	5983	120	1	0	2
			4W	6233	125	1	0	2	6245	126	1	0	2	5873	118	1	0	2
			5QW	6392	129	3	0	1	6405	129	3	0	1	6023	121	3	0	1
	70	68.4	2	9486	139	1	0	2	9505	139	1	0	2	8938	131	1	0	2
			3	9544	140	1	0	2	9563	140	1	0	2	8993	131	1	0	2
			4W	9395	137	1	0	2	9414	138	1	0	2	8853	129	1	0	2
			5QW	9608	140	4	0	2	9628	141	4	0	2	9054	132	4	0	2
	100	90.0	2	11976	133	2	0	2	12000	133	2	0	2	11285	125	2	0	2
			3	12050	134	2	0	2	12074	134	2	0	2	11354	126	2	0	2
			4W	11861	132	2	0	2	11885	132	2	0	2	11177	124	2	0	2
			5QW	12131	135	4	0	2	12155	135	4	0	2	11431	127	4	0	2
	115	109.7	2	15572	142	2	0	2	15494	141	2	0	2	14871	136	2	0	2
			3	15833	144	2	0	2	15754	144	2	0	2	15121	138	2	0	2
			4W	15281	139	2	0	3	15205	139	2	0	3	14623	133	2	0	3
			5QW	15732	143	4	0	2	15653	143	4	0	2	15024	137	4	0	2
	135	133.3	2	17971	135	3	0	3	17881	134	3	0	3	17163	129	3	0	3
			3	18272	137	2	0	2	18181	136	2	0	2	17450	131	2	0	2
			4W	17635	132	2	0	3	17547	132	2	0	3	16876	127	2	0	3
			5QW	18156	136	4	0	2	18065	136	4	0	2	17339	130	4	0	2

RAR2 Performance Data on next page

\* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.



# RATIO SERIES

AREA/SITE LIGHTER

## PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR2	110	100.3	2	15326	153	2	0	3	15357	153	2	0	3	14442	144	2	0	3
			3	15421	154	2	0	3	15452	154	2	0	3	14531	145	2	0	3
			4W	15180	151	2	0	2	15210	152	2	0	2	14304	143	2	0	2
			5QW	15525	155	4	0	2	15556	155	4	0	2	14629	146	4	0	2
	140	133.2	2	19395	146	2	0	3	19434	146	2	0	3	18276	137	2	0	3
			3	19515	147	2	0	3	19554	147	2	0	3	18389	138	2	0	3
			4W	19210	144	2	0	3	19248	145	2	0	3	18101	136	2	0	3
			5QW	19647	148	5	0	3	19686	148	5	0	3	18513	139	5	0	3
	165	153.6	2	21651	141	3	0	3	21695	141	3	0	3	20402	133	3	0	3
			3	21785	142	3	0	3	21828	142	3	0	3	20527	134	3	0	3
			4W	21444	140	3	0	3	21487	140	3	0	3	20206	132	3	0	3
			5QW	21932	143	5	0	3	21976	143	5	0	3	20666	135	5	0	3
	185	174.5	2	26046	149	3	0	3	26098	150	3	0	3	24543	141	3	0	3
			3	26207	150	3	0	3	26259	150	3	0	3	24694	142	3	0	3
			4W	25797	148	3	0	4	25849	148	3	0	4	24308	139	3	0	4
			5QW	26384	151	5	0	3	26437	152	5	0	3	24861	143	5	0	3
	210	198.2	2	28848	145	3	0	4	28906	146	3	0	4	27184	137	3	0	4
			3	29027	146	3	0	4	29085	147	3	0	4	27351	138	3	0	4
			4W	28572	144	3	0	4	28630	144	3	0	4	26924	136	3	0	4
			5QW	29222	147	5	0	4	29281	148	5	0	4	27536	139	5	0	4
	240	226.9	2	32087	141	3	0	4	32151	142	3	0	4	30235	133	3	0	4
			3	32285	142	3	0	4	32350	143	3	0	4	30422	134	3	0	4
			4W	31780	140	3	0	4	31844	140	3	0	4	29946	132	3	0	4
			5QW	32503	143	5	0	4	32568	144	5	0	4	30627	135	5	0	4
	255	257.0	2	37040	144	3	0	4	36854	143	3	0	4	35373	138	3	0	4
			3	37660	147	3	0	4	37472	146	3	0	4	35966	140	3	0	4
			4W	36347	141	3	0	5	36166	140	3	0	5	34782	135	3	0	5
			5QW	37420	146	5	0	4	37233	145	5	0	4	35736	139	5	0	4
	295	294.0	2	41733	142	3	0	4	41524	141	3	0	4	39855	136	3	0	4
			3	42432	144	3	0	4	42220	144	3	0	4	40523	138	3	0	4
			4W	40953	139	3	0	5	40748	139	3	0	5	39190	133	3	0	5
			5QW	42162	143	5	0	4	41951	143	5	0	4	40264	137	5	0	4
	340	347.1	2	48392	139	4	0	5	48150	139	4	0	5	46215	133	4	0	5
			3	49203	142	3	0	4	48957	141	3	0	4	46989	135	3	0	4
			4W	47488	137	4	0	5	47261	136	4	0	5	45443	131	4	0	5
			5QW	48889	141	5	0	5	48645	140	5	0	5	46689	135	5	0	5

\* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.



# RATIO SERIES

AREA/SITE LIGHTER

## ELECTRICAL DATA

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR1	25	120	0.21	25.4
		208	0.12	
		240	0.11	
		277	0.09	
	39	120	0.32	38.0
		208	0.18	
		240	0.16	
		277	0.14	
		347	0.11	
		480	0.08	
	50	120	0.42	49.8
		208	0.24	
		240	0.21	
		277	0.18	
	70	120	0.57	68.4
		208	0.33	
		240	0.29	
		277	0.25	
	100	120	0.75	90.0
		208	0.43	
		240	0.38	
		277	0.32	
	115	120	0.91	109.7
		208	0.53	
		240	0.46	
		277	0.40	
		347	0.32	
		480	0.23	
	135	120	1.11	133.3
		208	0.64	
		240	0.56	
		277	0.48	
		347	0.38	
		480	0.28	

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR2	110	120	0.84	100.3
		208	0.48	
		240	0.42	
		277	0.36	
	140	120	1.11	133.2
		208	0.64	
		240	0.56	
		277	0.48	
	165	120	1.28	153.6
		208	0.74	
		240	0.64	
		277	0.55	
	185	120	1.45	174.5
		208	0.84	
		240	0.73	
		277	0.63	
	210	120	1.65	198.3
		208	0.95	
		240	0.83	
		277	0.72	
	240	120	1.89	226.9
		208	1.09	
		240	0.95	
		277	0.82	
	255	120	2.14	257.0
		208	1.24	
		240	1.07	
		277	0.93	
		347	0.74	
		480	0.54	
	295	120	2.45	294.0
		208	1.41	
		240	1.23	
		277	1.06	
		347	0.85	
		480	0.61	
	340	120	2.89	347.1
		208	1.67	
		240	1.45	
		277	1.25	
		347	1.00	
		480	0.72	

## LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.03
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.98
50° C	122° F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

## PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.95	0.93	0.86	238,000
40°C / 104°F	0.99	0.96	0.95	0.93	0.85	225,000

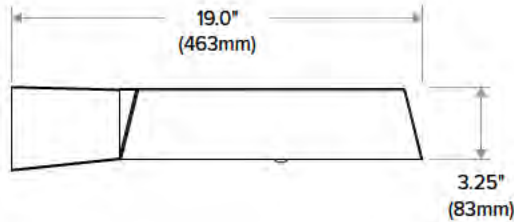
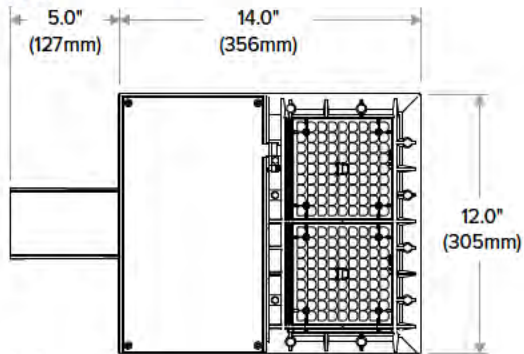


# RATIO SERIES

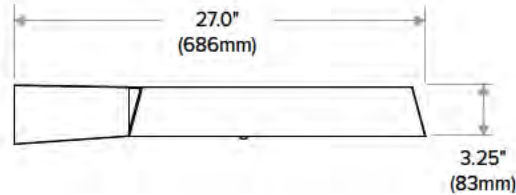
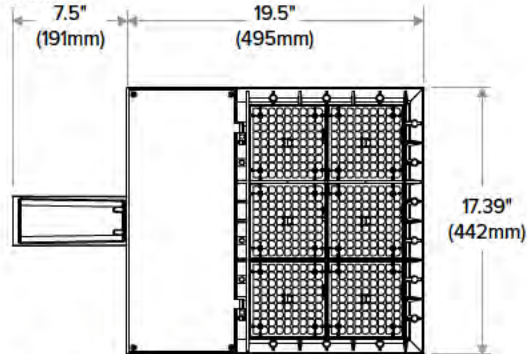
AREA/SITE LIGHTER

## DIMENSIONS

### RAR1



### RAR2



## ADDITIONAL INFORMATION

### MOUNTING



**Arm Mount** – Fixture ships with integral arm for ease of installation. Compatible with Hubbell Outdoor B3 drill pattern.



