KENDALL COUNTY

PLANNING, BUILDING & ZONING COMMITTEE MEETING

111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560 (630) 553-4141 Fax (630) 553-4179

AGENGA

Monday, June 13, 2022 – 6:30 p.m.

CALL TO ORDER:

<u>ROLL CALL:</u> Elizabeth Flowers, Scott Gengler (Chairman), Judy Gilmour (Vice-Chair), Dan Koukol, and Robyn Vickers

APPROVAL OF AGENDA:

APPROVAL OF MINUTES: Approval of Minutes from May 9, 2022, Meeting (Pages 3-14)

PUBLIC COMMENT:

EXPENDITURE REPORT: Review of Expenditures from the Prior Month (Pages 15-16)

Six Month PBZ Financial Report Review (Pages 17-20)

PETITIONS:

1. **Petition 21 – 49 – Irma Loya Quezada (Pages 21-150)**

Request: Map Amendment Rezoning the Subject Property from A-1 Agricultural District to R-1 One

Family Residential District

PINs: 09-18-300-018 (Part) and 09-18-300-019 (Part)

Location: On the East Side of Brisbin Road Across from 14859 and 14975 Brisbin Road, Seward

Township

Purpose: Petitioner Wants to Rezone the Property in Order to Divide the Property and Construct

Two Homes

2. Petition 22 – 10 – Mark Fecht on Behalf of Fecht Brothers, Inc. (Property Owner)

and Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC (Contract

Purchaser) (Pages 151-384)

Request: Special Use Permit for a Landscaping Business

PINs: 09-15-200-003

Location: North Side of Route 52 Across from 2190 and 2200 Route 52, Minooka in Seward

Township

Purpose: Petitioners Want to Operate a Tree Service and Landscaping Business at the Property;

Property is Zoned A-1

NEW BUSINESS:

1. Approval of a Recommendation to Change the Address of 27 Knollwood Drive, Montgomery to 35 Woodcliff Drive, Montgomery; Committee Could Request the State's

Attorney's Office Assist with Drafting/Reviewing the Address Change Ordinance

(Pages 385-396)

2. Review of Annual NPDES Survey (Pages 397-400)

3. Request for Guidance Regarding a Banquet Facility at 1126 Simons Road (Pages 401-409)

- 4. Request for Guidance Regarding a Junk and Debris Issue and Container without a Permit at 19 N. Cherry Drive, Oswego (Pages 410-420)
- 5. Recommendation of a Proposal from Teska Associates, Inc. to Update the Kendall County Land Resource Management Plan in Its Entirety (Pages 421-424)
- 6. Approval of an Intergovernmental Agreement between the Village of Millbrook and the County of Kendall to Administer the County's Ordinances for Zoning, Building Code, Subdivision Control, Comprehensive Plan, and Stormwater Management within the Jurisdiction of the Village of Millbrook for a Term of One (1) Year in the Amount of \$1.00 Plus Associated Costs Paid by the Village of Millbrook to the County of Kendall (Pages 425-436)

OLD BUSINESS:

- 1. Approval of a Contract for Plumbing Inspections Between Kendall County and Mayer Construction, LLC, D.B.A. Mayer Plumbing, LLC (Pages 437-445)
- 2. Certified Local Government Grant Items
 - a. Approval to Issue an Invitation to Bids to Conduct an Historic Structure Survey in Unincorporated Kendall and Bristol Townships (Pages 446-468)
 - b. Approval to Request that the State's Attorney's Office Review the Contract of the Lowest Responsible Bidder

NEW BUSINESS:

1. Approval to Schedule a Second Planning, Building and Zoning Committee Meeting During the Month of June 2022

CORRESPONDENCE:

COMMENTS FROM THE PRESS:

EXECUTIVE SESSION:

ADJOURNMENT:

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

KENDALL COUNTY PLANNING, BUILDING & ZONING COMMITTEE

Kendall County Office Building Rooms 209 and 210 111 W. Fox Street, Yorkville, Illinois 5:00 p.m.

Meeting Minutes of May 9, 2022 – Unofficial until Approved

CALL TO ORDER

The meeting was called to order by Chairman Gengler at 5:00 p.m.

ROLL CALL

<u>Committee Members Present</u>: Scott Gengler (Chairman), Judy Gilmour (Vice-Chairwoman), Dan Koukol, and Robyn Vickers

Committee Members Absent: Elizabeth Flowers

<u>Also Present</u>: Matt Asselmeier (Senior Planner), Kristine Heiman, Frank Badus, Maria Badus, and Miguel Angel Fernandez

APPROVAL OF AGENDA

Member Koukol made a motion, seconded by Member Vickers, to approve the agenda as presented. With a voice vote of four (4) ayes, the motion carried.

APPROVAL OF MINUTES

Member Gilmour made a motion, seconded by Member Koukol, to approve the minutes of the April 11, 2022, meeting.

With a voice vote of four (4) ayes, the motion carried.

PUBLIC COMMENT

None

EXPENDITURE REPORT

The Committee reviewed the expenditure report from April 2022.

PETITION

Petition 22-09 Kendall County Regional Planning Commission

Mr. Asselmeier summarized the request.

In October 2020, the Kendall County Comprehensive Land Plan and Ordinance Committee initiated discussions regarding changing the Future Land Use Map for properties located along the Eldamain Road Corridor south of the Fox River, in light of the funding for the Eldamain Road Bridge and the abandonment of the centerline for the Prairie Parkway. In particular, the Committee discussed possible commercial and/or manufacturing investment in this area.

The Kendall County Future Land Use Map currently calls for this area to be Rural Residential (Max Density 0.65 DU/Acre) and Mixed Use Business. A copy of the existing Future Land Use Map was provided.

The Yorkville Future Land Use Map currently calls for this area to be Estate Residential. The Millbrook Future Land Use Map currently calls for this area to be Business Park Office and

Commercial with Industrial near the former Prairie Parkway alignment. The Plano Future Land Use Map currently calls for the area in their planning jurisdiction to be Estate Residential (0-0.8 DU/Acre). Copies of all of the Future Land Use Maps for this area were provided.

Following meetings with property owners in the area in October and December 2021, the Committee decided to limit changes to three (3) properties along the railroad tracks west of Fox Road. Letters to impacted property owners were mailed in mid-December 2021, mid-February 2022, and mid-March 2022.

At their meeting on February 23, 2022, the Comprehensive Land and Ordinance Committee voted to forward the proposal to the Kendall County Regional Planning Commission.

At their meeting on March 24, 2022, the Kendall County Regional Planning Commission voted to initiate the amendment to the Future Land Use Map.

A copy of the updated map was provided.

Petition information will be sent to Fox Township, the Village of Millbrook, and the United City of Yorkville on March 29, 2022. Yorkville will be reviewing this proposal in May and June.

ZPAC reviewed the proposal at their meeting on April 5, 2022. Mr. Klaas felt that no commercial or industrial development would occur on the subject properties unless they were annexed into a municipality. Discussion also occurred regarding the boundary agreements of the municipalities in the area. ZPAC recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with four (4) members absent. The minutes of the meeting were provided.

The Kendall County Regional Planning Commission held a public hearing on this proposal on April 27, 2022. No members of the public testified at the public hearing. The Kendall County Regional Planning Commission recommended approval of the proposal by a vote of seven (7) in favor and zero (0) in opposition with two (2) members absent. The minutes of the hearing were provided.

The Kendall County Zoning Board of Appeals reviewed this proposal at their meeting on May 2, 2022. No members of the public spoke at the meeting regarding this Petition. The Kendall County Zoning Board of Appeals recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting were provided.

The draft resolution was provided.

The Eldamain Road extension was shown on the GIS as a comparison with the maps provided.

Member Koukol asked about a property identified as commercial on the map on Route 71. Mr. Asselmeier responded, to his understanding, that was the site of a former motel.

Member Koukol asked for examples of mixed use businesses. Mr. Asselmeier responded light manufacturing businesses, warehouses, and business that might use the railroad in compliment with roads.

Member Koukol made motion, seconded by Member Vickers, to recommend approval of the proposal.

With a voice vote of four (4) ayes, the motion carried.

The proposal goes to the County Board on May 17, 2022, on the regular agenda.

NEW BUSINESS

Approval to Schedule a Second Planning, Building and Zoning Committee Meeting During the Month of May 2022

Chairman Gengler wanted the meeting to end a 6:30 p.m.

Without objection, this item was moved to the end of the meeting.

Approval of a Request by John and Laura Gay for an Extension to the Requirement to Install Vegetation and Berms as Required by Condition 2.B of Ordinance 2022-09 at 3601 Plainfield Road (PIN: 03-28-100-004) in Oswego Township

Mr. Asselmeier summarized the request.

Condition 2.B of Ordinance 2022-09, which granted a special use permit for a kennel at the subject property, requires that the berm and vegetation shown on the site plan be installed by June 1, 2022. The Ordinance also allows the Planning, Building and Zoning Committee to grant extensions to the installation deadline. A copy of Ordinance 2022-09 was provided.

On April 19, 2022, the Petitioners submitted a request asking that the deadline to install the berm and vegetation be extended to July 31, 2022. A copy of the request was provided.

It was noted that excavating was occurring at the property.

Chairman Gengler made motion, seconded by Member Gilmour, to approve setting the deadline at July 31, 2022.

With a voice vote of four (4) ayes, the motion carried.

Approval of a Request by Robert Velazquez for an Extension to the Requirement to Install Landscaping and Fencing as Required by Condition 2.J of Ordinance 2021-23 at 10744 Route 47 (PIN: 05-28-400-002) in Kendall Township

Mr. Asselmeier summarized the request.

Condition 2.J of Ordinance 2021-23, which granted a special use permit for a landscaping business at the subject property, requires the landscaping to be installed by June 1, 2022. The Ordinance also allows the Planning, Building and Zoning Committee to grant extensions to the installation deadline. A copy of Ordinance 2021-23 was provided.

On April 27, 2022, the Petitioner's Attorney submitted a request asking that the deadline to install the landscaping be extended to October 1, 2022. A copy of the request was provided.

Member Koukol noted the improvements at the property.

Member Koukol made motion, seconded by Member Vickers, to approve setting the deadline at October 1, 2022.

With a voice vote of four (4) ayes, the motion carried.

Approval of a Request by James and Denise Maffeo for the Extension to the Requirement to Install Landscaping and Fencing as Required by Condition 4.B of Ordinance 2020-14 and Condition 2 of the Minor Amendment to an Existing Special Use Permit Granted on September 13, 2021 at 14339 County Line Road (PIN: 09-13-200-014) in Seward Township Mr. Asselmeier summarized the request.

Condition 4.B of Ordinance 2020-14, which granted a special use permit for a storage facility at the subject property, requires certain landscaping at the property. On April 12, 2021, the Planning, Building and Zoning Committee granted the first extension to the installation requirement. On September 13, 2021, the Planning, Building and Zoning Committee granted a second extension to the installation requirement. The second extension set the new deadline for installing the landscaping at June 1, 2022. A copy of Ordinance 2020-14 and the September 13, 2021 extension were provided.

On May 2, 2022, the Petitioners' Attorney submitted a request asking that the deadline to install the landscaping be extended to October 1, 2022. A copy of the request was provided.

Member Koukol asked about the dirt pile at 195 Route 52. Mr. Asselmeier explained that the business at 195 Route 52 was a forester under agricultural. The owner of 195 Route 52 is different than the owner of the subject property.

Member Gilmour did not favor granting additional extensions after this extension.

Member Vickers made motion, seconded by Member Koukol, to approve setting the deadline at October 1, 2022, and that this be the final extension granted.

With a voice vote of four (4) ayes, the motion carried.

Approval to Authorize WBK Engineering, LLC to Investigate a Drainage Issue at 7405 Audrey Avenue (PIN: 05-02-201-006) in Kendall Township at an Amount not to Exceed \$2,200; Related Invoices to be Paid from the PBZ Consultant's Line Item 11001902-63630 Mr. Asselmeier summarized the request.

The owner of the subject property contacted the Planning, Building and Zoning Department and requested assistance regarding drainage.

A drainage easement is located along the eastern property line of the subject property. This easement was dedicated to Kendall County. The related pages from the plat were provided.

WBK Engineering, LLC prepared a scope of work to investigate the matter. The proposal was provided.

Mr. Asselmeier provided two (2) additional pictures that were provided by the property owner.

Frank and Maria Badus, property owners, explained the drainage issue. Mr. Badus explained the drainage patterns in the area.

Member Koukol asked where the water originated. The water comes from Minkler Road. The water should drain into property owned by the homeowners' association.

Page 4 of 9

Mr. Badus had talked to the Kendall Township Highway Commissioner. The Highway Commissioner said the easement was not Township property.

Mr. Asselmeier stated that the drainage easement was dedicated to the County. WBK could investigate issues inside the easement, the drainage area, and provide suggestions to improve drainage.

Mr. and Mrs. Badus discussed the damage to their property caused by the water. The water saturates the grass and does not drain. The neighboring lot does not have the same water issues. They purchased the property in 2018.

Member Koukol suggested having field tile installed. Mr. Badus wanted to go through the process with the homeowners' association and Kendall County.

Mr. Asselmeier explained the scope of WBK's proposal.

Mr. Badus provided a video of drainage in the area.

Discussion occurred regarding a pipe inside the easement.

Member Koukol suggested having Fran Klaas and the Kendall Township Highway Commissioner examine the issue. The consensus of the Committee was not to ask Mr. Klaas to investigate the matter.

Discussion occurred regarding the age of the subdivision.

Member Vickers discussed why the homeowners' association referred the matter to the County.