**Knuckle** – Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes.



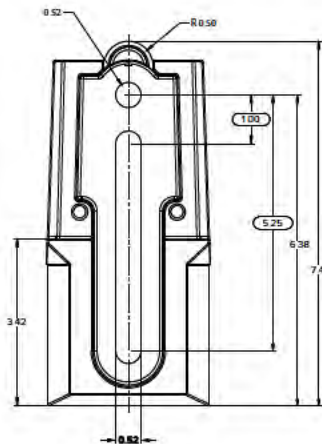
**Universal Mounting** – Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5"



**MAF** – Fits 2-3/8" OD arms Roadway applications.



**Wall Mount** – Wall mount bracket designed for building mount applications.



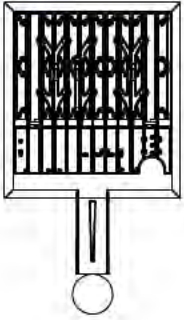




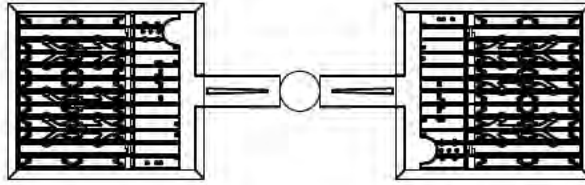
## RATIO SERIES

AREA/SITE LIGHTER

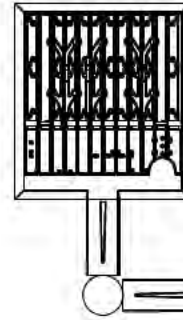
### EPA



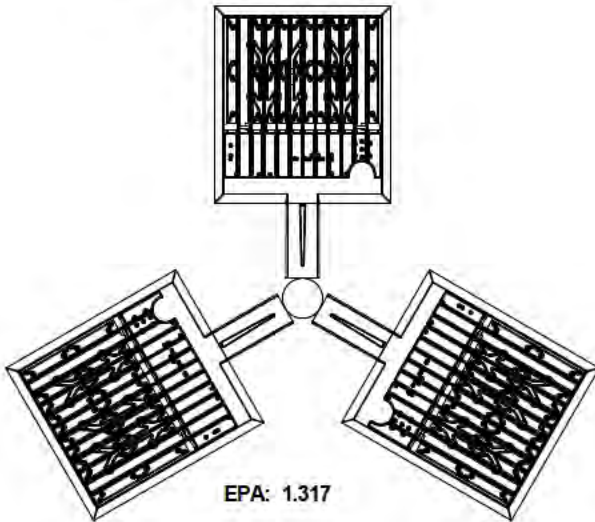
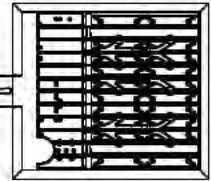
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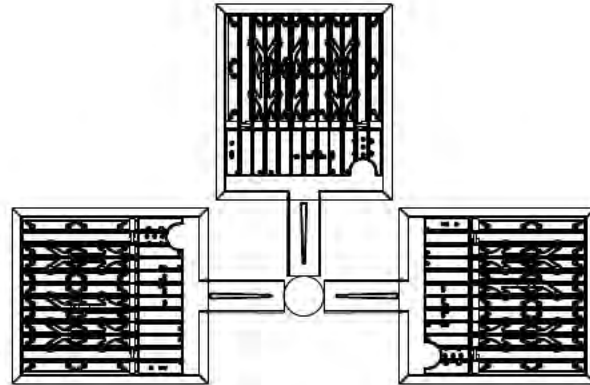
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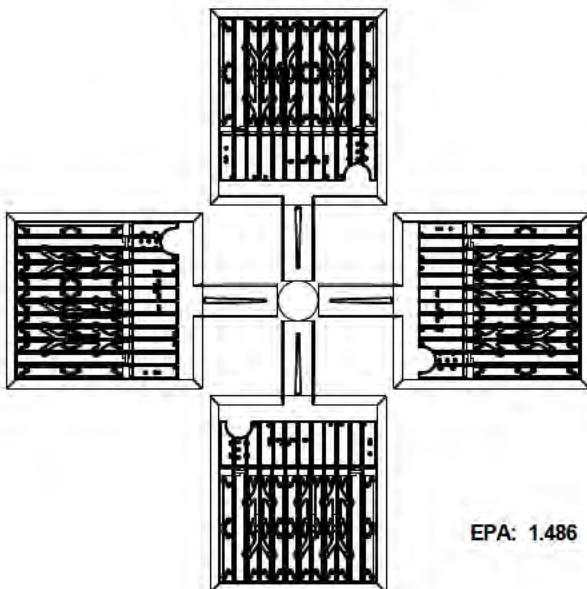
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EPA: 1.317



EPA: 1.486



EPA: 1.486





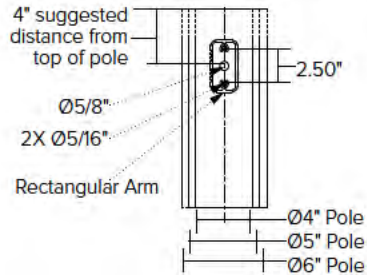
# RATIO SERIES

AREA/SITE LIGHTER

## ADDITIONAL INFORMATION (CONT'D)

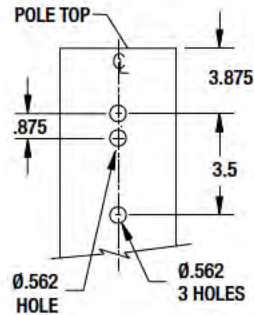
### ARM MOUNT (ASQ)

Compatible with Pole drill pattern B3



### UNIVERSAL MOUNTING (ASQU)

Compatible with pole drill pattern S2



### SITESYNC 7-PIN MODULE



SW7PR



- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)

## PROGRAMMED CONTROLS

### ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	Delay 0-9 Hours	R6

### ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	12-6 AM and 9-11P	R6

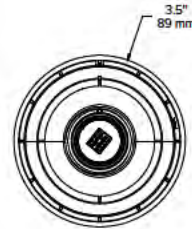
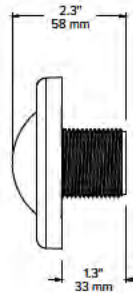
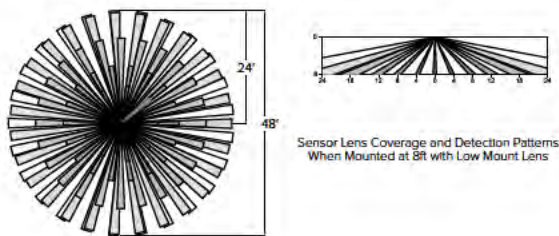


# RATIO SERIES

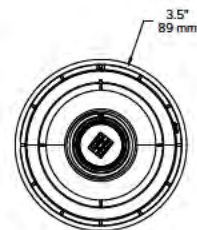
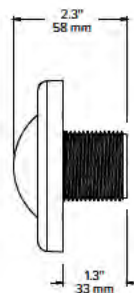
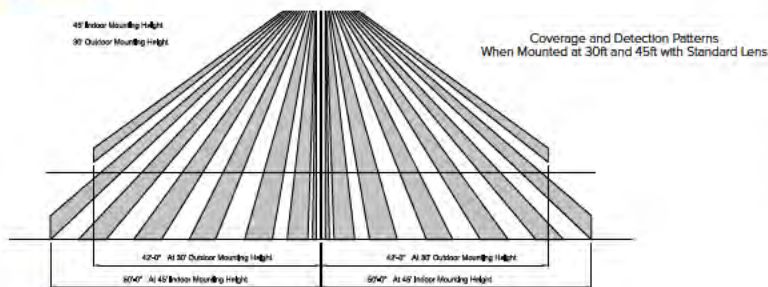
AREA/SITE LIGHTER

## ADDITIONAL INFORMATION (CONT'D)

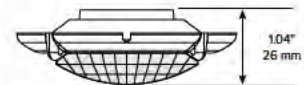
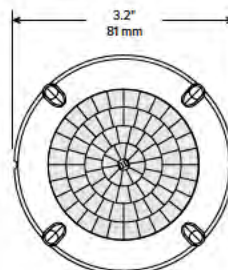
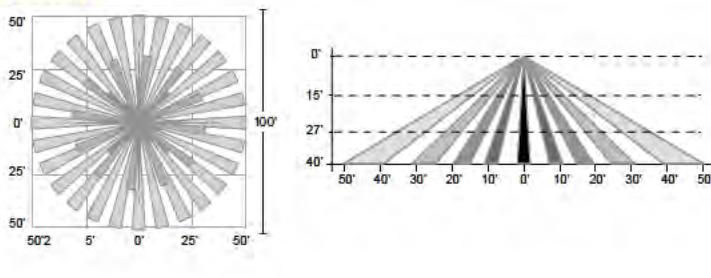
### NXSP-14F



### NXSP-30F



### SCP-40F



### RAR1 EPA

RAR-1	
EPA at 0°	EPA at 30°
.45ft. <sup>2</sup> .13m <sup>2</sup>	.56ft. <sup>2</sup> .17m <sup>2</sup>

### RAR2 EPA

RAR-2	
EPA at 0°	EPA at 30°
.55ft. <sup>2</sup> .17m <sup>2</sup>	1.48ft. <sup>2</sup> .45m <sup>2</sup>

### SHIPPING

Catalog Number	G.W.(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
RAR1	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)
RAR2	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)



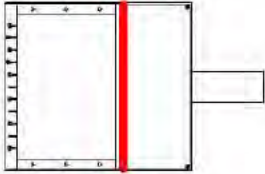
# RATIO SERIES

AREA/SITE LIGHTER

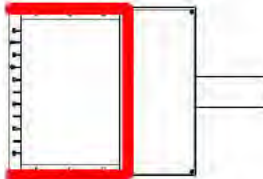
## ADDITIONAL INFORMATION (CONT'D)

### RATIO HOUSE SIDE SHIELD

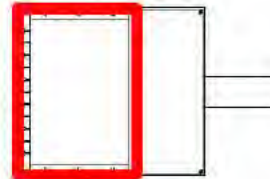
RARx HSS-90-B-xx



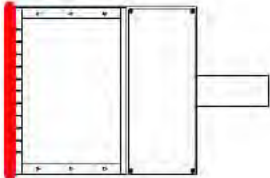
RARx HSS-270-BSS-xx



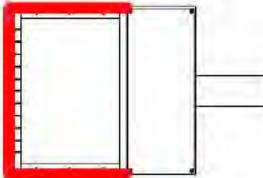
RARx HSS-360-xx



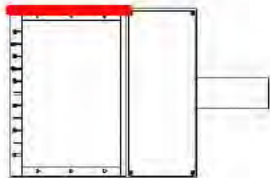
RARx HSS-90-F-xx



RARx HSS-270-FSS-xx



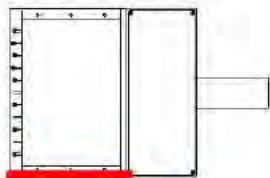
RARx HSS-90-S-xx



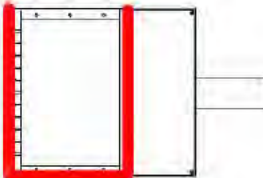
RARx HSS-270-FSB-xx



RARx HSS-90-S-xx



RARx HSS-270-FSB-xx



## USE OF TRADEMARKS AND TRADE NAMES

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# LNC3

MEDIUM LED LITEPAK

## FEATURES

- Litepak LNC3 is a mid-sized wallpack in the popular Litepak series
- The LNC3 features luminaires with TIR optics and four different lumen packages, multiple distributions and CCT for maximum light level and mounting height flexibility
- Capable of replacing up to 250w HID solutions at over 70% energy savings
- Energy efficient LEDs provide 70%+ energy savings with little to no maintenance when compared to traditional light sources
- Typical mounting heights of 8-20"



## CONTROL TECHNOLOGY



## SPECIFICATIONS

### CONSTRUCTION

- Die-cast aluminum housing protects components and provides an architectural appearance
- Casting thermally conducts LED heat to optimize performance and long life
- Powder paint finish provides durability in outdoor environments
- Four 1/2" conduit entries (top, bottom, and sides) provided for surface conduit
- Zero uplight distributions using individual acrylic LED optics provide IES type II, III and IV distributions
- CS - Frosted acrylic diffuser option for reduced glare
- CSU - Frosted acrylic diffuser for inverted "up" mounting applications (lens required)

### OPTICS

- Ambient operating temperature -40°C to 40°C
- 3000K, 4000K and 5000K CCT nominal with 70 CRI
- Available in 4 or 24 LED configuration
- L70 at 60,000 hrs (Projected per IESNA TM-21-11), see table on page 3 for all values

### INSTALLATION

- Quick-mount adapter with gasket seal provides easy installation to wall or to recessed junction box (4" square junction box)

### INSTALLATION (CONTINUED)

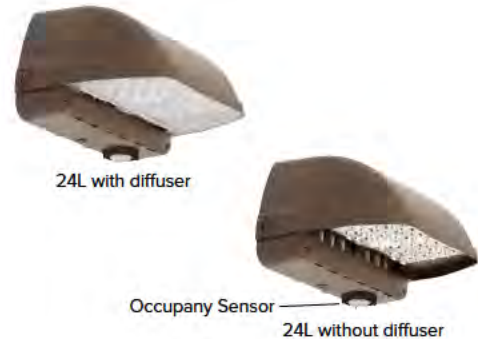
- Fixture attaches by two Allen-head hidden fasteners for tamper resistance
- Designed for direct j-box mount or conduit feed on all four sides in single SKU

### ELECTRICAL

- 120-277, 347 and 480 voltage, 50/60Hz, 0-10V dimming drivers
- Electronic driver
- 10kA surge protection

### CONTROLS

- Button photocontrol for dusk to dawn energy savings
- 7-pin photo-receptacle available for twist lock photocell and controls by others
- Occupancy sensor options available for complete on/off and dimming control
- SiteSync pre-commissioned wireless controls (with or without sensor)
- In addition, LITEPAK can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7
- See ordering information or visit [www.hubbelllighting.com/sitesync](http://www.hubbelllighting.com/sitesync) for more details



## RELATED PRODUCTS

- θ [LNC](#) θ [INC2](#) θ [LNC4](#)

### CERTIFICATIONS

- DLC® DesignLights Consortium Qualified, with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at [www.designlights.org](http://www.designlights.org)
- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- IP65 Assembly
- IDA Approved (3000K configurations)

### WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	2,991-7,603
Wattage Range	28-83
Efficacy Range (LPW)	84-115
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	18.0 (8.2)



# LNC3

MEDIUM LED LITEPAK

## ORDERING GUIDE

Example: LNC3-24L-3K-035-2-U-DBT-PCU

CATALOG #

## ORDERING INFORMATION

Series	# LEDs	CCT/CRI	Drive Current	IES Distribution	Voltage
LNC3 Medium Litepak Wallpak	24L 24LEDs	3K 3000K nominal, 70 CRI 4K 4000K nominal, 70 CRI 5K 5000K nominal, 70 CRI	035 350mA 050 500mA 075 750mA 105 1050mA	2 Type II <sup>1</sup> 3 Type III <sup>1</sup> 4 Type IV <sup>1</sup>	U 120-277V 1 120V <sup>1</sup> 2 208V <sup>1</sup> 3 240V <sup>1</sup> 4 277V <sup>1</sup> 5 480V <sup>1</sup> F 347V <sup>1</sup>

Finish	Control Options	Options	Notes:
BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color	PCU Universal Button Photocontrol 7PR 7pin PCR <sup>6</sup> SCP Programmable occupancy sensor <sup>3,4</sup> SWP SiteSync Pre-Commission <sup>7,10</sup> SWPM SiteSync Pre-commission w/ OCC Sensor <sup>4,7,8,10</sup>	F Fusing (must specify voltage per footnote) CS Frosted acrylic diffuser CSU Inverted/Up mounting frosted acrylic diffuser (required for up/inverted fixture installations, factory install only see page 3) <sup>2</sup> E Integral battery backup rated for 0°C <sup>1,5</sup> EH Integral battery backup with heater rated for -30°C <sup>1,5</sup> 2DR Dual Driver <sup>9</sup>	1 Must specify voltage (120 or 277 only for E & EH) 2 Factory install only. Not available with SCP or SWPM sensor/control options 3 Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, 120-277V only 4 PCU option not applicable, included in sensor (8F = up to 8ft, 20F = up to 20ft) 5 350mA, 500mA & 750mA versions only. Not available with F, SWP or SWPM options 6 Accepts standard 3, 5, and 7-Pin ANSI controls (by others). Not available with PCU, SWP or SWPM control options 7 Must specify group and zone information at time or order. See <a href="http://www.HubbellLighting.com/products/sitesync">www.HubbellLighting.com/products/sitesync</a> for future details 8 Specify time delay; dimming level and mounting height 9 750mA and 1050mA versions only, not available with 347/480V 10 1050mA only, not available with 347V or 480V

## ACCESSORIES AND SERVICES (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> LNC3-CS	Frosted acrylic comfort shield/lens, reduces glare and improves uniformity with only 20% lumen reduction
<input type="checkbox"/> SCP-Remote	Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor
<input type="checkbox"/> SWUSB	SiteSync Interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node <sup>+</sup>
<input type="checkbox"/> SWTAB	Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node <sup>+</sup>
<input type="checkbox"/> SWBRG	SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested
<input type="checkbox"/> SW7PR	SiteSync 7 Pin on fixture module On/Off/Dim, Daylight Sensor 120-480VAC <sup>*</sup>

Notes:

\* When ordering SiteSync at least one of these two interface options must be ordered per project

+ Available as a SiteSync retrofit solution for fixtures with an existing 7pin receptacle

### Hubbell Control Solutions — Accessories (Sold Separately)

#### NX Distributed Intelligence™

☐ NXOFM-1R1D-UNV On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with HubbNET Radio and Bluetooth® Radio, 120-480VAC

#### wiSCAPE® Lighting Control

☐ WIR-RME-L On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with wiSCAPE Radio, 110-480VAC

For additional information related to these accessories please visit [www.hubbellcontrolsolutions.com](http://www.hubbellcontrolsolutions.com). Options provided for use with integrated sensor, please view specification sheet ordering information table for details.



# LNC3

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## CONTROLS

### SiteSync — Precommissioned Ordering Information:

When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit [the SiteSync family page on our website](#) or contact Hubbell Lighting tech support at 800-345-4928.



SiteSync fixtures with Motion control (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: LNC3-24L-4K-075-3-U-BL-SWP

LNC3-24L-4K-075-3-U-BL-SWPM-20F

SiteSync only

SiteSync with Motion Control

### SiteSync 7-Pin Module:

- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)
- Does not interface with occupancy sensors



SW7PR

## PERFORMANCE DATA

# Of LEDs	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW*	B	U	G	Lumens	LPW*	B	U	G	Lumens	LPW*	B	U	G
4	N/A	N/A	E	671	-	-	-	-	657	-	-	-	-	591	-	-	-	-
24	350mA	28	2	3,212	115	1	0	1	3,145	113	1	0	1	2,991	107	1	0	1
			3	3,160	113	1	0	1	3,094	111	1	0	1	2,944	106	1	0	1
			4	3,182	114	1	0	1	3,116	112	1	0	1	2,964	106	1	0	1
	500mA	41	2	4,143	101	1	0	2	4,057	99	1	0	2	3,858	94	1	0	2
			3	4,076	99	1	0	1	3,991	97	1	0	1	3,797	93	1	0	1
			4	4,104	100	1	0	1	4,019	98	1	0	1	3,823	93	1	0	1
	750mA	60	2	5,918	99	1	0	2	5,795	97	1	0	2	5,512	92	1	0	2
			3	5,823	97	1	0	2	5,702	95	1	0	2	5,424	90	1	0	2
			4	5,863	98	1	0	2	5,741	96	1	0	2	5,461	91	1	0	2
	1050mA	83	2	7,630	92	2	0	2	7,472	90	2	0	2	7,107	86	2	0	2
			3	7,508	90	1	0	2	7,352	89	1	0	2	6,993	84	1	0	2
			4	7,559	91	1	0	2	7,402	89	1	0	2	7,041	85	1	0	2

## ELECTRICAL DATA

# OF LEDs	Drive Current (mA)	Input Voltage (V)	Oper. Current (Amps)	System Power (W)
24	350mA	120	0.23	28
		277	0.10	28
		347	0.08	28
		480	0.06	28
	500mA	120	0.34	41
		277	0.15	41
		347	0.12	41
		480	0.09	41
	750mA	120	0.50	60
		277	0.22	60
		347	0.17	60
		480	0.13	60
	1050mA	120	0.69	83
		277	0.30	83
		347	0.24	83
		480	0.17	83

## PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	50,000	TM-21-11* L96 60,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.94	0.93	0.89	>296,000
40°C / 104°F	1.00	0.95	0.91	0.89	0.83	>191,000

\* Projected per IESNA TM-21-11\* (Nichia 219B, 700mA, 85°C Ts, 10,000hrs). Data references the extrapolated performance projections for the LNC-12LU-5K base model in a 40°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.