Member Koukol asked if Mr. Badus would contribute funds for the investigation. Mr. Badus declined.

Discussion occurred regarding the homeowners' associations maintenance activities. It was noted that, if the homeowners' association did not provide maintenance, any County activities would be temporary fixes only. It was noted that water should flow through the easement. Water flows into the common area and then flows back onto the subject property.

Mr. Badus said the homeowners' association position is that the issue is a design issue. Member Vickers said it could be the builder's issue because the site was not correctly graded.

Discussion occurred regarding the state of the existing drain tile.

Mr. Badus was advised to cut and clean a portion of the homeowners' association property.

The topographic maps of the area were examined. It was noted a neighbor dumped sod on the common ground.

Members Gilmour and Vickers favored the study.

Discussion occurred about getting the homeowners' association on board with maintenance in the area.

Mr. Badus said drainage in the area has been a problem for years.

Member Koukol requested comments from the homeowners' association.

The intent of doing the project is to rule-out the County related issues as the cause for the drainage problem.

Member Vickers made motion, seconded by Member Gilmour, to approve WBK's proposal.

The votes were as follows:

Yeas (3): Gengler, Gilmour, and Vickers

Nays (1): Koukol Abstain (0): None Absent (0): None

The motion carried.

<u>Recommendation on Annual Facility Inspection Report for NPDES Permit for Stormwater</u> <u>Discharges from Separate Storm Sewer Systems (MS4)</u>

Mr. Asselmeier summarized the request.

Kendall County is required to submit certain documents annually by June 1st as required by its NPDES Permit.

The proposed Annual Report was provided.

The 2022 Annual Report is similar to the 2021 Annual Report.

There is a One Thousand Dollar (\$1,000) submittal fee, which has been unchanged for several years.

Chairman Gengler made motion, seconded by Member Vickers, to recommend approval of the Annual Report.

With a voice vote of four (4) ayes, the motion carried.

The proposal goes to the County Board on May 17, 2022, on the consent agenda.

Discussion of Intergovernmental Agreement between Kendall County and Village of Plattville for Zoning Ordinance, Building Code, Stormwater Management Ordinance, and Subdivision Control Ordinance Enforcement within the Village of Plattville; Committee Could Amend Existing Agreement; Committee Could Approve a Recommendation Regarding the Agreement Mr. Asselmeier summarized the request.

The intergovernmental agreement between Kendall County and the Village of Plattville expires in July.

Three (3) permits were issued in Plattville in 2021 and zero (0) investigations occurred in Plattville in 2021.

The proposed narrative portion of the agreement was provided. Other than the dates, no changes to agreement are proposed.

To date, the Village of Plattville had not reviewed this proposal.

Member Vickers made motion, seconded by Member Koukol, to recommend approval of the Intergovernmental Agreement.

With a voice vote of four (4) ayes, the motion carried.

The proposal goes to the County Board on May 17, 2022, on the regular agenda.

Recommendation on Authorizing the County Board Chairman to Sign and Submit an Illinois Grant Accountability and Transparency Notice of State Award for a Certified Local Government Grant for an Historic Structure Survey in Unincorporated Kendall and Bristol Townships; Grant Amount is \$29,750 and County's Match is \$12,750 for a Total Project Cost of \$42,500 Mr. Asselmeier summarized the request.

In December 2021, Kendall County submitted a Certified Local Government Grant application with the State to conduct a historic structure survey in unincorporated Kendall and Bristol Townships with the exception of that portion of Helmar located in Kendall Township. The grant was for Twenty-Nine Thousand, Seven Hundred Fifty Dollars (\$29,750); the County's match was Twelve Thousand, Seven Hundred Fifty Dollars (\$12,750); the total project cost was Forty-Two Thousand, Five Hundred Dollars (\$42,500).

On April 28, 2022, the County received the Notice of State Award. The State requires this document to be signed prior to sending the grant agreement documents.

Accordingly, Staff requests that the Planning, Building and Zoning Committee recommend that the County Board Chairman sign the attached Notice of State Award.

Member Vickers made motion, seconded by Member Koukol, to recommend that the County Board Chairman sign the Notice of State Award.

With a voice vote of four (4) ayes, the motion carried.

The proposal goes to the County Board on May 17, 2022, on the consent agenda.

<u>Discussion of Plumbing Inspection Contract; Committee Could Forward the Contract to the State's Attorney's Office for Review</u>

Mr. Asselmeier summarized the request.

The Planning, Building and Zoning Department has been informed that Randy Erickson was no longer available to do plumbing inspections.

Brian Holdiman researched possible replacements and recommended Anthony Mayer of Mayer Plumbing, LLC. The email containing Brian Holdiman's recommendation was provided.

The redlined version of the proposed contract was provided. The following changes are proposed:

1. Throughout the document, replace Randy Erickson and Erickson Construction with Anthony Mayer and Mayer Plumbing, LLC. This includes updating the business' address.

- 2. In Section 1, the State Plumbing Code is updated from the 2004 edition to the 2014 edition.
- 3. In Section 6, the hours of availability are changed to 7:00 a.m. 5:00 p.m.

Staff recommended that the proposed contract be forwarded to the Kendall County State's Attorney's Office for review.

Pete Ratos from the United City of Yorkville is presently doing plumbing inspections for the County under the terms of the existing intergovernmental agreement between the County and Yorkville.

Member Koukol made motion, seconded by Member Vickers, to forward the contract to the State's Attorney's Office for review.

With a voice vote of four (4) ayes, the motion carried.

Approval of a Certified Local Government Grant for an Historic Structure Survey in Unincorporated Kendall and Bristol Townships; Grant Amount is \$29,750 and County's Match is \$12,750 for a Total Project Cost of \$42,500; Committee Could Refer the Matter to the State's Attorney's Office

Mr. Asselmeier distributed the grant document. He noted the County had several comments and concerns related to the document. The State had not provided an updated grant document.

The Historic Preservation Commission has not reviewed the grant.

Member Gilmour made motion, seconded by Member Vickers, to forward the grant to the State's Attorney's Office for review when the County receives the final grant document.

With a voice vote of four (4) ayes, the motion carried.

OLD BUSINESS

Update on Violations to the Building Code (Driveway and Parking Pad Installed Without a Permit), Violation of the Zoning Ordinance (Operating a Landscaping Business on A-1 Zoned Property Without a Special Use Permit), and Violations to the Kendall County Junk and Debris Ordinance at 1038 Harvey Road (PINs 03-12-100-004 and 03-12-100-013) in Oswego Township; Committee Could Direct Staff to Issue New, Additional Citations

Mr. Asselmeier provided pictures of the property. He also noted that the proposal was still under review at the Kendall County Regional Planning Commission.

Miguel Angel Fernandez, attorney for the property owner, discussed the timeline previously given to the owner.

Discussion occurred regarding the access permit application with the Village of Oswego.

Committee members did not want issue new citations for junk and debris. Discussion occurred regarding Oswego Township's new junk and debris ordinance.

Discussion occurred regarding the driveway. The Committee reviewed historic aerials of the property. Discussion occurred regarding the location of the driveway in relation to the property

Page **8** of **9**

line. Member Koukol noted that the County historically did not issue citations if a Petitioner was going through the process. The consensus of the Committee was to issue citations for the installation of the driveway and parking pad without a permit with Members Gengler, Gilmour, and Vickers in favor and Member Koukol in opposition.

Chairman Gengler favored issuing a citation for operating the business without a special use permit. Mr. Asselmeier explained the deadline imposed by the Regional Planning Commission for the May meeting. At the earliest, the proposal could get to the Planning, Building and Zoning Committee in June. Members Vickers and Gilmour wanted to see what happens with the Village of Oswego. The consensus of the Committee was not to issue citations for operating a business without a special use permit.

The item will be brought back to the Committee in June.

NEW BUSINESS

Approval to Schedule a Second Planning, Building and Zoning Committee Meeting During the Month of May 2022

The consensus of the Committee was not to have a second meeting in May.

The items not discussed at the May meeting were forwarded to the June meeting.

<u>ADJOURNMENT</u>

Member Vickers made a motion, seconded by Member Koukol, to adjourn. With a voice vote of four (4) ayes, the motion carried.

Chairman Gengler adjourned the meeting at 6:56 p.m.

Minutes prepared by Matthew H. Asselmeier, AICP, CFM Senior Planner

Enc.



KENDALL COUNTY PLANNING, BUILDING, & ZONING COMMITTEE MAY 9, 2022

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
Mignel Fornandiz		
Frank BAdy MAria Dady		







1153 CASH ACCT CONDITIONS THAT PREVENT POSTING INVOICE 836 CONDITIONS THAT PREVENT POSTING INVOICE 1849 CONDITIONS THAT PREVENT POSTING INVOICE CASH 000008 ACCT 1Y210 1172 * Invoice must be approved or voided to post. CONDITIONS THAT PREVENT POSTING INVOICE CASH 000008 ACCT 1Y210 * Invoice must be approved or voided to post CASH 000008 ACCT 1Y210 VENDOR REMIT NAME 05/05/2022 09:27 ACCT 1Y210 CASH 000008 * Invoice must be approved or voided to post. CONDITIONS THAT PREVENT POSTING INVOICE 1247 * Invoice must be approved or voided to post. PENDING UNPAID INVOICES CLERK: pherber 000008 1Y210 00000 KENDALL CO HIGHW APRIL 2022 00000 LEO'S 00001 VERIZON 00000 KENDALL PRINTING 22-0425 00000 IAFSM 2022/06 DEPT 19 BATCH: 2491 INV 05/05/2022 DUE 05/05/2022 INV 05/05/2022 DUE 05/05/2022 INV 05/05/2022 DUE 05/05/2022 INV 05/05/2022 SEP-CHK: Y DISC: .00 DUE 05/05/2022 DESC:CFM Renewal Fee DUE 05/05/2022 INV 05/05/2022 990463476 2715 INVOICE FM Renewal |Kendall County |PBZ 05052022 SEP-CHK: N DISC: .00 DESC:APRIL PBZ TRUCK FUEL SEP-CHK: N DISC: .00 DESC:HIST. PRES. PLAQUE DESC: ZONING CELL PHONE SEP-CHK: N SEP-CHK: N DISC: .00 DESC: RECEIPT COPIES-OFFICE SUPPLIES 1849/27559 1247/27561 1172/27562 1153/27558 836/27555 8 DISC: .00 051522 051522 CHECK RUN NEW INVOICES 051522 051522 051522 NET AMOUNT 150.00 181.64 50.00 25.03 94.40 EXCEEDS PO BY 11001902 62070 CVD19 -PBZ 11001902 62170 11001902 62000 1001902 62030 63830 .00 .00 .00 .00 .00 PO BALANCE CHK/WIRE EQUIP .00 .00 .00 .00 .00 150.00 181.64 25.03 94.40 50.00 apinvent 1099: 1099: 1099: 1099: 1099:

* Invoice must be approved or voided to post.

¹⁵



					# With trp tolation
05/05/2022 09:27 Pherber	Kendall County PBZ 05052022				P 2 apinvent
CLERK: pherber BATCH: 2491		NEW INVOICES			
VENDOR REMIT NAME INV	INVOICE PO	CHECK RUN	NET AMOUNT	EXCEEDS PO BY	PO BALANCE CHK/WIRE
1849 00001 VERIZON 990	9904634736-1	051522	84.56	. 00	- 00
CASH 000008 2022/06 INV 05/05/2022 ACCT 1Y210 DEPT 19 DUE 05/05/2022	5/2022 SEP-CHK: N DISC: .00 5/2022 DESC:PBZ CELL PHONES	DISC: .00 PHONES		11001902 62070	84.56 1099:
CONDITIONS THAT PREVENT POSTING INVOICE	NVOICE 1849/27560	560			
* Invoice must be approved or voided to post.	ded to post.				
2063 00000 RUNCO OFFICE SUP 866270-0	270-0	051522	24.06	.00	.00
CASH 000008 2022/06 INV 05/05/2022 ACCT 1Y210 DEPT 19 DUE 05/05/2022	5/2022 SEP-CHK: N DISC: .00 5/2022 DESC:OFFICE SUPPLIES	DISC: .00		11001902 62000	24.06 1099:
CONDITIONS THAT PREVENT POSTING INVOICE	NVOICE 2063/27557	557			
* Invoice must be approved or voided to post.	ded to post.				
7 PENDING UNPAID INVOICES	CES TOTAL	Ħ	609, 69		
0 INVOICE(S)	REPORT	T POST TOTAL	.00		