# LNC3

MEDIUM LED LITEPAK

## LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

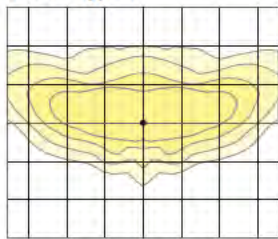
Ambient Temperature		Lumen Multiplier
0° C	32° F	1.02
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	1.00
40° C	104° F	0.99

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

## PHOTOMETRY

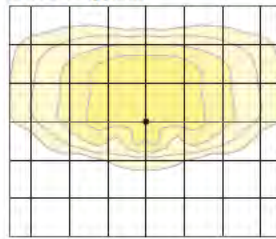
The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).

LNC3 – Type II



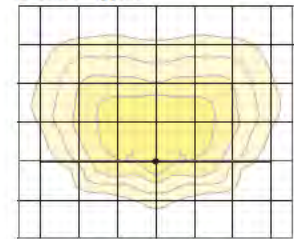
Mounting Height: 15'

LNC3 – Type III



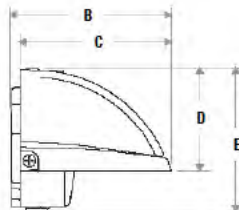
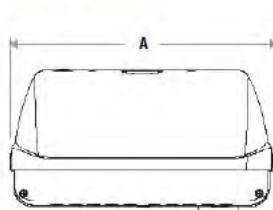
Mounting Height: 15'

LNC3 – Type IV



Mounting Height: 15'

## DIMENSIONS



A	B	C	D	E	Weight
13" (330 mm)	10.5" (267 mm)	9.9" (251 mm)	5.8" (147 mm)	8.3" (211 mm)	25.0 lbs 11.3 kg

## ADDITIONAL INFORMATION

### CSU – INVERTED MOUNTING OPTION



\*Requires Factory Installed Lens Option

Inverted mounting capabilities for uplighting applications. Specially designed frosted acrylic diffuser option softens output, improves uniformity and protects LED lenses.

### SCP – PROGRAMMABLE OCCUPANCY SENSOR



\*Photocontrol and Wireless Controls by Others

Standard NEMA 7-Pin receptacle for twist lock photocell or wireless controls (by others).

### SCP – PROGRAMMABLE OCCUPANCY SENSOR



Sensor offers greater control and energy savings with SCP programmable sensor with adjustable delay and dimming levels (Factory default is 10%)

Visit: <http://www.hubbellighting.com/solutions/controls/> for control application information

## SHIPPING INFORMATION

Catalog Number	G.W(kg)/CTN	Carton Dimensions			Carton Qty. per Master Pack
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)	
LNC3-24LU	18.0 (8.2)	15.8 (40)	11.0 (28)	13.0 (33)	1

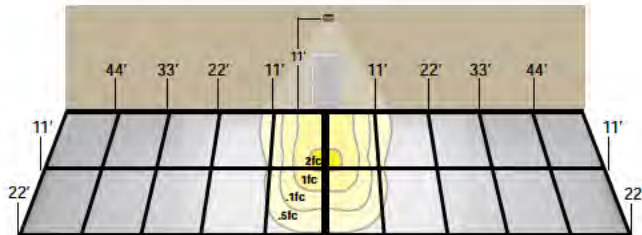


# LNC3

MEDIUM LED LITEPAK

## ADDITIONAL INFORMATION (CONTINUED)

### LNC2 - BATTERY BACK UP



11' Mounting Height

Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions and mounting height of 11'.

Diagrams for illustration purposes only, please consult factory for application layout.

Battery backup units consume 6 watts when charging a dead battery and 2 watts during maintenance charging. EH (units with a heater) consume up to an additional 8 watts when charging if the battery temp is lower than 10°C

### E & EH EMERGENCY BATTERY BACKUP



24 High Power LEDs generate up to 7,500 lumens in Normal Mode, and use 4 LEDs for up to 700 lumens in emergency.

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Attachment 14, Page 1  
**KENDALL COUNTY  
REGIONAL PLANNING COMMISSION**

*Kendall County Office Building  
Rooms 209 and 210  
111 W. Fox Street, Yorkville, Illinois*

**Unapproved - Meeting Minutes of May 25, 2022 - 7:00 p.m.**

Chairman Ashton called the meeting to order at 7:01 p.m.

**ROLL CALL**

**Members Present:** Bill Ashton, Tom Casey, Dave Hamman (arrived at 7:02 p.m.), Karin McCarthy-Lange, Larry Nelson, Ruben Rodriguez, Claire Wilson, and Seth Wormley

**Members Absent:** Bob Stewart

**Staff Present:** Matthew H. Asselmeier, Senior Planner

**Others Present:** Suzanne Casey, Samantha Dippold, Jeremy Dippold, Joe Frescura, Tim O'Brien, Anne Vickery, Robert Delaney, Pat Frescura, Jim Martin, Dave Shively, Tony Guzman, Kim Larkin, and Steve Papaeliou

**APPROVAL OF AGENDA**

Member Rodriguez made a motion, seconded by Member McCarthy-Lange, to approve the agenda. With a voice vote of seven (7) ayes, the motion carried.

**APPROVAL OF MINUTES**

Member Nelson made a motion, seconded by Member Rodriguez, to approve the minutes of the of the April 27, 2022, meeting.

With a voice vote of seven (7) ayes, the motion carried.

Member Hamman arrived at this time 7:02 p.m.

Mr. Asselmeier noted that Member Casey had asked about a property on the south side of Route 52 east of Arbeiter Road at the April Planning Commission meeting. Mr. Asselmeier said that four (4) agricultural accessory building permits and a driveway permit have been issued at that property. The owner comes out to the property on weekends to work on the property.

**Petition 22-01 Jose and Silvia Martinez**

Mr. Asselmeier provided several emails related to this Petition. The Petitioners' Attorney requested the proposal be continued to June. Without objection, the proposal was continued as requested.

**Petition 22-10 Mark Fecht on Behalf of Fecht Brothers, Inc. (Property Owner) and Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC (Contract Purchaser)**

Mr. Asselmeier summarized the request.

Best Budget Tree, LLC would like to purchase the subject property from Fecht Brothers Inc. in order to operate a tree and landscaping business at the property.

Best Budget Tree, LLC has been in existence for over ten (10) years.



The application materials, site plan, landscaping plan, stormwater plans, and renderings of the proposed building were provided.

The property is on the north side of Route 52 across from 2190 and 2200 Route 52.

The property is approximately forty-eight (48) acres in size.

The property is zoned A-1 Agricultural.

The County's Future Land Use Map calls for the property to be Rural Residential (Max 0.65 Du/Acre). Shorewood's Future Land Use Map calls for the property to be Residential and Commercial.

Route 52 is a State maintained Arterial road.

Joliet has a trail planned along Route 52, but Joliet does not want a right-of-way dedication at this time; an email to that effect was provided.

There are no floodplains on the property. There is a wetland near the northwest corner of the property.

The adjacent land uses are Agricultural and Single-Family Residential.

The adjacent properties are zoned A-1 and R-3.

The County's Future Land Use Map calls for the area to be Commercial, Rural Residential, and Suburban Residential. Joliet's Future Land Use Map calls for the area to be Residential. Shorewood's Future Land Use Map calls for the area to be Residential and Commercial.

The nearby properties are zoned A-1, A-1 SU, and R-1, and R-3.

The A-1 special use permit to the west is for the sale of agricultural products not grown on the premises.

EcoCAT Report was submitted on April 15, 2022, and indicated the following protected resources:

Aux Sable Creek INAI Site

Greater Redhorse (*Moxostoma valenciennesi*)

The Illinois Department of Conservation determined that negative impacts were unlikely and consultation was terminated on April 18, 2022.

The application for NRI was submitted April 21, 2022. The LESA Score was 210 indicating a medium level of protection. The NRI Report was provided.

Petition information was sent to Seward Township on April 25, 2022. The Seward Township Planning Commission reviewed the proposal in May 2022. They expressed concerns about the location of lighting with respect to the adjacent homes. The Seward Township Planning Commission recommended approval of the request. An email to that effect was provided.

Petition information was sent to the Village of Shorewood on April 25, 2022. On May 4, 2022, the Village of Shorewood submitted an email saying they did not want to request a right-of-way dedication for a biking/walking trail. This email was provided.

Petition information was sent to the Minooka Fire Protection District on April 25, 2022. On May 5 and 6, 2022, the Minooka Fire Protection District submitted a letter and email requesting a fire alarm system that meets



applicable codes, no smoking signs near the mulch pile, a dry fire hydrant, and signage properly marking the address of the property. The letter and email were provided. The Petitioners were agreeable to this request.

The Kendall County ZPAC reviewed this Petition at their meeting on May 3, 2022. Mr. Klaas asked if the six inch (6") pipe shown on the plans went to Route 52. John Tebrugge, Petitioners' Engineer, said the pipe goes almost to Route 52. The Petitioners had not received final access approval from the Illinois Department of Transportation; they will not get final approval until they (the Dippolds) own the property. The Petitioners understood that any buildings constructed on the property would not be eligible for agricultural building permit exemptions. Based on the information provided, the well would not be a non-community well. The Petitioners were advised to design the septic system for maximum load. The Petitioners were advised to identify on the site plan where lights would be placed. The Petitioners had no plans to use the access off of Arbeiter Road. The land comes with building allocations. ZPAC recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with four (4) members absent. The minutes were provided.

Per Section 7:01.D.30 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least seventy-three thousand, two hundred eighty pounds (73,280 lbs.), unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.
3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials, the above conditions have been met.

According to the business plan, the business currently operates two (2) four (4) employee crews in April through October and one (1) four (4) employee crew in November through March. The Petitioners plan to hire four (4) additional employees, if business increases. Employees arrive at the property at approximately 7:30 a.m., go to work sites, and return to the property between 3:30 p.m. and 4:00 p.m. Employees unload equipment and materials and leave between 4:30 p.m. and 5:00 p.m. The business operates on Monday through Fridays with an occasional Saturday.

Business equipment presently consists of two (2) bucket trucks, two (2) wood chippers, two (2) one (1) ton pickup trucks, two (2) utility trailers, two (2) spare pick-up trucks, and one (1) wheel leader tractor. When not in operation, the Petitioners plan to house vehicles and equipment inside the proposed approximately nine thousand six hundred (9,600) square foot building. Mulch and firewood piles would be placed on the gravel area as shown on the site plan and landscaping plan and would be piled a maximum twelve feet (12') in height. The Petitioners do not plan to store stone, brick, or rock at the property. Per the site plan, the gravel area is approximately ten point five (10.5) acres in size. If there is a motor vehicle or equipment related leak, the impacted gravel will be removed and replaced with clean gravel.

No retail services will be available at the property and retail customers will not be invited onto the property.



If approved, the Petitioners plan to start operations as quickly as possible.

One (1) approximately nine thousand six hundred (9,600) square foot building is proposed for the site in the location depicted on the site plan and landscaping plan. The building will look substantially like the provided rendering. The walls will be approximately sixteen feet (16') feet tall and the doors will be fourteen feet (14') in height. The peak of the building will be a maximum twenty-four feet (24').

Any structures related to the landscaping business would be required to obtain applicable building permits.

No well or septic system presently exists on the property. No other utilities are located on the property.

One (1) ten foot by ten foot (10' X 10') dumpster enclosure was shown on the site plan and landscaping plan east of the vehicle parking area.

The property drains to the south.

There is one (1) wetland located near the northwest corner of the property.

The site plan and landscaping plan show a proposed seventy-three thousand, nine hundred eighty-four (73,984) square foot wet bottom pond. At the deepest point, the pond will be sixteen feet (16') deep. The stormwater plan information was provided.

WBK Engineering submitted comments on the proposal. This letter was provided. These comments will have to be addressed prior to the issuance of a stormwater management permit.

Per the site plan and landscaping plan, the Petitioners plan to install one (1) thirty foot (30') wide gravel driveway. The driveway will be approximately forty-eight feet (48') from the western property line.

According to site plan and landscaping plan, the Petitioners plan to install two (2) parking areas. One (1) parking area is planned south of the building and the other parking area is planned west of the building. The total number of parking spaces is twenty-one (21) including one (1) handicapped accessible parking space.

Three (3) pipeline easements exist on the property.

No existing lighting is located on the property.

At the time of the ZPAC meeting and Seward Township Planning Commission meeting, the Petitioners had not submitted a lighting plan. The lighting plan shows one (1) free standing light near the south parking lot and six (6) lights on the building. Based on the photometrics provided, no light would cross the property lines. The lighting plan was provided.

Per Section 11:02.F.12.e, of the Kendall County Zoning Ordinance, the maximum height for the freestanding light is twenty feet (20').

According to the site plan and landscaping plan, one (1) non-illuminated sign is proposed between the gravel driveway and the western property line. No information was provided regarding sign dimensions or height. Per Section 12:08.A. of the Kendall County Zoning Ordinance, the total maximum allowable signage is thirty-two (32) square feet of gross surface area.

No security information was provided.



The landscaping plan shows one hundred fifty (150) white pines along the perimeter of the property. The white pines will be three (3') feet at the time of planting and will grow to between fifty feet (50') and eighty feet (80'). Ten (10) deciduous trees are planned along the perimeter of the pond. The trees will be one and one half inches (1.5") at the time of planting. The landscaping plan also calls for a seed mix of Kentucky blue grass and turf type perennial grass around the pond and along the gravel driveway. Vegetation will be installed after the gravel and pond are installed.

The portion of the property not used for storage, building, driveway, or the pond will remain farmed. Most of the property will be farmed in 2022, which will delay the installation of the landscaping until 2023.

No information was provided regarding noise control.

No new odors are foreseen by the proposed use.

If approved, this would be the nineteenth (19<sup>th</sup>) special use permit for a landscaping business in unincorporated Kendall County.

The proposed Findings of Fact were as follows:

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Provided the site is developed in accordance with the submitted site plan and landscaping plan, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. Conditions may be placed in the special use permit ordinance to address hours of operation.

That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, lighting, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. If a stormwater management permit is issued based on the submitted materials, drainage should not be an issue. If the Illinois Department of Transportation approves the access, ingress and egress should not be an issue. Utilities will need to be extended and/or installed on the property.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true. No variances are required.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective



found on Page 9-21 of the Kendall County Land Resource Management Plan which calls for “a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents”. Also, the Kendall County Future Land Use Map and the Village of Shorewood’s Future Land Use Map call for commercial uses near the intersection of Route 52 and Arbeiter Road.

Staff recommended approval of the special use permit for a landscaping business subject to the following conditions and restrictions:

1. The site shall be developed substantially in accordance with the submitted site plan, landscaping plan, and lighting plan (**amended after ZPAC**).
2. The gravel area shown on the submitted site plan and landscaping plan shall not exceed ten point five (10.5) acres in size. The owners of the business allowed by this special use permit may reduce the amount of acreage covered by gravel.
3. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
4. One (1) approximately nine thousand six hundred (9,600) square foot building may be installed on the subject property in substantially the location shown on the site plan. The building shall look substantially like the building depicted in the submitted rendering. The maximum height of the building shall be twenty-four feet (24’).
5. Any new structures constructed or installed related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
6. No business operations may commence at the subject property until an occupancy permit is issued for the building shown on the submitted site plan. No business operations may commence at the subject property until the parking stalls, dumpster enclosure, and wet bottom pond shown on the submitted site plan are installed. Business operations may commence at the subject property prior to the installation of vegetation shown on the submitted landscaping plan.
7. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property during the hours the business is open and shall be stored indoors during non-business hours.
8. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
9. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
10. All landscape related materials shall be stored indoors or on the gravel area depicted on the site plan. The maximum height of the piles of landscaping related material shall be twelve feet (12’) in height, unless otherwise restricted by a stormwater management permit. Stone, brick, and rock shall not be stored outdoors.
11. The size and depth of the wet bottom pond shall be governed by the stormwater management permit issued for the subject property.



12. One (1) two (2) sided non-illuminated sign may be installed on the location depicted on the submitted site plan.
13. At least two (2) no smoking signs shall be installed near the piles of landscaping related materials. **(added after ZPAC)**
14. One hundred fifty (150) white pines shall be installed in substantially the locations shown on the submitted landscaping plan. The white pines shall be a minimum of three feet (3') in height at the time of planting. The white pines shall be installed by June 30, 2023. Damaged or dead white pines shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the white pines.
15. Ten (10) deciduous trees shall be installed in substantially the locations shown on the submitted landscaping plan. The deciduous trees shall be a minimum one point five inches (1.5") in diameter at the time of planting. The deciduous trees shall be installed by June 30, 2023. Damaged or dead deciduous trees shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the deciduous trees.
16. The seed mix called for in the submitted landscaping plan shall be installed by June 30, 2023. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the seed mix.
17. No landscape waste generated off the property can be burned on the subject property.
18. A maximum of twenty (20) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work. No employees shall engage in the sale of landscaping related materials on the property.
19. No retail customers of the business allowed by this special use permit shall be invited onto the property by anyone associated with the use allowed by this special use permit.
20. The hours of operation of the business allowed by this special use permit shall be Monday through Saturday from 7:30 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
21. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.



**EXEMPTION: Powered Equipment:** Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

22. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
23. One dry hydrant shall be placed on the property **(added after ZPAC)**.
24. The maximum height of the light pole shown in the lighting plan shall be twenty feet (20') **(added after ZPAC)**.
25. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
26. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
27. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
28. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
29. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

Chairman Ashton asked if the Minooka Fire Protection District wanted just an alarm system or if the request was to have the building sprinklered. Mr. Asselmeier responded just an alarm system.

Member Wilson asked how the Petitioners were going to manage the mulch pile and if mulch would be sold. Jeremy Dippold, Petitioner, said the mulch would be installed on off-site locations. They would have several small piles. The maximum height of the mulch piles would be twelve feet (12') because of the company's equipment.

Member Casey asked where the business was currently located. Mr. Dippold responded Renwick Road and Interstate 55. Mr. Dippold said the proposed location would look better than the existing location because no inside storage exists at their current location.

Mr. Dippold wanted the business setback from the neighbors and Route 52.

Member Casey asked about possible expansion. Mr. Asselmeier said, if the Petitioners expanded into the farmland beyond the area identified on the site plan, an amendment to the special use permit would be required.

Discussion occurred regarding the access point off of Arbeiter Road. The access would remain to allow a farmer to get their equipment into the field. Based on the plans, it appeared difficult for a farmer to get equipment to north portion of the property using the access off of Route 52. Equipment could be driven through the parking lot. The current owner would continue to farm the property after the Dippolds acquire the property.