REPORT TOTALS

.00



06/01/2022 14:09 masselmeier

|Kendall County |YEAR-TO-DATE BUDGET REPORT P 1 |glytdbud

FOR 2022 06

ACCOUNTS FOR: 1100 General Fund	ORIGINAL APPROP	TRANFRS/ ADJSTMTS	REVISED BUDGET	YTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
11001902 Planning, Building and Zoning 11001902 41180 Building Fee / P	-75,000	0	-75,000	-60,298.04	.00	-14,701.96	80.4%*
11001902 41190 PBZ - Recording 11001902 41200 Zoning Fee 11001902 41450 2012 NRA Source 11001902 51030 Salaries - Cleri 11001902 51070 Salaries - Manag 11001902 51080 Salaries - Compl 11001902 51090 Salaries - ZBA P	-1,200 -10,000 -10 29,640 74,079 72,309 3,200	0 0 0 0 0	-1,200 -10,000 -10 29,640 74,079 72,309 3,200	-469.00 -6,828.50 .00 10,147.50 35,045.04 30,252.28 1,500.00	.00 .00 .00 .00 .00	-731.00 -3,171.50 -10.00 19,492.50 39,033.96 42,056.72 1,700.00	39.1%* 68.3%* .0%* 34.2% 47.3% 41.8% 46.9%
11001902 51090 Salaries - ZBA P 11001902 62010 Office Supplies 11001902 62010 Postage 11001902 62030 Dues 11001902 62050 Mileage 11001902 62050 Training	2,000 1,200 775 500 50 2,500	0 0 0 0 0	2,000 1,200 775 500 50 2,500	724.21 567.93 75.00 613.44 .00 75.89	.00 .00 .00 .00 .00	1,275.79 632.07 700.00 -113.44 50.00 2,424.11	40.98 36.28 47.38 9.78 122.78* .08 3.08
11001902 63610 Plumbing Inspect 11001902 63630 Consultants	1,500 1,500 600 2,500 14,000 13,500	0 0 0 0	1,500 1,500 600 2,500 14,000 13,500	657.85 226.92 85.11 990.65 7,950.00 2,365.00	.00 .00 .00 .00 .00	842.15 1,273.08 514.89 1,509.35 6,050.00 11,135.00	43.9% 15.1% 14.2% 39.6% 56.8% 17.5%
11001902 63670 NPDES Permit Fee 11001902 63700 Recording Fees 11001902 63800 Regional Plan Co 11001902 63810 Zoning Board of 11001902 63830 Historical Prese 11001902 63840 Ad Hoc Zoning 11001902 63850 Refunds	1,100 1,200 500 500 500 500 500	0 0 0 0 0	1,100 1,200 500 500 500 500 500	.00 676.00 421.69 .00 218.74 124.62 110.00	.00 .00 .00 .00 .00	1,100.00 524.00 78.31 500.00 281.26 375.38 -60.00	.0% 56.3% 84.3% .0% 43.7% 24.9% 220.0%*
TOTAL Planning, Building and Zoning	137,993	0	137,993	25,232.33	.00	112,760.67	18.3%
TOTAL General Fund	137,993	0	137,993	25,232.33	.00	112,760.67	18.3%
TOTAL REVENUES TOTAL EXPENSES	-86,210 224,203	0	-86,210 224,203	-67,595.54 92,827.87	.00	-18,614.46 131,375.13	



06/01/2022 14:09 masselmeier

|Kendall County |YEAR-TO-DATE BUDGET REPORT P 2 |glytdbud

FOR 2022 06

	ORIGINAL APPROP	TRANFRS/ ADJSTMTS	REVISED BUDGET	YTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
GRAND TOTAL	137,993	0	137,993	25,232.33	.00	112,760.67	18.3%

^{**} END OF REPORT - Generated by Matt Asselmeier **



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204 Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

MEMORANDUM

To: Planning, Building and Zoning Committee

From: Matthew H. Asselmeier, AICP, CFM, Senior Planner

Date: June 1, 2022

Re: Mid Fiscal Year Escrow Report

Below please find the balances of the various escrow accounts as of the close of business on May 31, 2022.

Tanglewood Trails \$32,582.00 Fox Metro O&M Building \$2,716.71

NICOR-Miller and Creek \$0.00 (Project Closed)

Schlapp Road Banquet Center \$424.00 ANR Pipeline-Burr Oak and Griswold Springs \$330.00 2884 Route 126 (O'Donovan) \$1,200.00

9211 Route 126 (D Construction) \$0.00 (Project Closed)

13039 McKanna Road \$0.00 Four Seasons Storage \$4,148.71 NE Corner of Ridge and Bell \$3.358.63 Joliet Park District \$1,445.89 276 Route 52 (TZ Landscaping) \$174.07 3485 Route 126 \$397.50 Go Pro Baseball \$1,326.82 2025 Simons (Paul Yearsley) \$657.82 4819 Route 52 (Heap) \$204.82 McKanna Road Barn (Barrios) \$877.50 9000 Route 34 (Mark Cox) \$473.57

 12830 Ashley Road (Gutierrez)
 \$547.15

 9025 Chicago Road (Clow Pond)
 \$393.75

 83 S. Linden (Guzman)
 \$555.00

 10744 Route 47 (Always Faithful)
 \$340.00

SW Corner of E. Beecher and Galena

3549 Bell Road (Zeiter) \$0.00 (Project Closed) Yorkville Bristol Sanitary District \$0.00 (Project Closed)

Central Limestone\$340.00TMF Plastic Solutions\$1,136.15Troy Fire Protection (748 Jones)\$1,200.003601 Plainfield Road\$1,080.00Best Budget Tree (North of 2190 Route 52)\$1,200.00

The balance in the Fox River Watershed Stormwater Mitigation account was \$387,100.00.

The balance in the Upper Illinois River Watershed Stormwater Mitigation account was \$2,600.00.

\$877.50

The balance in the Henneberry Woods account was \$115,129.43

The balance in the Ravine Woods account was \$9,353.97.

The balance in the Land Cash account was \$326,758.28.

If you have any questions regarding this memo, please let me know.

MHA



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203 Yorkville, IL • 60560 (630) 553-4141 Fax (630) 553-4179

Petition 21-49 Irma Loya Quezada Map Amendment Rezoning Property from A-1 to R-1

INTRODUCTION

The Petitioner is requesting a map amendment rezoning two (2) approximately three point two-four (3.24) acre parcels from A-1 Agricultural District to R-1 One Family Residential District in order to construct one (1) house on each parcel.

The Petitioner plans to use Plat Act exemptions to divide the subject areas proposed for rezoning from the larger parcels.

The agricultural building permits for the parcels were used in 2003 and 2004. The only way houses can be constructed on the subject parcels is by obtaining the requested map amendment.

The application materials are included as Attachment 1. The plat of survey is included as Attachment 2. The aerial of the property is included as Attachment 3.

On December 4, 2021, five (5) neighbors submitted a written objection to the map amendment. On January 24, 2022, one (1) additional neighbor submitted an objection. These objections were included as Attachment 4

SITE INFORMATION

PETITIONER Irma Loya Quezada

ADDRESS Across from 14859 and 14975 Brisbin Road

LOCATION East Side of Brisbin Road Approximately 0.5 Miles South of Route 52



TOWNSHIP Seward

PARCEL #s 09-18-300-018 and 09-18-300-019

LOT SIZE 20.7 Acres-Total of Both Parcels; 6.48 Acres-Total Proposed Rezoned Area

EXISTING LAND Agricultural

USE

ZONING A-1 Agricultural District

LRMP

Current Land Use	Agricultural
Future Land Use	Rural Estate Residential (Max 0.45 Du/Acre)
Roads	Brisbin Road is a Township Maintained Major Collector.
Trails	None
Floodplain/ Wetlands	None

REQUESTED

ACTION Map Amendment Rezoning Property from A-1 to R-1

APPLICABLE Section 13:07 – Map Amendment Procedures REGULATIONS

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural	A-1	Rural Estate Residential	A-1
			(Max 0.45 DU/Acre)	
			(County)	
			Low Density Residential	
			(Plattville)	
South	Agricultural	A-1	Rural Estate Residential and Agricultural	A-1
East	Agricultural	A-1	Rural Estate Residential	A-1
West	Agricultural/Farmstead/Hogan's Market	A-1 and A-1 SU	Rural Estate Residential	A-1 and A-1 SU

The A-1 special use to the west is for the sale of agricultural products, art, pottery, and home décor not produced on the premises (Hogan's Market).

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCat submitted on November 11, 2021, and consultation was terminated (see Attachment 1, Page 9).

NATURAL RESOURCES INVENTORY

NRI application submitted on October 18, 2021 (see Attachment 1, Page 8). The LESA Score was 199 indicating a low level of protection. The NRI Report was included as Attachment 6.

ACTION SUMMARY

SEWARD TOWNSHIP

Seward Township was emailed information on November 16, 2021. The Seward Township Planning Commission reviewed this proposal on December 7, 2021. Discussion occurred regarding the Land Resource Management Plan in relation to Seward Township and protecting farmland. Discussion also occurred regarding drainage and illegal dumping on the property. The Seward Township Planning Commission issued a negative recommendation by a vote of four (4) against the proposal and zero (0) in favor of the proposal with one (1) member absent. The minutes were included Attachment 7. On December 27, 2021, the Petitioner's Attorney submitted a response to the actions of the Seward Township Planning Commission; this letter was included as Attachment 8. On January 11, 2022, the Seward Township Board voted to submit a formal objection to the map amendment. On May 10, 2022, prior to submitting the objection to the County, the Seward Township Board voted rescind the objection. The email to that effect is included as Attachment 17.

VILLAGE OF PLATTVILLE

The Village of Plattville was emailed information on December 16, 2021.

LISBON-SEWARD FIRE PROTECTION DISTRICT

The Lisbon-Seward Fire Protection District was emailed information on November 16, 2021.

ZPAC

ZPAC reviewed this proposal at their meeting on December 7, 2021. The Petitioner's Attorney indicated the Petitioner only wanted to build two (2) houses at this time. The Highway Department requested a voluntary right-of-way dedication; the Petitioner's Attorney was agreeable to the request. ZPAC recommended approval of the requested map amendment by a vote of eight (8) in favor and zero (0) in opposition with two (2) members absent. The minutes of the meeting were included as Attachment 9.

RPC

On December 7, 2021, the Petitioner's Attorney submitted a request to continue the Petition from the December Kendall County Regional Planning Commission meeting and Kendall County Zoning Board of Appeals hearing. This email was included as Attachment 5.

The Kendall County Regional Planning Commission did not have quorum for their meeting on January 26, 2022. Prior to the February 23, 2022, meeting, the Petitioner requested the proposal be laid over to April 27, 2022. The minutes of the February 23, 2022, meeting are included as Attachment 13.

The Kendall County Regional Planning Commission reviewed the proposal at their meeting on April 27, 2022. Member Wilson asked why the Petitioners were rezoning only the center portion of the lot and leaving a U-shaped area zoned A-1. The Petitioners, responded that the proposed rezoned portions of the property were the best locations for houses because of drainage, per the engineer, Phil Young, that examined the property. They said the second home would be for their son. They will lease the land to farm and they also plan to have horses on the property. Dan Kramer, Attorney for the Petitioner, explained that the Petitioner still desired to farm a portion of the property. No other business would be run at the property; no landscaping business has been run at the property and no construction or landscaping debris has been placed on the property. The request is consistent with the County's Land Resource Management Plan; Mr. Kramer noted that Seward Township allowed similar rezoning requests recently. He felt that some of the objectors had an implicit bias against the Petitioner. He hoped Seward Township would follow the proper procedures regarding updating a comprehensive plan.

Mr. Kramer discussed the LaSalle Factors. He also discussed the *Village of Richton Park v. Sinclair Pipeline* case. He felt the proposed use would be consistent with the neighboring uses because other single-family homes on similar sized lots are located in the area. Donald and Jo Beth Larkin expressed concerns about drainage, potential damage to field tile, and the construction of more homes on smaller parcels in the area. A drain tile survey will be required in order to build a house; the owners have to repair damaged tile by law. Also, a homeowner would not want broken tile on their property because the water would damage their house. Drainage Law is enforced civilly in Illinois. The property is not in a federal designated floodplain. The Larkins were encouraged to work with the Petitioners to maintain the tile; this will be an opportunity to locate and examine the tile. Tim O'Brien, Seward Township Supervisor, explained that the Seward Township Planning Commission was concerned about water issues. The Kendall County Regional Planning Commission recommended approval of the request by a vote of eight (8) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting are included as Attachment 15.

ZBA

The Kendall County Zoning Board of Appeals started a public hearing on this proposal on December 13, 2021. At the Petitioner's request the hearing was continued to January 31, 2022. The hearing was continued again to February 28, 2022. The minutes of the December 13, 2021, meeting are included as Attachment 10. The minutes of the January 31, 2022, meeting are included as Attachment 11. On February 14, 2022, the Petitioner's Attorney submitted a request that the hearing be continued to May 2, 2022. This email is included as Attachment 12. The minutes of the February 28, 2022, hearing are included as Attachment 14.

At the May 2, 2022 hearing. Mr. Kramer said that his comments regarding implicit bias was directed at the objectors and not anyone associated with Seward Township. He also clarified the type of development that would occur if the rezoning request was approved. The drain tile would be located. Member Vickery provided a history of development in the area and the need for a moratorium on certain zoning actions. The Kendall County Zoning Board of Appeals recommended approval of the request by vote of six (6) in favor and zero (0) in opposition with one (1) member absent. The minutes of the hearing are included as Attachment 16.

GENERAL INFORMATION

The Petitioner desires to rezone the subject property in order to build one (1) house on each of the two (2) new parcels created for a total of two (2) new houses.

BUILDING CODES

Any new homes or accessory structures would be required to meet applicable building codes.

UTILITIES

No public or private utilities are onsite.

ACCESS

The property fronts Brisbin Road. Staff has no concerns regarding the ability of Brisbin Road to support the proposed map amendment.

PARKING AND INTERNAL TRAFFIC CIRCULATION

Any new driveways constructed would be for residential purposes. Any new driveways would have to meet applicable regulations and secure proper permits.

ODORS

No new odors are foreseen.

LIGHTING

Any new lighting would be for residential use only.

LANDSCAPING AND SCREENING

Any fencing, landscaping, or screening would be for residential purposes.

SIGNAGE

Any signage would be residential in nature.

NOISE CONTROL

No noise is anticipated.

STORMWATER

Any new homes would have to be constructed per Kendall County's Stormwater Management Ordinance.

FINDINGS OF FACT

The Findings of Fact were as follows:

Existing uses of property within the general area of the property in question. The surrounding properties are used for agricultural purposes or larger lot single-family residential uses.

The Zoning classification of property within the general area of the property in question. The surrounding properties are zoned A-1 or A-1 SU for the sale of agricultural products, art, pottery, and home décor not produced on the premises.

The suitability of the property in question for the uses permitted under the existing zoning classification. The property is presently zoned A-1. The agricultural housing allocations for the subject property have already been used and no new single-family homes can be constructed on the subject property without a map amendment.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is a mix of agricultural and single-family residential uses found in rural settings.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The Future Land Use Map in the Land Resource Management Plan classifies this property as Rural Estate Residential. The R-1 One Family Residential District is consistent with the Rural Estate Residential classification.

RECOMMENDATION

Staff recommends approval of the proposed map amendment because the proposal is consistent with the Land Resource Management Plan.

The draft ordinance is included as Attachment 18.

ATTACHMENTS

- 1. Application Materials
- 2. Plat of Survey
- 3. Aerial
- 4. Objections of Neighbors (Updated January 24, 2022)
- 5. December 7, 2021 Dan Kramer Continuation Email
- 6. NRI Report
- 7. December 7, 2021 Seward Township Minutes
- 8. December 27, 2021 Dan Kramer Letter
- 9. December 7, 2021 ZPAC Meeting Minutes (This Petition Only)
- 10. December 13, 2021 Kendall County Zoning Board of Appeals Minutes (This Petition Only)
- 11. January 31, 2022 Kendall County Zoning Board of Appeals Minutes
- 12. February 14, 2022 Dan Kramer Email
- 13. February 23, 2022 Kendall County Regional Planning Commission Minutes (This Petition Only)

PBZ Memo – Prepared by Matt Asselmeier – June 1, 2022

- 14. February 28, 2022 Kendall County Zoning Board of Appeals Minutes (This Petition Only)
- 15. April 27, 2022 Kendall County Regional Planning Commission Minutes (This Petition Only)
 16. May 2, 2022 Kendall County Zoning Board of Appeals Minutes (This Petition Only)
- 17. May 11, 2022 Seward Township Objection Email
- 18. Draft Ordinance

PROJECT NAME



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560 Fax (630) 553-4179

(630) 553-4141

FILE#:_

APPLICATION

111111111111111111111111111111111111111			
NAME OF APPLICANT			
Irma Loya Quezada	ı		
CURRENT LANDOWNS	ER/NAME(s)		
Irma Loya Quezada	1		
SITE INFORMATION ACRES	SITE ADDRESS OR LOCATION Brisbin Road Minooka, IL 60447		ID NUMBER (PIN) 8-300-018 & 09-18-300-019
10	CURRENT ZONING		FICATION ON LRMP
EXISTING LAND USE	A-1	2012 02 100	
REQUESTED ACTION			
SPECIAL USE	X MAP AMENDMENT (Rezone to	4-7	VARIANCE
ADMINISTRATIVE			SITE PLAN REVIEW
TEXT AMENDMEN	T RPD (Concept; Prefimin	ary; Final)	
PRELIMINARY PLA	ATFINAL PLAT		OTHER PLAT (Vacation, Dedication, etc.)
. AMENDMENT TO	A SPECIAL USE (Major; Minor)		DOMANOV CONTACT EMAN
¹PRIMARY CONTACT Daniel J. Kramer	PRIMARY CONTACT MAILING	DDRESS	
PRIMARY CONTACT F	PHONE # PRIMARY CONTACT FAX #		PRIMARY CONTACT OTHER #(Cell, etc.)
ZENGINEER CONTACT	T ENGINEER MAILING ADDRESS	1	ENGINEER EMAIL
ENGINEER PHONE #	ENGINEER FAX#		ENGINEER OTHER # (Cell, etc.)
THE PRIMARY CO	THAT BY SIGNING THIS FORM, THAT TH & BOARD/ COMMISSION MEMBERS THR ONTACT LISTED ABOVE WILL BE SUBJE	CT TO ALL C	ORRESPONDANCE ISSUED BY THE
	THE INFORMATION AND EXHIBITS SUBI DWLEDGE AND THAT I AM TO FILE THIS IRES.	APPLICATIO	TRUE AND CORRECT TO THE N AND ACT ON BEHALF OF THE
SIGNATURE OF	9		DATE
SIGNAM UKE CHA	AL PIONIL		10/12/2011
119	FEE PAID:\$		Te file of the
	CHECK #:		<i>If</i>
	OI ILOIT TE		

Last Revised: 12.15,20

Date Stamp Here If Checklist Is Complete

¹Primary Contact will receive all correspondence from County ²Engineering Contact will receive all correspondence from the County's Engineering Consultants

Attachment 1, Page 2 Quezada Zoning Project

Please fill out the following findings of fact to the best of your capabilities. § 13:07.F of the Zoning Ordinance lists the Finding of Fact criteria the Zoning Board of Appeals must answer in order to make a recommendation to the County Board on any map amendment request. They are as follows:

Existing uses of property within the general area of the property in question.

There is a mix of exiting uses of real property in the subject area of the Petitioner. They consist of A1 Agricultural Use. A1 Special Use and various residential classifications. The actual usesages in the area are a combination of Single Family large Lot Residential under Kendall County R-1 Zoning and Building Permits issued under various County Agricultrual Ordinances including Farm Allocations.

The Zoning classification of property within the general area of the property in question. Same answer as to existing uses.

The suitability of the property in question for the uses permitted under the existing zoning classification.

The subject property is suitable for pasture, or low denisty agricultural uses, but because of its smaller size is not considered a prime agricultural use with the modern farm machinery where fields are desired to be of much greater size. The property is perfect for construction of two residential units as well as having low denisity agricultural uses such as pasture for horses.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification.

There is a moderate trend for development of large tot rural single family residential in the area.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies.

The proposed use of 2 Residential R-1 Building lots is consistent with the Lane Resource Management Plan of Kendall County in that the Land Resource Management Plan calls for low density Single Family Country Residential District type development.

REspectfully Submitted,

Daniel J. Kramer, 11/12/21

Legal Descriptions

Parcel 1A

That Part of the West Half of the Southwest Fractional Quarter of Section 18, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northwest Corner of said Southwest Fraction Quarter; thence Southerly, along the West Line of said Southwest Fractional Quarter, 2100.30 feet for the point of beginning; thence Northerly along said West Line, 302.08 feet; thence Easterly, perpendicular to said West Line, 470.00 feet; thence Southerly, perpendicular to the last ascribed course 298.98 feet to a line drawn Easterly from the point of beginning which is parallel to said North Line; thence Westerly parallel with said North Line, 470.01 feet to the point of beginning in Seward Township, Kendall County, Illinois.

Parcel 2A

That Part of the West Half of the Southwest Fractional Quarter of Section 18, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northwest Corner of said Southwest Fraction Quarter; thence Southerly, along the West Line of sad Southwest Fractional Quarter, 2100.30 feet for the point of beginning; thence Southerly, along said West Line 298.75 feet; thence Easterly, perpendicular to said West Line, 470.0 feet; thence Northerly, perpendicular to the last described course, 301.85 feet to a line drawn Easterly from the point of beginning, which is parallel with the North Line of said Southwest Fractional Quarter; thence Westerly, parallel with said North Line, 470.01 feet to the point of beginning, in Seward Township, Kendall County, Illinois.

202100012771

DEBBIE GILLETTE

RECORDER - KENDALL COUNTY, IL

RECORDED: 5/18/2021 3:47 PM

REC FEE: 57.00 RHSPS: 10.00

STATE TAX: 200.00

COUNTY TAX: 100.00 PAGES: 4

ALSOITH THE LODI

Chicago Philis INDENTURE WITNESSETH,
That the Grantor,

ERB PROPERTIES, LLC, an Illinois Limited Liability Company, as to an undivided 70.45% interest, and Mark Brummel, as to an undivided 29.55% interest.

of the Village of Minooka in the County of Kendall and State of Illinois for and in consideration of the sum of One Dollar and other good and valuable considerations, the receipt of which is hereby acknowledged, CONVEY and WARRANT to:

IRMA LOYA QUEZADA, A Single DERSON

whose address is

the following described real estate to-wit:

PARCEL 1: THAT PART OF THE WEST HALF OF THE SOUTHWEST FRACTIONAL QUARTER OF SECTION 18, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST COMER OF SAID SOUTHWEST FRACTION QUARTER; THENCE SOUTHERLY, ALONG THE WEST LINE OF SAID SOUTHWEST FRACTIONAL QUARTER, 1548.37 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHERLY, ALONG SAID WEST LINE, 551.93 FEET; THENCE EASTERLY, PARALLEL WITH THE NORTH LINE OF SAID SOUTHWEST FRACTIONAL QUARTER, 817.41 FEET TO THE EAST LINE OF THE WEST HALF OF SAID SOUTHWEST FRACTIONAL QUARTER; THENCE NORTHERLY, ALONG SAID EAST LINE, 551.95 FEET TO A LINE DRAWN EASTERLY FROM THE POINT OF BEGINNING WHICH IS PARALLEL WITH SAID NORTH LINE; THENCE WESTERLY, PARALLEL WITH SAID NORTH LINE, 819.55 FEET TO THE POINT OF BEGINNING IN SEWARD TOWNSHIP, KENDALL COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE WEST HALF OF THE SOUTHWEST FRACTIONAL QUARTER OF SECTION 18, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTHWEST FRACTION QUARTER; THENCE SOUTHERLY, ALONG THE WEST LINE OF SAID SOUTHWEST FRACTIONAL QUARTER, 2100.30 FEET FOR THE POINT OF BEGINNING; THENCE SOUTHERLY, ALONG SAID WEST LINE, 551.93 FEET TO THE SOUTHWEST COMER OF SAID SOUTHWEST FRACTIONAL QUARTER; THENCE EASTERLY, ALONG THE SOUTH LINE OF SAID SOUTHWEST FRACTIONAL QUARTER, 815.23 FEET TO THE SOUTHEAST COMER OF THE WEST HALF OF SAID SOUTHWEST FRACTIONAL QUARTER; THENCE NORTHERLY, ALONG THE EAST LINE OF THE WEST HALF OF SAID SOUTHWEST FRACTIONAL QUARTER, 558.79 FEET TO A LINE DRAWN EASTERLY FROM THE POINT OF BEGINNING WHICH IS PARALLEL WITH THE NORTL LINE OF SAID SOUTHWEST FRACTIONAL QUARTER; THENCE WESTERLY, PARALLEL WITH SAID NORTH LINE, 817.41 FEET TC THE POINT OF BEGINNING IN SEWARD TOWNSHIP, KENDALL COUNTY, ILLINOIS.

Ű

STATE OF ILLINOIS COUNTY OF GRUNDY

I, the undersigned, a Notary Public, in and for said County and State aforesaid, DO HEREBY CERTIFY THAT MARK BRUMMEL, personally known to me to be the same person whose name is subscribed to the foregoing instrument, as having executed the same, appeared before me this day in person and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and Notarial Seal this _____ day

4 day of May , 202 .

"OFFICIAL SEAL"
NICOLE A. BILLINGSLEY
NOTARY PUBLIC, STATE OF ILLINOIS
MY COMMISSION EXPIRES 8/29/2022

FUTURE TAXES TO:

IRMA LOYA QUEZADA

RETURN THIS DOCUMENT TO:

PREPARED BY:

DANIEL J. KRAMER

ĒΤ

CORTINA MUELLER FROBISH

Attachment 1, Page 7

RECORDER OF DEEDS AFFIDAVIT - METES AND BOUNDS

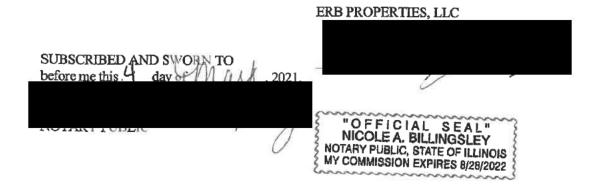
STATE OF ILLINOIS)
) SS.
COUNTY OF KENDALL)

ERB PROPERTIES, LLC being duly sworn on oath, states that he is the property owner of the real estate whose legal description is attached. The attached deed is not in violation of Section 1 of Chapter 109 of the Illinois Revised Statutes for one of the following reasons:

- The division of subdivision of land is into parcels or tracts of five acres or more in size which does not involve any new streets or easements of access.
- 2. The division is of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access.
- The sale or exchange of parcels of land is between owners of adjoining and contiguous land.
- 4. The conveyance is of parcels of land or interest therein for use as right of way for railroads or other public utility facilities, which does not involve any new streets or easements of access.
- 5. The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access.
- The conveyance is of land for highway or other public purposes or grants of conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use.
- The conveyance is made to correct descriptions in prior conveyances.
- 8. The sale or exchange is of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing in July 17, 1959 and not involving any new streets or easements of access.
- 9. The sale is of a single lot of less than five acres from a large tract, the dimensions and configurations of said larger tract having been determined by the dimensions and configuration of said larger tract on October 1, 1973, and no sale prior to this sale, or any lot or lots from said larger tract having taken place since October 1, 1973 and a survey of said single lot having been made by a registered land surveyor.
- 10. The conveyance is of land described in the same manner as title was taken by grantor(s).

THE APPLICABLE STATEMENT OR STATEMENTS ABOVE ARE CIRCLED.

AFFIANT further states that he makes this Affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording.