Joe Frescura requested that the proposal be denied for the following reasons:

1. The business has no noise control plan; wood chippers would exceed the noise requirements in the proposed special use permit. He provided pictures of the height of mulch piles at the business' current location. The trees proposed on the site plan will not reach full height for ten (10) years and will not provide a full noise buffer until that time.
2. The dyed mulch will jeopardize local wells, waterways, and wetlands.
3. Inclusion of access to Arbeiter Road; he would like to see the access point removed. He also discussed burning at other landscaping businesses.
4. There are several containers at the Petitioners' current operating location. He was concerned about the placement of the containers turning the area into an industrial park and cause a decrease in property values in the area.
5. He noted that five (5) landscaping business have special use permits in Seward Township. These existing special uses are not located near homes like the proposed special use.
6. He expressed concerns regarding the soils to support a septic system.
7. He expressed concerns regarding burning on the property and the possible inter-mingling of onsite and offsite generated materials in a burn pile.
8. He noted that the LESA Score was 210. He argued the property should be retained for farming.

Mr. Dippold said chippers would not be used onsite; they would be at customers' homes. He explained the mulch dyeing process; the dyed mulch is not hazardous. He did not want burning on the property. He has three (3) containers which are used for storage; the containers would be replaced with the building. He was agreeable to a condition not allowing shipping containers on the property. He did not anticipate operating at the site until July 2023. He has no interest in using Arbeiter Road to access the property for the business.

The wet bottom pond is for stormwater only.

Member Rodriguez asked about having stone holding areas. Mr. Dippold explained why he did not want holding areas.

Anne Vickery noted this proposal would be the sixth (6<sup>th</sup>) landscaping special use in Seward Township. She asked if anyone on the Board would like to live next to this type of use. She also noted that the property was planned to be residential. She asked who would enforce the regulations; she noted the burning at another landscaping business.

Member Nelson expressed concerns about restricting containers in relation to agricultural uses.

Robert Delaney said the area was a residential area and should remain a residential area. He questioned the need to have a large amount of acreage used for the proposed use.

Pat Frescura said that she has lived in the area for over fifty (50) years. She noted the time, investment, and pride in her property. She was against having the proposed use near her property. She wanted to keep the land as farmland. She said that she was unaware of the Seward Township Planning Commission's meeting.

Jim Martin, Seward Township Trustee, said the Seward Township Planning Commission did not forward a recommendation to the Township Board. The Township Board did not vote on this proposal.

Tim O'Brien, Seward Township Supervisor, said the Seward Township Planning Commission did not forward a recommendation to the Township Board.

Commissioners reviewed the Future Land Use Map for the area. Discussion also occurred regarding the KCRPC Meeting Minutes 05.25.22



number of houses that could be placed on the property. The estimate was forty (40) houses could be placed on the property with access for the subdivision from both Route 52 and Arbeiter Road. It was noted that the proposal would preserve agricultural uses on the majority of the property.

Dave Shively asked what A-1 meant. A-1 means agricultural. He discussed the repaving of Arbeiter Road. He asked about enforcement of burning regulations. Mr. Asselmeier explained that burning items brought onto the property was against State law. Mr. Shively favored keeping the property in farming. He favored a housing development instead of the proposed use. Member Wilson favored having the proposal over houses.

It was noted that a house exists between Pat Frescura's property and the proposed use.

Tony Guzman said that he bought his property because it was a residential area. He would like to see the property become a park. He likes the wildlife in the area. He felt the use was an industrial use.

Mr. Dippold asked if his proposal was any different than a farmer building grain bins with related noise and odors.

Logs are cut on the customers' properties and stored on the property. Mr. Dippold sells the logs.

Mr. Dippold noted that he was pursuing the zoning on the property the correct way.

Kim Larkin said that she did not want to look at this use in her backyard. She said that mulch has an odor. Discussion occurred regarding the smell of mulch. She expressed concerns about diminished property values.

Steve Papaeliou expressed his opposition to the containers on the property. He also said that the farmer damaged his fence. Chairman Ashton questioned the connection to Mr. Fecht's actions and the proposal.

Mr. O'Brien requested the proposal be tabled proposal and sent back to Seward Township. Member Wilson wanted to know the opinion of the Township Board. Member Nelson noted the Petitioners followed the proper procedures to get to this point. Mr. Dippold opposed tabling the proposal because Mr. Fecht wants to close on the property quickly.

Member Nelson did not see much of a difference between the proposal and farming uses.

Member Wormley noted that a subdivision could be placed on the property at some point in the future, even if the special use permit was approved. He thought the proposal was a good proposal compared to other uses that could go on the property.

Member Hamman made a motion, seconded by Member Wormley, to approve the requested special use permit.

Member Wilson made a motion, seconded by Member Nelson, to add a condition stating that no storage containers would be allowed onsite. The Petitioners had no objections to the amendment. Members Hamman and Wormley had no objections to the amendment.

It was noted that the residents in the area do not favor the proposal.

Member Wilson noted the issues related to the Seward Township Board and lack of transparency in Seward Township.

The Seward Township Board may have a special meeting on this proposal prior to the May 31<sup>st</sup> zoning hearing.



The votes on the amendment were as follows:

Ayes (7): Ashton, Hamman, McCarthy-Lange, Nelson, Rodriguez, Wilson, and Wormley  
Nays (1): Casey  
Absent (1): Stewart  
Abstain (0): None

The motion carried.

The votes on the original motion as amended were as follows:

Ayes (7): Ashton, Hamman, McCarthy-Lange, Nelson, Rodriguez, Wilson, and Wormley  
Nays (1): Casey  
Absent (1): Stewart  
Abstain (0): None

The motion carried.

The proposal will go to the Kendall County Zoning Board of Appeals on May 31, 2022.

**CITIZENS TO BE HEARD/PUBLIC COMMENT**

None

**NEW BUSINESS**

**Recommendation on a Proposal from Teska Associates, Inc. to Update the Kendall County Land Resource Management Plan in Its Entirety**

Commissioners reviewed the proposal and it was noted that the Comprehensive Land Plan and Ordinance Committee recommended approval of the proposal.

Member Nelson discussed the law governing review and approval of special use permits. Discussion occurred regarding the court ordering special use permits and the potential issuance of special use permits without conditions.

Member Wilson requested clarification on the clusters. The clusters would be the eastern three (3) townships combined, the middle three (3) townships combined, and the final cluster would be the western three (3) townships combined. The Commission favored starting with the eastern three (3) townships.

Suzanne Casey offered to give materials from her work on the Seward Township Plan to Teska.

Member Nelson made a motion, seconded by Member Wormley, to recommend approval of the proposal to the County Board.

The votes were as follows:

Ayes (8): Ashton, Casey, Hamman, McCarthy-Lange, Nelson, Rodriguez, Wilson, and Wormley  
Nays (0): None  
Absent (1): Stewart  
Abstain (0): None

The motion carried.

The County Board will be notified of the recommendation.



**Discussion of Oswego Township Junk and Debris Ordinance and Recreational Vehicle and Trailer Parking Ordinance**

Commissioners reviewed the ordinances.

Member Nelson had concerns regarding a lack of agricultural exemptions.

**OLD BUSINESS**

None

**REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD**

Mr. Asselmeier reported that Petition 22-09 was approved by the County Board.

**OTHER BUSINESS/ANNOUNCEMENTS**

Mr. Asselmeier reported that the special use permit at 1038 Harvey Road, text amendment to the lighting rules for telecommunication tower facilities and a special use permit for a Lisbon Township garage on Route 47 will be on the Commission's June agenda.

**ADJOURNMENT**

Member McCarthy-Lange made a motion, seconded by Member Wilson, to adjourn. With a voice of eight (8) ayes, the motion carried.

The Kendall County Regional Planning Commission meeting adjourned at 9:08 p.m.

Respectfully submitted by,  
Matthew H. Asselmeier, AICP, CFM  
Senior Planner

Enc.



**KENDALL COUNTY  
REGIONAL PLANNING COMMISSION**

**MAY 25, 2022**

*STEVE PAPAELIO*

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE  
MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR  
ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
<i>Jim Buin</i>		
<i>Joe FRESCURA</i>		
<i>Jeremy Dippold</i>		
<i>Ann Vachy</i>		
<i>Robert J. J.</i>		
<i>Pat Froscur</i>		
<i>Jim Martin</i>		
<i>DAVE SILVERNY</i>		

*TONY Gorman*  
*Kim Carlin*





March 21, 2022

Matt Asselmeier, Senior Planner  
Kendall County  
111 West Fox Street  
Yorkville, IL 60560-1498

**RE: Scope and Budget for LRMP Update – 3 Townships per Year**

Dear Matt:

Good talking with you last week about updating the Kendall County Land Resource Management Plan (LRMP). The following scope, budget and timeline should be helpful in planning for this major update. In the scope below I have made some assumptions, all of which will obviously impact the final cost. Assumptions include:

- Working from the existing plan rather than starting from scratch. This includes the County providing Teska with updated GIS files where available.
- Creating a project web site to assist in gaining community input throughout the County. The web site would host surveys, provide contact information, contain draft materials, and generally provide an opportunity for the public to participate throughout the planning effort.
- Dividing the County up into 3 sections for detailed planning efforts, each with 3 townships. We could do this either in an east/west or north/south fashion. In the past we focused more on north/south groupings, but I would like to consider more of an east/middle/west grouping (Oswego, Na-Au-Say, Seward as the east group and so on). This would relate to the County's primary business corridors, with Ridge to the east, Route 47 in the middle, and Eldamain to the west. *We have assumed that we would do 3 townships per year, and conduct the overall LRMP update over 3 years.*
- Consolidating demographics and trends. Rather than as they are now in each subarea (3 township section), have one section on demographics up-front that can be used throughout the plan. It is our understanding that County staff has already begun this process, and it is not included in our scope.
- Utilizing a committee to work through the details of the plan – this could be the old Ad Hoc committee, or some other group formed to guide the planning effort. The full Regional Planning Commission (RPC) should also be heavily involved throughout the effort, but I think a smaller working group will be helpful in keeping things on track while allowing the RPC to handle their normal case load.



- Efforts to keep the County Board, through the Planning, Building and Zoning Committee, updated throughout the process

## Project Scope

### 1. Kick-off Meeting

This meeting with the Regional Planning Commission will review the existing LRMP structure, overall project timeline and approach, and existing county-wide conditions (development trends, demographics, etc.).