7775A Route 47, Yorkville, Illinois 60560 • (630)553-5821 extension 3



Conservation District	www.kendallswcd.org
NATURAL RESOURCE IN	FORMATION (NRI) REPORT APPLICATION
Petitioner: Irma Loya Quezada Address:	Contact Person: Daniel J. Kramer
City, State, Zip:	× .
Phon	онго
Email	
	ive a copy of the NRI Report?
Site Location & Proposed Use Township Name Seward	Tourselie 36 N. Sansa 8 F. Santian (s.) 49
Parcel Index Number(s) part of pins 09-18-300-018	Township 35 N, Range 8 E, Section(s) 18
Project or Subdivision Name	Number of Acres 10
Current Use of Site farmland	Proposed Use 2 single family homes
Proposed Number of Lots 2	Proposed Number of Structures 2
Proposed Water Supply well	Proposed type of Wastewater Treatment Septic
Proposed type of Storm Water Management	Topose sype of Trusteristic Teachiest Topos
In addition to this completed application form, plea Plat of Survey/Site Plan – showing location, lega Concept Plan - showing the locations of propose If available: topography map, field tile map, copy NRI fee (Please make checks payable to Kendali of the NRI fees, as of July 1, 2010, are as follows: Full Report: \$375.00 for five acres and under, p	rate page) filed with: Kendall County Planning, Building, & Zoning se including the following to ensure proper processing: I description and property measurements d lots, buildings, roads, stormwater detention, open areas, etc. of soil boring and/or wetland studies
Fee for first five acr <u>5</u> Additional / Total NRI Fee	es and under \$ 375.00. Acres at \$18.00 each \$ 90.00 \$ 465.00
NOTE: Applications are due by the 1 st of each month application is submitted, please allow 30 days for insp	to be on that month's SWCD Board Meeting Agenda. Once a completed pection, evaluation and processing of this report.
(We) understand the filing of this application allow Conservation District (SWCD) to visit and conduct an expiration date will be 3 years after the date reports Petitioner or Authorized A	
This report will be issued on a nondiscriminatory basis with	out regard to race, color, religion, national origin, age, sex, handicap or marital status.
FOR OFFICE USE ONLY NRI# Date initially rec'd Date Fee Due \$ Fee Paid \$ Chec	all rec'd Board Meeting k# Over/Under Payment Refund Due





11/11/2021

IDNR Project Number: 2206967

Applicant: Irma Loya Quezada

Contact: Address: DANIEL J. Kramer

Project: Quezada

Address: Brisbin Road, Minooka

Description: Rezone property to build two single family homes

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section:

35N, 8E, 18

IL Department of Natural Resources Contact Kyle Burkwald

217-785-5500

Division of Ecosystems & Environment



Government Jurisdiction

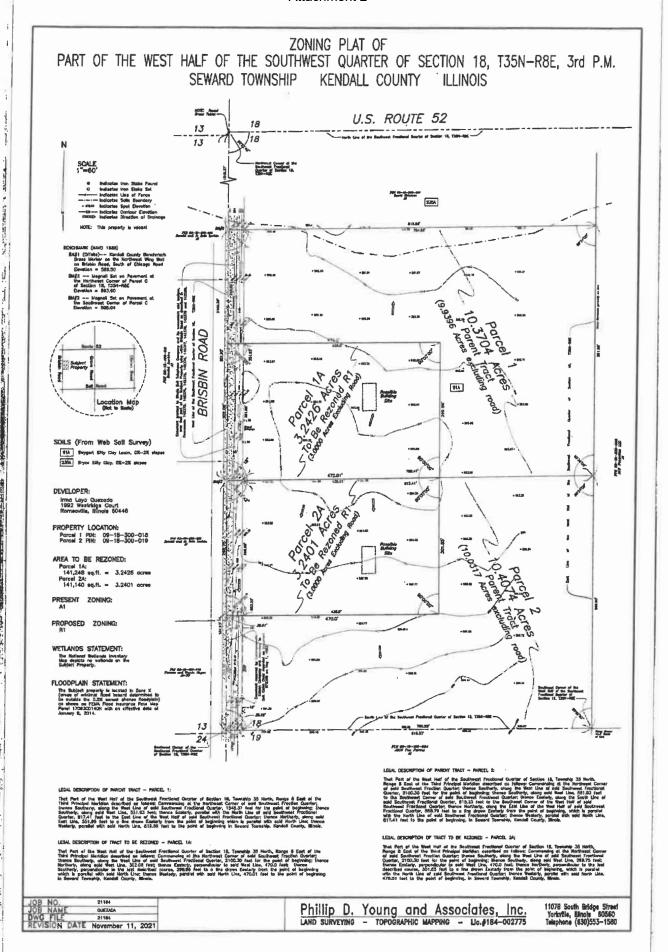
Kendall County Planning, Building, & Zoning

Matt Asselmeier 111 W Fox Street

Yorkville, Illinois 60560

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.





Legend

Legal Descriptions

Parcels





To the chairpersons concerning the public hearing Dec. 8th, 2021 and Dec. 13th, 2021. The people on Brisbin Road are voicing our disapproval to change the zoning from A1 to R1. This zoning change is in regards to properties bought by Irma Loya Quezada.

This property has been agricultural for at least a hundred plus years. Let's keep it so. NO, NO, NO to change. We are writing this letter, because some of us may not be able to attend the meetings. This letter should be just as good as being in person.

We are concerned these parcels will be used for bringing landscaping debris. Don Schuck has been dealing with Brian Holdiman from zoning board for four plus years over Nely Landscaping illegally working off his property. He has hauled in landscape material off jobs and has dumped, buried, and burned debris on his property.

We would like signed receipts of this letter to each person who signed it, by the chairperson of the committees.

Thank you for your time and listening to our concerns.
Signature
AMRON White Amy White
Print
14625 Frisher Od Minoha II 6047
Address

To the chairpersons concerning the public hearing Dec. 8th, 2021 and Dec. 13th, 2021. The people on Brisbin Road are voicing our disapproval to change the zoning from A1 to R1. This zoning change is in regards to properties bought by Irma Loya Quezada.

This property has been agricultural for at least a hundred plus years. Let's keep it so. NO, NO, NO to change. We are writing this letter, because some of us may not be able to attend the meetings. This letter should be just as good as being in person.

We are concerned these parcels will be used for bringing landscaping debris. I, Don Schuck, have been dealing with Brian Holdiman from zoning board for four plus years over Nely Landscaping illegally working off his property. He has hauled in landscape material off of jobs and has dumped, buried and burned debris on his property.

We would like signed receipts of this letter to each person who signed it, by the chairperson of the committees.

Thank you for your time and listening to our concerns.

DONALD SCHUCK SR
Print JAcqueline Schuck

14525 BrisBino Rd
14525 Brisbino Rd.

Minooka, ILL. 60447

Address
Minooka, II. 60447

To the chairpersons concerning the public hearing Dec. 8th, 2021 and Dec. 13th, 2021. The people on Brisbin Road are voicing our disapproval to change the zoning from A1 to R1. This zoning change is in regards to properties bought by Irma Loya Quezada.

This property has been agricultural for at least a hundred plus years. Let's keep it so. NO, NO, NO to change. We are writing this letter, because some of us may not be able to attend the meetings. This letter should be just as good as being in person.

We are concerned these parcels will be used for bringing landscaping debris. I, Don Schuck, have been dealing with Brian Holdiman from zoning board for four plus year over Nely Landscaping illegally working off his property. He has hauled in landscape material off of jobs and has dumped, buried and burned debris.

We would like signed receipts of this letter to each person who signed it, by the chairperson of the committees.

Signature

Signature

Signature

Print

5700 US HWN 52

MINOOKA, /C 60447

Address

To the chairpersons concerning the public hearing Dec. 8th, 2021 and Dec. 13th, 2021. The people on Brisbin Road are voicing our disapproval to change the zoning from A1 to R1. This zoning change is in regards to properties bought by Irma Loya Quezada.

This property has been agricultural for at least a hundred plus years. Let's keep it so. NO, NO, NO to change. We are writing this letter, because some of us may not be able to attend the meetings. This letter should be just as good as being in person.

We are concerned these parcels will be used for bringing landscaping debris. Don Schuck has been dealing with Brian Holdiman from zoning board for four plus years over Nely Landscaping illegally working off his property. He has hauled in landscape material off jobs and has dumped, buried, and burned debris on his property.

We would like signed receipts of this letter to each person who signed it, by the chairperson of the committees.

Thank you for your time and listening to our concerns.

Signature

Print

5765 US Hay. 52 Mirode, IL. 60447-9672

Address

To the chairpersons concerning the public hearing Dec. 8th, 2021 and Dec. 13th, 2021. The people on Brisbin Road are voicing our disapproval to change the zoning from A1 to R1. This zoning change is in regards to properties bought by Irma Loya Quezada.

This property has been agricultural for at least a hundred plus years. Let's keep it so. NO, NO, NO to change. We are writing this letter, because some of us may not be able to attend the meetings. This letter should be just as good as being in person.

We are concerned these parcels will be used for bringing landscaping debris. Don Schuck has been dealing with Brian Holdiman from zoning board for four plus years over Nely Landscaping illegally working off his property. He has hauled in landscape material off jobs and has dumped, buried, and burned debris on his property.

We would like signed receipts of this letter to each person who signed it, by the chairperson of the committees.

Thank you for your time and listening to our concerns.

Signature

Dustin Walzer

Print

14550 Brishin Rd

Minooka TL 60447

Address

H; Matt:

Sarry Due to Weather

I part get out of My

Dri vir way, Hope this is

Oh! I thought it wouldn't

Jet there by 26 via Mail!

Thank It.

TO: Kendall County planning commission

Jan. 21,2022

Re: Petition #21-49

As a neighbor on Brisbin Rd. - across the road from said property.

I stand with my neighbors to ask that this petition be denied...we would like A1 to stay A1.

We hope the zoning board will take our wishes into consideration when making their decision.

Sincerly Yours



Thomas & Wanda Hogan

14975 Brisbin Rd.

Minooka,IL. 60447

Attachment 5

Matt Asselmeier

From:

Real estate < realestate@dankramerlaw.com>

Sent:

Tuesday, December 7, 2021 11:28 AM

To:

Matt Asselmeier

Subject:

[External]Quezada Zoning Petition

Dear Matt:

Can you please continue the Quezda Potition from the December RPC and ZRA to the January RPC and

ZBA?

DO NOT RESPOND TO THIS EMAIL PLEASE SEND DIRECT TO: GREATHER GRANT MICHIGAN CONTROL OF THE PROPERTY OF THE PRO

Very Truly Yours,

Daniel J. Kramer Attorney at Law 1107A S. Bridge Street Yorkville, IL. 60560 Phone-630.553.9500 Fax-630.553.5764

NOTICE: This communication is covered by the Electronic Communications Privacy Act found at 18 USC 2510 et. seq. and is intended to remain confidential and is subject to the applicable attorney/client and or work product privileges. If you are not the intended recipient of this message, or if this message has been addressed to you in error, please immediately alert the sender by reply e-mail and then delete this message and all attachments. Do not deliver, distribute or copy this message and/or any attachments and do not disclose the contents or take any action in reliance upon the information contained in this communication or any attachments if you are not the intended recipient.

NATURAL RESOURCE INFORMATION (NRI) REPORT: #2120



Dec. 2021 Petitioner: Irma Loya Quezada Contact: Attorney Daniel J. Kramer

Prepared By:



7775A Route 47 Yorkville, Illinois 60560 Phone: (630) 553-5821 x3 www.kendallswcd.org

KENDALL COUNTY SOIL AND WATER CONSERVATION DISTRICT NATURAL RESOURCE INFORMATION (NRI) REPORT

Natural Resource Information Report Number	2120		
Date District Board Reviews Application	December 2021		
Applicant's Name	Irma Loya Quezada		
Size of Parcel	6.5 acres		
Current Zoning & Use	A-1 Agricultural; Cropland		
Proposed Zoning & Use	R-1 Residential;		
	Two Single-Family Homes		
Parcel Index Number(s)	09-18-300-018 & 09-18-300-019		
Contact Person	Attorney Daniel J. Kramer		

Copies of this report or notification of the proposed land-use change was provided to:	Yes	No
The Applicant	Х	
The Applicant's Legal Representation	×	
The Local/Township Planning Commission	x	
The Village/City/County Planning and Zoning Department or Appropriate Agency	Х	
The Kendall County Soil and Water Conservation District Files	X	

Report Prepared By: Alyse Olson Position: Resource Conservationist

PURPOSE AND INTENT

The purpose of this report is to provide officials of the local governing body and other decision-makers with natural resource information. This information may be useful when undertaking land use decisions concerning variations, amendments or relief of local zoning ordinances, proposed subdivision of vacant or agricultural lands and the subsequent development of these lands. This report is a requirement under Section 22.02a of the Illinois Soil and Water Conservation Districts Act.

The intent of this report is to present the most current natural resource information available in a readily understandable manner. It contains a description of the present site conditions, the present resources, and the potential impacts that the proposed change may have on the site and its resources. The natural resource information was gathered from standardized data, on-site investigations and information furnished by the petitioner. This report must be read in its entirety so that the relationship between the natural resource factors and the proposed land use change can be fully understood.

Due to the limitations of scale encountered with the various resource maps, the property boundaries depicted in the various exhibits in this report provide a generalized representation of the property location and may not precisely reflect the legal description of the PIQ (Parcel in Question).

This report, when used properly, will provide the basis for proper land use change decisions and development while protecting the natural resource base of the county. It should not be used in place of detailed environmental and/or engineering studies that are warranted under most circumstances, but in conjunction with those studies.

The conclusions of this report in no way indicate that a certain land use is not possible, but it should alert the reader to possible problems that may occur if the capabilities of the land are ignored. Any questions on the technical data supplied in this report or if anyone feels that they would like to see more additional specific information to make the report more effective, please contact:

> Kendall County Soil and Water Conservation District 7775A Route 47, Yorkville, IL 60560 Phone: (630) 553-5821 ext. 3

E-mail: Alyse.Olson@il.nacdnet.net

TABLE OF CONTENTS

EXECUTIVE SUMMARY	1
PARCEL LOCATION	7
ARCHAEOLOGIC/CULTURAL RESOURCES INFORMATION	9
ECOLOGICALLY SENSITIVE AREAS	10
SOILS INFORMATION	12
SOILS INTERPRETATIONS EXPLANATION	14
BUILDING LIMITATIONS	15
SOIL WATER FEATURES	20
SOIL EROSION AND SEDIMENT CONTROL	22
PRIME FARMLAND SOILS	23
LAND EVALUATION AND SITE ASSESSMENT (LESA)	24
LAND USE PLANS	26
DRAINAGE, RUNOFF, AND FLOOD INFORMATION	26
WATERSHED PLANS	30
WETLAND INFORMATION	31
HYDRIC SOILS	33
WETLAND AND FLOODPLAIN REGULATIONS	35
GLOSSARY	36
REFERENCES	39
LIST OF FIGURES	
FIGURE 1: Soil Map	2
FIGURE 2: Soil Limitations	
FIGURE 3: 2021 Plat Map	
FIGURE 4: 2019 Aerial Map with NRI Site Boundary	
FIGURE 5: Soil Map	
FIGURE 6A-6C: Maps of Building Limitations	17-19

FIGURE 7: Map of Prime Farmland Soils	23
FIGURE 8: FEMA Floodplain Map	28
FIGURE 9: USGS Topographic Map	29
FIGURE 10: Wetland Map – USFWS National Wetland Inventory	32
FIGURE 11: Hydric Soils Map	34
LIST OF TABLES	
TABLE 1: Soils Information	2
TABLE 2: Soil Limitations	4
TABLE 3: Soil Map Unit Descriptions	13
TABLE 4: Building Limitations	16
TABLE 5: Water Features	21
TABLE 6: Soil Erosion Potential	22
TABLE 7: Prime Farmland Soils	23
TABLE 8A: Land Evaluation Computation	24
TABLE 8B: Site Assessment Computation	25
TABLE 9: LESA Score Summary	25

EXECUTIVE SUMMARY

Natural Resource Information Report Number	#2120
·	
Petitioner	Irma Loya Quezada
Contact Person	Attorney Daniel J. Kramer
County or Municipality the Petition is Filed With	Kendall County
	SW ¼ of Section 18, Township 35 North, Range 8
Location of Parcel	East (Seward Township) of the 3 rd Principal
	Meridian
Project or Subdivision Name	Loya Quezada Re-Zoning
Troject of Subulvision Nume	20 ya Qaezada Ne Zonnig
Existing Zoning & Land Use	A-1 Agricultural; Cropland
Proposed Zoning & Land Use	R-1 Residential; Two Single-Family Homes
Proposed Water Source	Well
Proposed Type of Sewage Disposal System	Septic
D 17 (6) W 1 14	81/8
Proposed Type of Storm Water Management	N/A
Size of Site	6.5 acres
SIZE OF SIZE	U.J dCles
Land Evaluation Site Assessment Score	199 (Land Evaluation: 79; Site Assessment: 120)
	255 (222 27diddtion: 75, 51to 715555111611t. 126)

NATURAL RESOURCE CONSIDERATIONS

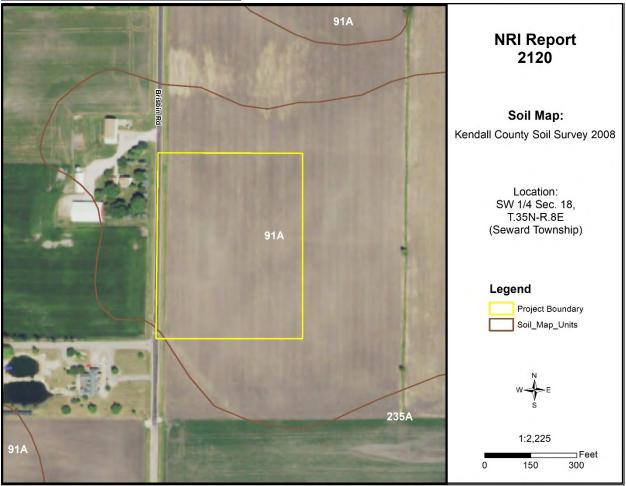


Figure 1: Soil Map

SOIL INFORMATION

Based on information from the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) 2008 Kendall County Soil Survey, this parcel is shown to contain the following soil types (please note this does not replace the need for or results of onsite soil testing; if completed, please refer to onsite soil test results for planning/engineering purposes):

Table 1: Soils Information

Map Unit	Soil Name	Drainage Class	Hydrologic Group	Hydric Designation	Farmland Designation
91A	Swygert silty clay loam, 0-2% slopes	Somewhat Poorly Drained	C/D	Non-Hydric	Prime Farmland
235A	Bryce silty clay, 0-2% slopes	Poorly Drained	C/D	Hydric	Prime Farmland if drained

Hydrologic Soil Groups – Soils have been classified into four (A, B, C, D) hydrologic groups based on runoff characteristics due to rainfall. If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D), the first letter is for drained areas and the second letter is for undrained areas.

- **Hydrologic group A:** Soils have a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.
- **Hydrologic group B:** Soils have a moderate infiltration rate when thoroughly wet, consist chiefly of moderately deep to deep, moderately well drained to well drained soils that have a moderately fine to moderately coarse texture. These soils have a moderate rate of water transmission.
- **Hydrologic group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.
- **Hydrologic group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

Hydric Soils – A hydric soil is one that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part of the soil profile that supports the growth or regeneration of hydrophytic vegetation. Soils with hydric inclusions have map units dominantly made up of non-hydric soils that may have inclusions of hydric soils in the lower positions on the landscape. Of the soils found onsite, one is classified as hydric soil (235A Bryce silty clay), and the remaining soil is classified as a non-hydric soil with hydric inclusions likely (91A Swygert silty clay loam).

Prime Farmland – Prime farmland is land that has the best combination of physical and chemical characteristics for agricultural production. Prime farmland soils are an important resource to Kendall County and some of the most productive soils in the United States occur locally. Of the soils found onsite, both are designated as prime farmland (91A Swygert silty clay loam and 235A Bryce silty clay). The 235A Bryce silty clay is considered prime farmland if drained.

Soil Limitations – The USDA-NRCS Web Soil Survey rates the limitations of soils for dwellings with basements, dwellings without basements, small commercial buildings, shallow excavations, lawns/landscaping, and local roads and streets. Soils have different properties which influence the development of building sites. The USDA-NRCS classifies soils as Not Limited, Somewhat Limited, and Very Limited. Soils that are Not Limited indicates that the soil has properties that are favorable for the specified use. They will perform well and will have low maintenance. Soils that are Somewhat Limited are moderately favorable, and their limitations can be overcome through special planning, design, or installation. Soils that are Very Limited have features that are unfavorable for the specified use, and their limitations cannot easily be overcome.

Table 2: Soil Limitations

Soil Type	Dwellings with Basements	Dwellings without Basements	Shallow Excavations	Lawns/ Landscaping	Conventional Septic Systems
91A	Very Limited	Somewhat Limited	Very Limited	Somewhat Limited	Suitable/ Not Limited
235A	Very Limited	Very Limited	Very Limited	Very Limited	Unsuitable/ Very Limited

Septic Systems – The factors considered for determining suitability are the characteristics and qualities of the soil that affect the limitations for absorbing waste from domestic sewage disposal systems. The major features considered are soil permeability, percolation rate, groundwater level, depth to bedrock, flooding hazards, and slope. Soils are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Installation of an on-site sewage disposal system in soils designated as unsuitable may necessitate the installation of a non-conventional onsite sewage disposal system. For more information please contact the Kendall County Health Department (811 W. John Street, Yorkville, IL; (630) 553-9100 ext. 8026).

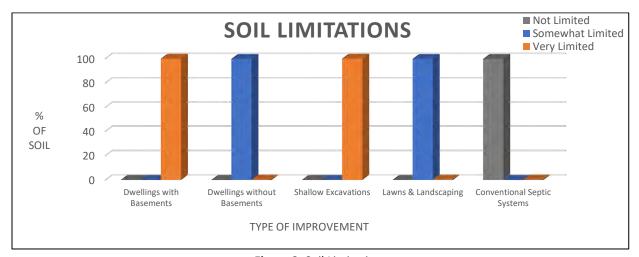


Figure 2: Soil Limitations

KENDALL COUNTY LAND EVALUATION AND SITE ASSESSMENT (LESA)

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

- Land Evaluation (LE): The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland, or forestland. The best group is assigned a value of 100 and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.
 - The Land Evaluation score for this site is 79, indicating that this site is not well suited for agricultural uses.

- Site Assessment (SA): The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Site Assessment value is based on a 200-point scale and accounts for 2/3 of the total score. The Kendall County LESA Committee is responsible for this portion of the LESA system.
 - The Site Assessment score for this site is 120.

The LESA Score for this site is 199 out of a possible 300, which indicates a low level of protection for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County. If the project is agricultural in nature, however, a higher score may provide an indication of the suitability of the project as it relates to the compatibility with existing agricultural land use.

WETLANDS

The U.S. Fish & Wildlife Service's National Wetlands Inventory map **does not indicate** the presence of a wetland(s) on the proposed project site. To determine if a wetland is present, a wetland delineation specialist, who is recognized by the U.S. Army Corps of Engineers, should determine the exact boundaries and value of the wetlands.

FLOODPLAIN

The Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Map (FIRM) for Kendall County, Community Panel No. 17093C0140H (effective date January 8, 2014) was reviewed to determine the presence of floodplain and floodway areas within the project site. According to the map, the parcel is **not located within** the floodplain or floodway.

SEDIMENT AND EROSION CONTROL

Development on this site should include an erosion and sediment control plan in accordance with local, state, and federal regulations. Soil erosion on construction sites is a resource concern because suspended sediment from areas undergoing development is a primary nonpoint source of water pollution. Please consult the *Illinois Urban Manual* (https://illinoisurbanmanual.org/) for appropriate best management practices.

LAND USE FINDINGS:

The Kendall County Soil and Water Conservation District (SWCD) Board has reviewed the proposed development plans for Petitioner Irma Loya Quezada for the proposed change in zoning from A-1 Agricultural to R-1 Single-Family Residential to construct two single-family homes on parts of two parcels (Parcel Index Numbers 09-18-300-018 & 09-18-300-019) within Seward Township of Kendall County located in the SW ¼ of Section 18, Township 35N, and Range 8E of the 3rd Principal Meridian. Based on the information provided by the petitioner and a review of natural resource related data available to the Kendall County SWCD, the SWCD Board presents the following information.

The Kendall County SWCD has always had the opinion that Prime Farmland should be preserved whenever feasible. Of the soils found onsite, 100% are classified as prime farmland or prime farmland if drained. A land evaluation (LE), which is a part of the Land Evaluation and Site Assessment (LESA), was conducted on this parcel. The soils on this parcel scored a 79 out of a possible 100 points indicating that the soils are not well suited for agricultural uses. The total LESA Score for this site is 199 out of a possible 300, which indicates a low level of protection for the proposed project site. Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County. If the project is agricultural in nature, however, a higher score may provide an indication of the suitability of the project as it relates to the compatibility with existing agricultural land use.

Soils found on the project site are rated for specific uses and can have potential limitations for development. Soil types with severe limitations do not preclude the ability to develop the site for the proposed use, but it is important to note that the limitation may require soil reclamation, special design/engineering, or maintenance to obtain suitable soil conditions to support development with significant limitations. This report indicates that for soils located on the parcel, 100% are very limited for dwellings with basements and shallow excavations and 0.2% are very limited for dwellings without basements and lawns/landscaping. The remaining land is considered somewhat limited for these types of developments/uses. Additionally, 0.2% of the soils are considered unsuitable for conventional septic systems. This information is based on the soil in an undisturbed state. If the scope of the project may include the use of onsite septic systems, please consult with the Kendall County Health Department.

This site is located within the Upper Illinois River watershed and the Minooka Branch Aux Sable Creek sub-watershed. This development should include a soil erosion and sediment control plan to be implemented during construction. Sediment may become a primary non-point source of pollution; eroded soils during the construction phase can create unsafe conditions on roadways, degrade water quality and destroy aquatic ecosystems lower in the watershed.

For intense use, it is recommended that a drainage tile survey be completed on the parcel to locate the subsurface drainage tile and should be taken into consideration during the land use planning process. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. Impaired tile may affect a few acres or hundreds of acres of drainage.

The information that is included in this Natural Resources Information Report is to assure that the Land Developers take into full consideration the limitations of that land that they wish to develop. Guidelines and recommendations are also a part of this report and should be considered in the planning process. The Natural Resource Information Report is required by the Illinois Soil and Water Conservation District Act (III. Complied Statues, Ch. 70, Par 405/22.02a).

SWCD Board Representative

Date

PARCEL LOCATION

Location Map for Natural Resources Information Report #2120

SW ¼ of Section 18, Township 35 North, Range 8 East (Seward Township) on 6.5 acres. This parcel is located on the east side of Brisbin Road, west of Grove Road, north of Bell Road, and south of U.S. Route 52 in Minooka, IL. The parcel is part of unincorporated Kendall County.