### 2. Community Engagement

This task will focus on obtaining input from County residents and businesses through creation of an interactive web site, surveys, and development of materials for in-person meetings. It will also involve the use of social media (Facebook, Twitter, etc.) to maximize input from all areas of the County. Regarding budget, this task line only includes creation of the initial project web site. All other engagement efforts are included within the township clusters and overall plan adoption (Tasks 4-7 below)

### 3. Review and Update Countywide Policy Framework, Goals & Objectives, Policies

Sections 1 through 5 of the Existing LRMP focus on countywide policies, goals, and objectives. This task will review those existing plan components, working closely with both the Steering Committee and the RPC to refine, focus and clarify the Counties overall vision for future growth and development.

### 4. Township Cluster 1 Plan

This effort will develop a detailed Future Land Use and Transportation plan for 3 of the Counties Townships following this approach:

- Where We Are – A closer look at existing development patterns, trends, and existing plans with the 3 townships.
- Vision – Development of an overall vision for future development. This vision will largely be driven by a workshop held in one of the three clustered townships and refined through work with the Steering Committee.
- Plan – Development of a detailed future land use and transportation plan for the three townships. This plan will be reviewed at a workshop held within one of the subarea townships and refined with the Steering Committee and RPC.
- Engagement – This will include an interactive project web site, with distinct tabs for each cluster, on-line surveys and polls, and on-line mapping tool, one workshop in each township, and steering committee (Ad-Hoc), RPC, PBZ, and County Board meetings as noted in the timeline.

### 5. Township Cluster 2 Plan

Same processes as in Task 4 above, for the middle three townships.



## 6. Township Cluster 3 Plan

Same processes as in Task 4 above, for the three remaining townships.

## 7. Overall Plan Refinement and Adoption

This task will involve pulling all the pieces of the plan together into a complete LRMP, including an executive summary and a section on implementation. This task will also take the draft plan through a process of review, public hearing, revision, and ultimately approval by the County Board.

### Timeline and Budget

We have assumed completing one set of 3 townships per year, plus some initial work on the overall plan in year 1 and work to wrap it into a complete plan with summary in year 3. The table below provides a cost summary per year, with an overall cost of \$150,315. As I am sure you will notice, this total is about \$25,000 less than our earlier estimate. This assumes that County staff will assist with demographics, some GIS work like existing land use, and coordinate meeting locations. We have also assumed less time to review the overall LRMP goals and objectives and inclusion of a reduced contingency into each task. The timeline, and draft budget, are included in the attached spreadsheet.

	Year 1	Year 2	Year 3	Total
Tasks 1-4	\$ 53,665			
Task 5		\$ 40,025		
Task 6-7			\$ 56,625	
Total				\$ 150,315

There are obviously a lot of variables and options available to update the LRMP, and I would be happy to discuss these in more detail with you. Hopefully, this information will be helpful in budgeting and planning for the effort. Feel free to give me a call or shoot me an e-mail anytime.

Sincerely,



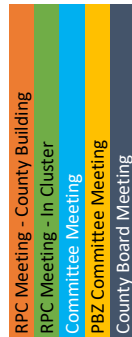
Mike Hoffman, AICP, PLA  
Vice President



# KENDALL COUNTY LRMP UPDATE TIMELINE

TASK	MONTH											
	1	2	3	4	5	6	7	8	9	10	11	12
1. Kick-off Meeting with RPC - Review LRMP structure, updated Countywide demographics		RPC										
2. Engagement (web site, survey, meeting materials)												
3. Review and Update Countywide Policy Framework, Goals & Objectives, Policies					RPC	PBZ						
4. Township Cluster 1 Plan												
5. Township Cluster 2 Plan												
6. Township Cluster 3 Plan												
7. Overall Plan Refinement and Adoption												

Notes: Each Township cluster would contain 3 townships - either divided east/west or north/south





**OSWEGO TOWNSHIP  
KENDALL COUNTY, ILLINOIS**

**ORDINANCE No. 2022-05**

**AN ORDINANCE ADOPTING GARBAGE DUMPING RESTRICTIONS WITHIN  
OSWEGO TOWNSHIP, KENDALL COUNTY, ILLINOIS**

**ANNUAL TOWN MEETING OF ELECTORS  
April 12, 2022**



**ORDINANCE NO. 2022-05**

**AN ORDINANCE ADOPTING GARBAGE DUMPING RESTRICTIONS WITHIN  
OSWEGO TOWNSHIP, KENDALL COUNTY, ILLINOIS**

**WHEREAS**, Oswego Township is a unit of local government operating under the laws of the State of Illinois (“Township”); and

**WHEREAS**, Section 30-120 of the Illinois Township Code, 60 ILCS 1/30-120, authorizes the electors of Oswego Township to adopt ordinances preventing the deposit of night soil, garbage or other offensive substances within the limits of Oswego Township; and

**WHEREAS**, the Highway Commissioner of Oswego Township has general charge of the roads and maintenance thereof within the Oswego Township Road District as provided by Section 6-201.8 of the Illinois Highway Code, 605 ILCS 5/6-201.8, and

**WHEREAS**, the Township, by its electors, hereby finds that the proper preservation and maintenance of Oswego Township Road District roads, streets, alleys, highways and rights-of-way (cumulatively, “Roads”) requires that they be kept free and clear of any and all obstructions, including garbage, offal, fecal matter, night soil, junk, trash, refuse, rubbish, debris, discarded personal property, manure (except the normal storage on a farm of manure for agricultural purposes), garbage cans, receptacles, storage containers, or other offensive substances upon public or private property (cumulatively, “Garbage”), or to permit such objects to remain upon such property, within the Township or upon Roads within the Township; and

**WHEREAS**, the Township, by its electors, hereby finds and determines that the regulation of the aforesaid Garbage on Township Roads is necessary in order to provide for the safety of those motorists and pedestrians using such Roads, and that the prohibition of depositing Garbage within the Township, excepting refuse disposal facilities regulated by the Illinois Department of Public Health and Kendall County, is in the best interests of the public health,



safety and welfare; and

**NOW, THEREFORE, BE IT ORDAINED** by the electors of Oswego Township, Kendall County, Illinois (the “Electors”) at their annual meeting held on April 12, 2022, as follows:

**Section 1. Definitions.** For the purpose of this Ordinance, the following terms shall have the meanings set forth hereinbelow:

- A. Without limiting the generality of this Ordinance, “Garbage” shall mean any and all waste matter, whether reusable or not, which is offensive to the public health, safety and welfare and is specifically intended to include, without limitation, household waste, offal, fecal matter, night soil, junk, trash, refuse, rubbish, debris, discarded personal property, manure (except the normal storage on a farm of manure for agricultural purposes), abandoned or unsecured garbage cans, receptacles, storage containers, discarded furniture, lawn furniture, appliances, household fixtures, countertops, vanities, toilets, sinks, motor vehicle parts, machinery of any kind or parts thereof, metal drums or other containers, construction debris, rubbish, ashes, unnatural accumulations of dirt, paper, raw garbage, abandoned or inoperable vehicles, noxious or offensive waste, or any other offensive substances upon public or private property or Roads.
- B. “Roads” shall mean Oswego Township Road District roads, streets, alleys, highways and rights-of-way.

**Section 2. Prohibition on Depositing Garbage on Township Roads.**

No person shall place, put, maintain or allow the placement of Garbage on Roads or other



property belonging to, or located upon, any property belonging to or under the jurisdiction of the Oswego Township Road District.

**Section 3. Prohibition on Depositing Garbage Within the Township.**

- A. No person shall deposit, allow to be deposited, or permit Garbage to accumulate or remain on public or private property within Oswego Township.
- B. No person shall place household Garbage in any outside container so that the Garbage is accessible to animals.
- C. No person shall deposit, allow to be deposited or permit outdoor storage of lumber or other building materials, construction vehicles, or construction equipment, not in connection with a permitted, ongoing building project in progress on the immediate premises.
- D. It shall not be a violation of this Section 3 to deposit Garbage in sealed containers in locations and at times authorized by a unit of local government, or when acting under the direction of public officials during specially designated cleanup days.
- E. Each day on which the Garbage remains in violation of this Ordinance following the Removal Deadline, as set forth below, shall be considered a separate and distinct violation.

**Section 4. Enforcement.**

- A. The Highway Commissioner and Oswego Township Ordinance Enforcement Officer are authorized to enforce this Ordinance.
- B. When Garbage, building materials, or other offensive matter are deposited or permitted to remain in a location in violation of this Ordinance, the Highway



Commissioner or Oswego Township Ordinance Enforcement Officer shall issue a notice to abate to the owner of the real property associated with the violation, by (i) conspicuously posting such notice to abate on the front door of the property and (ii) by mailing a copy of such notice to abate via certified mail, return receipt requested, to the owner of the property at the address to which the most recent property tax bill was sent. The notice to abate shall specify the nature and location of the offense, a statement of acts necessary to abate the violation, and a date certain no more than seven (7) days from the date of issuance of the notice to abate ("Removal Deadline") to remove or otherwise properly dispose of the Garbage or other offending materials or substances. The notice to abate shall inform the owner, lessee, and/or occupants that failure to timely abate the violation by the Removal Deadline will result in the issuance of a subsequent notice(s) of violation imposing fines for each day on which the Garbage remains following the Removal Deadline and may also provide that the Township may seek injunctive relief providing for the removal of the Garbage at the owner's expense.

- C. Notices of violation shall be served in the same manner provided hereinabove for the notice to abate and shall specify the date, time and nature and location of the offense and shall serve as a summons and complaint to appear in the Kendall County Circuit Court in accordance with the procedures set forth in 60 ILCS 1/100-10(d-5).
- D. When the Highway Commissioner or Ordinance Enforcement Officer finds Garbage obstructing the Roads or a public sidewalk, or a driveway entrance to any property, or in any other manner creates a dangerous or unsafe condition such that removal without delay is reasonably necessary to protect public health and safety, then such



Garbage violation may be summarily abated by the Highway Commissioner or Ordinance Enforcement Officer and a violation notice shall be issued without first issuing a notice to abate. The Township may seek judgment against the owner, lessee, or occupant of the property (whomever is found liable for a violation of this Ordinance) for its removal costs, in addition to any other penalties imposed by this Ordinance.