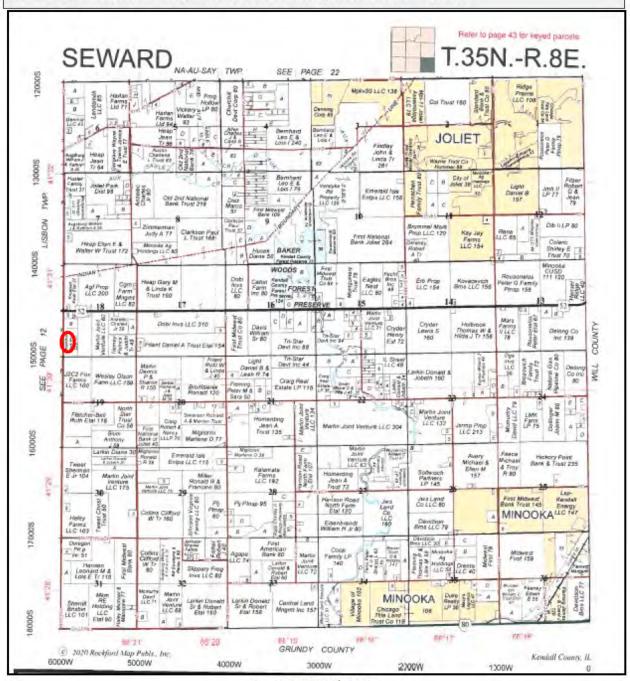


Figure 3: 2021 Plat Map

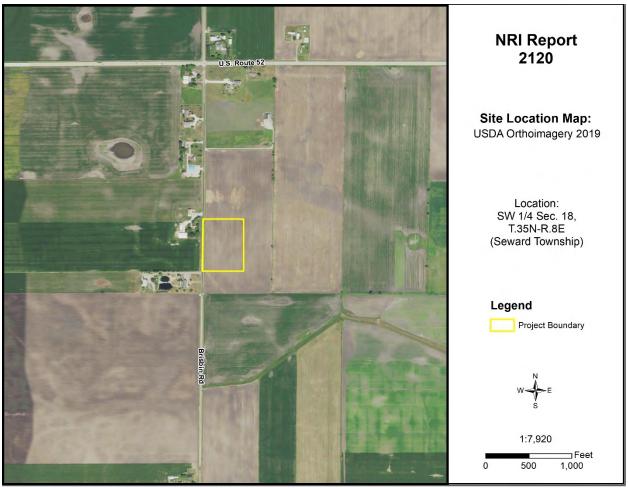


Figure 4: 2019 Aerial Map with NRI Site Boundary

ARCHAEOLOGIC/CULTURAL RESOURCES INFORMATION

Simply stated, cultural resources are all the past activities and accomplishments of people. They include the following: buildings; objects made or used by people; locations; and less tangible resources, such as stories, dance forms, and holiday traditions.

The Soil and Water Conservation District most often encounters cultural resources as historical properties. These may be prehistoric or historical sites, buildings, structures, features, or objects. The most common type of historical property that the Soil and Water Conservation District may encounter is non-structural archaeological sites. These sites often extend below the soil surface and must be protected against disruption by development or other earth moving activity if possible. Cultural resources are *non-renewable* because there is no way to "grow" a site to replace a disrupted site.

Landowners with historical properties on their land have ownership of that historical property. However, the State of Illinois owns all the following: human remains, grave markers, burial mounds, and artifacts associated with graves and human remains.

Non-grave artifacts from archaeological sites and historical buildings are the property of the landowner. The landowner may choose to disturb a historical property but may not receive federal or state assistance to do so. If an earth moving activity disturbs human remains, the landowner must contact the county coroner within 48 hours.

The Illinois Historic Preservation Agency has not been notified of the proposed land use change by the Kendall County SWCD. The applicant may need to contact the IHPA according to current Illinois law.

ECOLOGICALLY SENSITIVE AREAS

WHAT IS BIOLOGICAL DIVERSITY AND WHY SHOULD IT BE CONSERVED? 1

Biological diversity, or biodiversity, is the range of life on our planet. A more thorough definition is presented by botanist Peter H. Raven: "At the simplest level, biodiversity is the sum total of all the plants, animals, fungi and microorganisms in the world, or in a particular area; all of their individual variation; and all of the interactions between them. It is the set of living organisms that make up the fabric of the planet Earth and allow it to function as it does, by capturing energy from the sun and using it to drive all of life's processes; by forming communities of organisms that have, through the several billion years of life's history on Earth, altered the nature of the atmosphere, the soil and the water of our Planet; and by making possible the sustainability of our planet through their life activities now" (Raven 1994).

It is not known how many species occur on our planet. Presently, about 1.4 million species have been named. It has been estimated that there are perhaps 9 million more that have not been identified. What is known is that they are vanishing at an unprecedented rate. Reliable estimates show extinction occurring at a rate several orders of magnitude above "background" in some ecological systems (Wilson 1992, Hoose 1981).

The reasons for protecting biological diversity are complex, but they fall into four major categories. First, loss of diversity generally weakens entire natural systems. Healthy ecosystems tend to have many natural checks and balances. Every species plays a role in maintaining this system. When simplified by the loss of diversity, the system becomes more susceptible to natural and artificial perturbations. The chances of a system-wide collapse increase. In parts of the midwestern United States, for example, it was only the remnant areas of natural prairies that kept soil intact during the dust bowl years of the 1930s (Roush 1982).

Simplified ecosystems are almost always expensive to maintain. For example, when synthetic chemicals are relied upon to control pests, the target species are not the only ones affected. Their predators are almost always killed or driven away, exasperating the pest problem. In the meantime, people are unintentionally breeding pesticide-resistant pests. A process has begun where people become perpetual guardians of the affected area, which requires the expenditure of financial resources and human ingenuity to keep the system going.

A second reason for protecting biological diversity is that it represents one of our greatest untapped resources. Great benefits can be reaped from a single species. About 20 species provide 90% of the world's food. Of these 20, just three, wheat, maize, and rice-supply over one half of that food. American wheat farmers need new varieties every five to 15 years to compete with pests and diseases. Wild strains of wheat are critical genetic reservoirs for these new varieties.

Further, every species is a potential source of human medicine. In 1980, a published report identified the market value of prescription drugs from higher plants at over \$3 billion. Organic alkaloids, a class of

chemical compounds used in medicines, are found in an estimated 20% of plant species. Yet only 2% of plant species have been screened for these compounds (Hoose 1981).

The third reason for protecting diversity is that humans benefit from natural areas and depend on healthy ecosystems. The natural world supplies our air, our water, our food and supports human economic activity. Further, humans are creatures that evolved in a diverse natural environment between forest and grasslands. People need to be reassured that such places remain. When people speak of "going to the country," they generally mean more than getting out of town. For reasons of their own sanity and wellbeing, they need a holistic, organic experience. Prolonged exposure to urban monotony produces neuroses, for which cultural and natural diversity cure.

Historically, the lack of attention to biological diversity, and the ecological processes it supports, has resulted in economic hardships for segments of the basin's human population.

The final reason for protecting biological diversity is that species and natural systems are intrinsically valuable. The above reasons have focused on the benefits of the natural world to humans. All things possess intrinsic value simply because they exist.

BIOLOGICAL RESOURCES CONCERNING THE SUBJECT PARCEL

As part of the Natural Resources Information Report, staff checks office maps to determine if any nature preserves or ecologically sensitive areas are in the general vicinity of the parcel in question. If there is a nature preserve in the area, then that resource will be identified as part of the report. The SWCD recommends that every effort be made to protect that resource. Such efforts should include, but are not limited to erosion control, sediment control, stormwater management, and groundwater monitoring.

Office maps indicate that ecologically sensitive area(s) are <u>not</u> located on or near the parcel in question (PIQ).

11

¹Taken from <u>The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities</u>, prepared by the Nature Conservancy Great Lakes Program 79W. Monroe Street, Suite 1309, Chicago, IL 60603, January 1994.

SOILS INFORMATION

IMPORTANCE OF SOILS INFORMATION

Soils information comes from the Natural Resources Conservation Service Soil Maps and Descriptions for Kendall County. This information is important to all parties involved in determining the suitability of the proposed land use change.

Each soil polygon is given a number, which represents its soil type. The letter found after the soil type number indicates the soils slope class.

Each soil map unit has limitations for a variety of land uses such as septic systems, buildings with basements, and buildings without basements. It is important to remember that soils do not function independently of each other. The behavior of a soil depends upon the physical properties of adjacent soil types, the presence of artificial drainage, soil compaction, and its position in the local landscape.

The limitation categories (not limited, somewhat limited, or very limited) indicate the potential for difficulty in using that soil unit for the proposed activity and, thus, the degree of need for thorough soil borings and engineering studies. A limitation does not necessarily mean that the proposed activity cannot be done on that soil type. It does mean that the reasons for the limitation need to be thoroughly understood and dealt with to complete the proposed activity successfully. Very limited indicates that the proposed activity will be more difficult and costly to do on that soil type than on a soil type with a somewhat limited or not limited rating.

Soil survey interpretations are predictions of soil behavior for specified land uses and specified management practices. They are based on the soil properties that directly influence the specified use of the soil. Soil survey interpretations allow users of soil surveys to plan reasonable alternatives for the use and management of soils.

Soil interpretations do not eliminate the need for on-site study and testing of specific sites for the design and construction for specific uses. They can be used as a guide for planning more detailed investigations and for avoiding undesirable sites for an intended use. The scale of the maps and the range of error limit the use of the soil delineation.

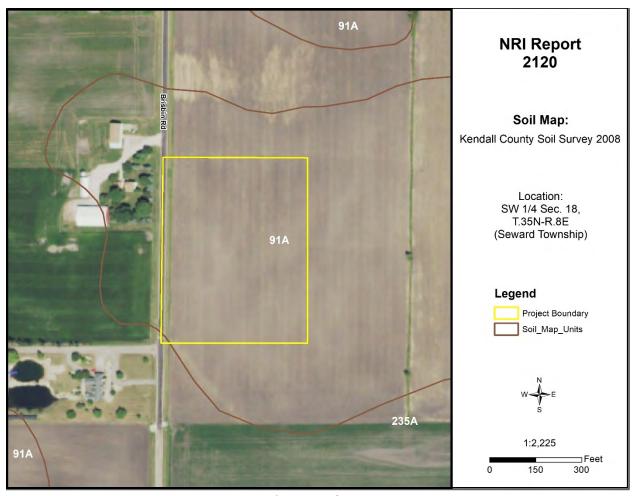


Figure 5: Soil Map

 Table 3: Soil Map Unit Descriptions

Symbol	Descriptions	Acres	Percent
91A	Swygert silty clay loam, 0-2% slopes	6.5	99.8%
235A	Bryce silty clay, 0-2% slopes	0.0	0.2%

Source: National Cooperative Soil Survey – USDA-NRCS

SOILS INTERPRETATIONS EXPLANATION

GENERAL – NONAGRICULTURAL

These interpretative ratings help engineers, planners, and others to understand how soil properties influence behavior when used for nonagricultural uses such as building site development or construction materials. This report gives ratings for proposed uses in terms of limitations and restrictive features. The tables list only the most restrictive features.

Other features may need treatment to overcome soil limitations for a specific purpose. Ratings come from the soil's "natural" state, that is, no unusual modification occurs other than that which is considered normal practice for the rated use. Even though soils may have limitations, an engineer may alter soil features or adjust building plans for a structure to compensate for most degrees of limitations. Most of these practices, however, are costly. The final decision in selecting a site for a particular use generally involves weighing the costs for site preparation and maintenance. Soil properties influence development of building sites, including the selection of the site, the design of the structure, construction, performance after construction, and maintenance. Soil limitation ratings of not limited, somewhat limited, and very limited are given for the types of proposed improvements that are listed or inferred by the petitioner as entered on the report application and/or zoning petition. The most common types of building limitation that this report gives limitations ratings for is septic systems. It is understood that engineering practices can overcome most limitations for buildings with and without basements, and small commercial buildings. Limitation ratings for these types of buildings are not commonly provided. Organic soils, when present on the parcel, are referenced in the hydric soils section of the report. This type of soil is considered unsuitable for all types of construction.

LIMIATIONS RATINGS

- **Not Limited:** This soil has favorable properties for the use. The degree of limitation is minor. The people involved can expect good performance and low maintenance.
- Somewhat Limited: This soil has moderately favorable properties for the use. Special planning, design, or maintenance can overcome this degree of limitation. During some part of the year, the expected performance is less desirable than for soils rated slight.
- Very Limited: This soil has one or more properties that are unfavorable for the rated use. These
 may include the following: steep slopes, bedrock near the surface, flooding, high shrink-swell
 potential, a seasonal high water table, or low strength. This degree of limitation generally requires
 major soil reclamation, special design, or intensive maintenance, which in most situations is
 difficult and costly.

BUILDING LIMITATIONS

BUILDING ON POORLY SUITED OR UNSUITABLE SOILS

Building on poorly suited or unsuitable soils can present problems to future property owners such as cracked foundations, wet basements, lowered structural integrity and high maintenance costs associated with these problems. The staff of the Kendall County SWCD strongly urges scrutiny by the plat reviewers when granting parcels with these soils exclusively.

Dwellings with Basements – Ratings are for undisturbed soil for a building structure of less than 3 stories with a basement. The foundation is assumed to be spread footings of reinforced concrete built on undisturbed soil at a depth of about 7 feet. The ratings for dwellings are based on soil properties that affect the capacity of the soil to support a load without movement and on the properties that affect excavation and construction costs.

Dwellings without Basements – Ratings are for undisturbed soil for a house of three stories or less than 3 stories without a basement. The foundation is assumed to be spread footings of reinforced concrete at a depth of 2 feet or the depth of maximum frost penetration, whichever is deeper. The ratings for dwellings are based on soil properties that affect the capacity of the soil to support a load without movement and on the properties that affect excavation and construction costs.