- E. In any prosecution of a charge for violation of this Ordinance, proof that the particular Garbage described in the notice of violation or complaint, together with proof that the defendant named in the complaint was at the time of such violation the lawful owner of said property, shall constitute prima facie evidence that the lawful owner of such property was the person who placed such Garbage at the point where, and for the time during which such violation occurred.

**Section 5. Penalty.** Any person convicted of a violation of this Ordinance shall be punishable by a fine of up to \$500. Fines shall be established and enforced by Kendall County Circuit Court pursuant to section 60 ILCS 1/100-10(d-5)(1). Upon a finding of liability, Oswego Township may seek court and associated legal fees.

**Section 6. Implementation.** The Electors hereby authorize and direct the Oswego Township Board of Trustees, the Oswego Township Supervisor, Clerk, Highway Commissioner, Ordinance Enforcement Officer, and Attorney to take any and all actions necessary to inform the public about the restrictions imposed by this Ordinance and to enforce the provisions of this Ordinance consistent with the terms set forth herein.



**Section 7. Savings Clause.** If any section, paragraph, clause, or provision of this resolution shall be held invalid, the validity thereof shall not affect any of the other provisions of this resolution.

**Section 8. Resolution of Conflicts.** All resolutions in conflict herewith are hereby repealed to the extent of such conflict.

**Section 9. Effective Date.** This Ordinance shall be in full force and effect from after its passage, publication and approval as provided by law.

ADOPTED by a <sup>unanimous</sup> vote of \_\_\_\_\_ to \_\_\_\_\_ by the electors of Oswego Township on April 12, 2022.

APPROVED this 12<sup>th</sup> day of April, 2022.

**OSWEGO TOWNSHIP**

  
\_\_\_\_\_  
Moderator

ATTEST:   
\_\_\_\_\_  
Township Clerk



**OSWEGO TOWNSHIP  
KENDALL COUNTY, ILLINOIS**

**ORDINANCE No. 2022-06**

**AN ORDINANCE ADOPTING PARKING RESTRICTIONS FOR RECREATIONAL  
VEHICLES AND TRAILERS ON TOWNSHIP ROADS WITHIN OSWEGO  
TOWNSHIP, KENDALL COUNTY, ILLINOIS**

**ANNUAL TOWN MEETING OF ELECTORS  
April 12, 2022**



**ORDINANCE NO. 2022-06**

**AN ORDINANCE ADOPTING PARKING RESTRICTIONS FOR RECREATIONAL VEHICLES AND TRAILERS ON TOWNSHIP ROADS WITHIN OSWEGO TOWNSHIP, KENDALL COUNTY, ILLINOIS**

**WHEREAS**, Oswego Township is a unit of local government operating under the laws of the State of Illinois (“Township”); and

**WHEREAS**, Section 30-125 of the Illinois Township Code, 60 ILCS 1/30-125, authorizes the electors of Oswego Township to adopt ordinances regulating the standing or parking of recreational vehicles on township roads; and

**WHEREAS**, the Highway Commissioner of Oswego Township has general charge of the roads within the Oswego Township Road District as provided by Section 6-201.8 of the Illinois Highway Code, 605 ILCS 5/6-201.8, and is further authorized to regulate the standing or parking of vehicles by Section 11-208 of the Illinois Vehicle Code, 625 ILCS 5/11-208; and

**WHEREAS**, the Township, by its electors, hereby finds and determines that regulating the standing and parking of recreational vehicles on Township Roads is necessary in order to provide for the safety of those persons using such roads, streets, or highways, and for the orderly flow of traffic.

**NOW, THEREFORE, BE IT ORDAINED** by the electors of Oswego Township, Kendall County, Illinois (the “Electors”) at their annual meeting held on April 12, 2022, as follows:

**Section 1. Definitions.** For the purpose of this Ordinance, the following terms shall have the meanings set forth hereinbelow:

A. “Recreational vehicle” shall have the meaning ascribed in Section 1-169 of the



Illinois Vehicle Code, 625 ILCS 5/1-169, as amended from time to time.

- B. "Trailer" shall have the meaning ascribed in Section 1-209 of the Illinois Vehicle Code, 625 ILCS 5/1-209, as amended from time to time.
- C. "Park" or "parking" shall have the meaning ascribed in Section 1-156 of the Illinois Vehicle Code, 625 ILCS 5/1-209, as amended from time to time.
- D. "Stand" or "standing" shall have the meaning ascribed in Section 1-194 of the Illinois Vehicle Code, 625 ILCS 5/1-209, as amended from time to time.

**Section 2. Prohibition on Parking Recreational Vehicles on Township Roads.**

- A. No person shall stop, stand or park any recreational vehicle or trailer at any time on any road, street, alley, highway or other right-of-way under the jurisdiction of Oswego Township or the Oswego Township Road District.
- B. Each day that a violation of this Section 2 continues following the Removal Deadline as set forth hereinbelow shall constitute a separate and distinct violation or offense.

**Section 3. Enforcement.**

- A. The Highway Commissioner and Oswego Township Ordinance Enforcement Officer are authorized to enforce this Ordinance.
- B. When a recreational vehicle or trailer is found parked or left in violation of this Ordinance, the Highway Commissioner or Oswego Township Ordinance Enforcement Officer shall take information displayed on the vehicle that may identify its owner, such as, without limitation, a vehicle registration number or plates, and shall (i) conspicuously affix to such vehicle a notice to abate and (ii) send by certified



mail, return receipt requested, a copy of the notice to abate to the vehicle owner. The notice to abate shall specify the nature and location of the offense, and order the removal of the vehicle from the Oswego Township or Oswego Township Road District right-of-way to a lawful location by a date certain no more than seven (7) days from the date of issuance of the notice to abate ("Removal Deadline"). The notice to abate shall inform the owner that failure to timely remove the vehicle to a lawful location off of the Oswego Township or Road District roadway by the Removal Deadline shall result in the issuance of a notice(s) of violation imposing fines for each day on which the vehicle remains in an unlawful location following the Removal Deadline and may result in the impoundment of the vehicle without further notice.

- C. When the Ordinance Enforcement Officer or Highway Commissioner finds a recreational vehicle or trailer in violation of the restrictions imposed by this Ordinance and such vehicle remains unlawfully parked after the Removal Deadline, he or she shall issue a notice of violation. Notices of violation shall be served in the same manner provided hereinabove for the notice to abate and shall specify the date, time and nature and location of the offense and shall serve as a summons and complaint to appear in the Kendall County Circuit Court in accordance with the procedures set forth in 60 ILCS 1/100-10(d-5).
- D. When the Ordinance Enforcement Officer or Highway Commissioner finds a recreational vehicle or trailer in violation of the restrictions imposed by this Ordinance and the location of the vehicle obstructs a public sidewalk, leaves less than ten (10) feet of the width of the roadway free for free movement of vehicular traffic,



blocks the driveway entrance to any property abutting said roadway, or in any other manner creates a dangerous or unsafe condition such that removal is reasonably necessary to protect public safety, then such recreational vehicle or trailer shall be subject to seizure and impoundment. The Ordinance Enforcement Officer is hereby authorized to remove such hazard from the road forthwith by a designated service of the Township at the expense of the vehicle owner in addition to any other penalties imposed by this Ordinance. Notification will be made to Kendall County Sheriff's Office that removal was made. Whenever the Ordinance Enforcement Officer or Highway Commission removes or causes the removal and impoundment of a recreational vehicle or trailer from a Township or Road District road as provided in this Section, he or she shall promptly send a written notice of impoundment to the registered owner of the vehicle (or, if such owner is not ascertainable, then such notice shall be directed to the Secretary of State) including a description of the vehicle, the date, time and place from which removed, the reasons for removal, and the name, location and contact information of the place where the vehicle is stored. The owner shall have the right to reclaim his or her vehicle after presenting identification and evidence of right to possession of the vehicle and paying any and all applicable towing and impoundment charges.

- E. In any prosecution of a charge for violation of this Ordinance, the parking of any recreational vehicle or trailer as defined in this Ordinance, proof that the particular recreational vehicle or trailer described in the notice of violation or complaint was in violation of such law or regulation, together with proof that the defendant named in the notice of violation or complaint was at the time of such violation the lawful owner



of the vehicle shall constitute prima facie evidence that the lawful owner of such recreational vehicle or trailer was the person who placed such vehicle at the point where, and for the time during, which such violation occurred.

**Section 4. Penalty.** Any person convicted of a violation of this Ordinance shall be punishable by a fine of up to \$500. Fines shall be established and enforced by Kendall County Circuit Court pursuant to section 60 ILCS 1/100-10(d-5)(1). Upon a finding of liability, Oswego Township may seek court and associated legal fees.

**Section 5. Implementation.** The Electors hereby authorize and direct the Oswego Township Board of Trustees, the Oswego Township Supervisor, Clerk, Highway Commissioner, Ordinance Enforcement Officer, and Attorney to take any and all actions necessary to inform the public about the restrictions imposed by this Ordinance and to enforce the provisions of this Ordinance consistent with the terms set forth herein.

**Section 6. Savings Clause.** If any section, paragraph, clause, or provision of this resolution shall be held invalid, the validity thereof shall not affect any of the other provisions of this resolution.

**Section 7. Resolution of Conflicts.** All resolutions in conflict herewith are hereby repealed to the extent of such conflict.

**Section 8. Effective Date.** This Ordinance shall be in full force and effect from after its



passage, publication and approval as provided by law.

ADOPTED by a <sup>Unanimous</sup> vote of \_\_\_\_\_ to \_\_\_\_\_ by the electors of Oswego Township on April 12, 2022.

APPROVED this 12<sup>th</sup> day of April, 2022.

**OSWEGO TOWNSHIP**

Judy Bush  
Moderator

ATTEST: Ken Belushi  
Township Clerk