Shallow Excavations – Trenches or holes dug to a maximum depth of 5 or 6 feet for utility lines, open ditches, or other purposes. Ratings are based on soil properties that influence the ease of digging and the resistance to sloughing.

Lawns and Landscaping – Require soils on which turf and ornamental trees and shrubs can be established and maintained (irrigation is not considered in the ratings). The ratings are based on the soil properties that affect plant growth and trafficability after vegetation is established.

Onsite Sewage Disposal – The factors considered are the characteristics and qualities of the soil that affect the limitations for absorbing waste from domestic sewage disposal systems. The major features considered are soil permeability, percolation rate, groundwater level, depth to bedrock, flooding hazards, and slope. The table below indicates soils that are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Installation of an on-site sewage disposal system in soils designated as unsuitable may necessitate the installation of a non-conventional onsite sewage disposal system. For more information please contact the Kendall County Health Department – Environmental Health at (630) 553-9100 x8026.

Table 4: Building Limitations

Soil Type	Dwellings with Basements	Dwellings without Basements	Shallow Excavations	Lawns & Landscaping	Onsite Conventional Sewage Systems	Acres	%
	Depth to saturated zone;	Somewhat Limited: Depth to saturated zone; Shrink-swell	Very Limited: Depth to saturated zone; Too clayey; Dusty; Unstable excavation walls	Somewhat Limited: Depth to saturated zone; Dusty	Suitable/Not Limited	6.5	99.8%
	Ponding; Depth to saturated zone;	Very Limited: Ponding; Depth to saturated zone; Shrink-swell	Very Limited: Ponding; Depth to saturated zone; Too clayey; Unstable excavation walls; Dusty	Ponding; Depth to saturated zone; Too clayey;	Unsuitable/Very Limited: Wet	0.0	0.2%
% Very Limited	100%	0.2%	100%	0.2%	0.2%		

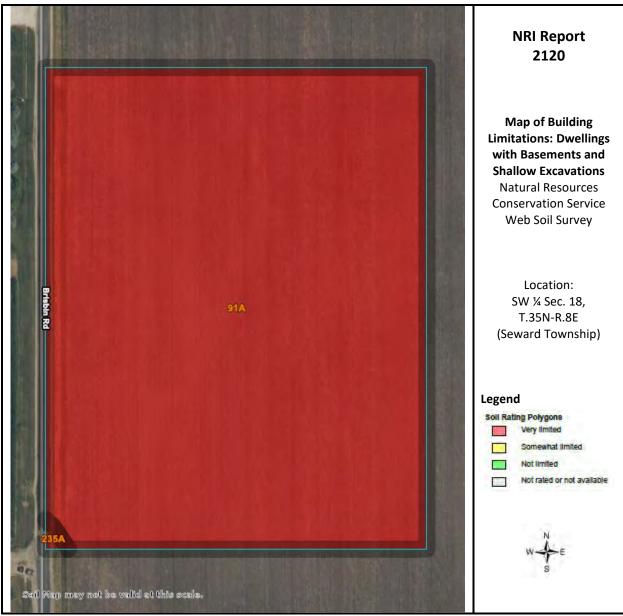


Figure 6A: Map of Building Limitations – Dwellings with Basements and Shallow Excavations

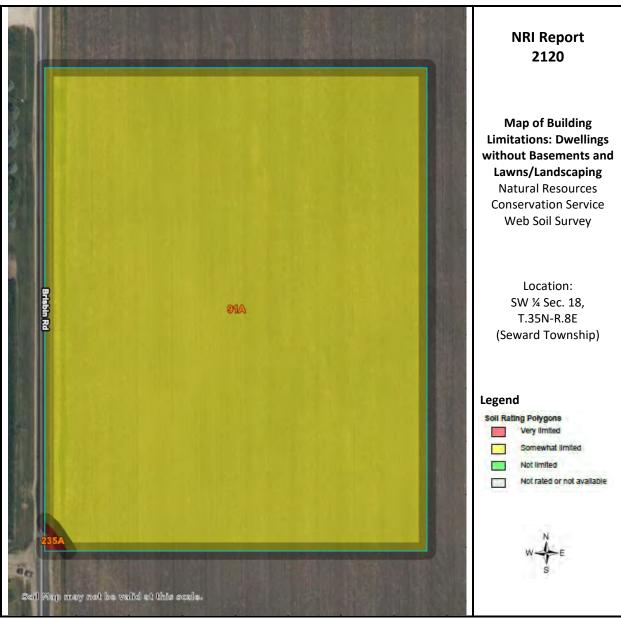


Figure 6B: Map of Building Limitations – Dwellings without Basements and Lawns/Landscaping

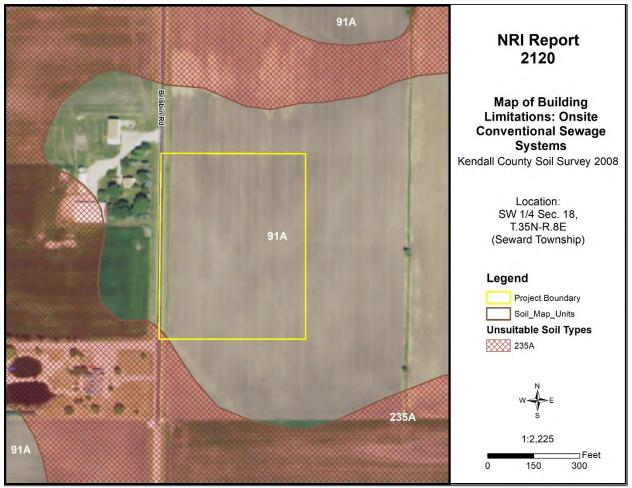


Figure 6C: Map of Building Limitations – Onsite Conventional Sewage System

SOIL WATER FEATURES

Table 5, below, gives estimates of various soil water features that should be taken into consideration when reviewing engineering for a land use project.

HYDROLOGIC SOIL GROUPS (HSGs) — The groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

- **Group A:** Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.
- **Group B:** Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained, or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.
- **Group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.
- **Group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

Note: If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D) the first letter is for drained areas and the second is for undrained areas.

SURFACE RUNOFF – Surface runoff refers to the loss of water from an area by flow over the land surface. Surface runoff classes are based upon slope, climate and vegetative cover and indicates relative runoff for very specific conditions (it is assumed that the surface of the soil is bare and that the retention of surface water resulting from irregularities in the ground surface is minimal). The classes are negligible, very low, low, medium, high, and very high.

MONTHS – The portion of the year in which a water table, ponding, and/or flooding is most likely to be a concern.

WATER TABLE – Water table refers to a saturated zone in the soil and the data indicates, by month, depth to the top (upper limit) and base (lower limit) of the saturated zone in most years. These estimates are based upon observations of the water table at selected sites and on evidence of a saturated zone (grayish colors or mottles (redoximorphic features)) in the soil. Note: A saturated zone that lasts for less than a month is not considered a water table.

PONDING – Ponding refers to standing water in a closed depression, and the data indicates surface water depth, duration, and frequency of ponding.

- **Duration:** Expressed as *very brief* if less than 2 days, *brief* if 2 to 7 days, *long* if 7 to 30 days and *very long* if more than 30 days.
- **Frequency:** Expressed as: *none* meaning ponding is not possible; *rare* means unlikely but possible under unusual weather conditions (chance of ponding is 0-5% in any year); *occasional* means that it occurs, on the average, once or less in 2 years (chance of ponding is 5 to 50% in any year); and frequent means that it occurs, on the average, more than once in 2 years (chance of ponding is more than 50% in any year).

FLOODING – The temporary inundation of an area caused by overflowing streams, by runoff from adjacent slopes, or by tides. Water standing for short periods after rainfall or snowmelt is not considered flooding, and water standing in swamps and marshes is considered ponding rather than flooding.

- **Duration:** Expressed as: *extremely brief* if 0.1 hour to 4 hours; *very brief* if 4 hours to 2 days; *brief* if 2 to 7 days; *long* if 7 to 30 days; and *very long* if more than 30 days.
- Frequency: Expressed as: none means flooding is not probable; very rare means that it is very unlikely but possible under extremely unusual weather conditions (chance of flooding is less than 1% in any year); rare means that it is unlikely but possible under unusual weather conditions (chance of flooding is 1 to 5% in any year); occasional means that it occurs infrequently under normal weather conditions (chance of flooding is 5 to 50% in any year but is less than 50% in all months in any year); and very frequent means that it is likely to occur very often under normal weather conditions (chance of flooding is more than 50% in all months of any year).

Note: The information is based on evidence in the soil profile. In addition, consideration is also given to local information about the extent and levels of flooding and the relation of each soil on the landscape to historic floods. Information on the extent of flooding based on soil data is less specific than that provided by detailed engineering surveys that delineate flood-prone areas at specific flood frequency levels.

Table 5: Water Features

Map Unit	Hydrologic Group	Surface Runoff	Water Table	Ponding	Flooding
91A	C/D	Medium	January – May	January – December	January – December
			Upper Limit: 1.0'-2.0'	Surface Water Depth:	Duration:
			Lower Limit: 2.9'-4.8'	Duration:	Frequency: None
			<u>December</u>	Frequency: None	
			Upper Limit:		
			Lower Limit:		
235A	C/D	Negligible	January – May	January – May	January – December
			Upper Limit: 0.0'-1.0'	Surface Water Depth: 0.0'-0.5'	Duration:
			Lower Limit: 6.0'	Duration : Brief (2 to 7 days)	Frequency: None
			<u>June – December</u>	Frequency: Frequent	
			Upper Limit:	<u>June – December</u>	
			Lower Limit:	Surface Water Depth:	
				Duration:	
				Frequency: None	

SOIL EROSION AND SEDIMENT CONTROL

Erosion is the wearing away of the soil by water, wind, and other forces. Soil erosion threatens the Nation's soil productivity and contributes the most pollutants in our waterways. Water causes about two thirds of erosion on agricultural land. Four properties, mainly, determine a soil's erodibility: texture, slope, structure, and organic matter content.

Slope has the most influence on soil erosion potential when the site is under construction. Erosivity and runoff increase as slope grade increases. The runoff then exerts more force on the particles, breaking their bonds more readily and carrying them farther before deposition. The longer water flows along a slope before reaching a major waterway, the greater the potential for erosion.

Soil erosion during and after this proposed construction can be a primary non-point source of water pollution. Eroded soil during the construction phase can create unsafe conditions on roadways, decrease the storage capacity of lakes, clog streams and drainage channels, cause deterioration of aquatic habitats, and increase water treatment costs. Soil erosion also increases the risk of flooding by choking culverts, ditches, and storm sewers and by reducing the capacity of natural and man-made detention facilities.

The general principles of erosion and sedimentation control measures include:

- Reducing or diverting flow from exposed areas, storing flows, or limiting runoff from exposed areas
- Staging construction to keep disturbed areas to a minimum
- Establishing or maintaining temporary or permanent groundcover
- Retaining sediment on site
- Properly installing, inspecting, and maintaining control measures

Erosion control practices are useful controls only if they are properly located, installed, inspected, and maintained.

The SWCD recommends an erosion and sediment control plan for all building sites, especially if there is a wetland or stream nearby.

Table 6: Soil Erosion Potential

Soil Type	Slope	Rating	Acreage	Percent of Parcel
91A	0-2%	Slight	6.5	99.8%
235A	0-2%	Slight	0.0	0.2%

PRIME FARMLAND SOILS

Prime farmland soils are an important resource to Kendall County. Some of the most productive soils in the United States occur locally. Each soil map unit in the United States is assigned a prime or non-prime rating. Prime agricultural land does not need to be in the production of food & fiber.

Section 310 of the NRCS general manual states that urban or built-up land on prime farmland soils is <u>not</u> prime farmland. The percentages of soils map units on the parcel reflect the determination that urban or built up land on prime farmland soils is not prime farmland.

Table 7: Prime Farmland Soils

Soil Types	Prime Designation	Acreage	Percent
91A	Prime Farmland	6.5	99.8%
235A	Prime Farmland if drained	0.0	0.2%
% Prime Farmland	100%		

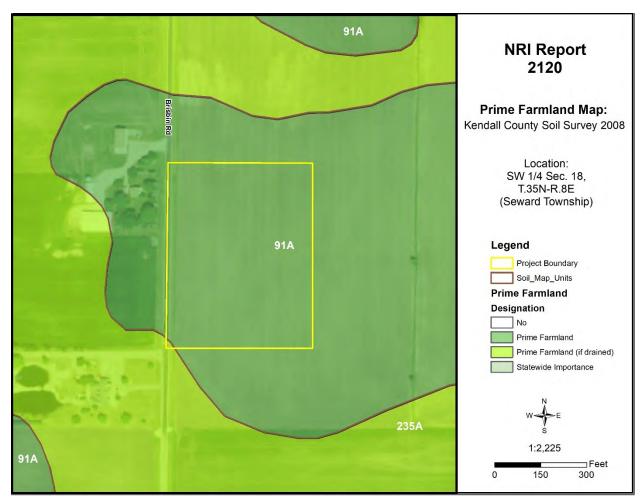


Figure 7: Map of Prime Farmland Soils

LAND EVALUATION AND SITE ASSESSMENT (LESA)

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

LAND EVALUATION (LE)

The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland, or forestland. The best group is assigned a value of 100, and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The LE score is calculated by multiplying the relative value of each soil type by the number of acres of that soil. The sum of the products is then divided by the total number of acres; the answer is the Land Evaluation score on this site. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.

SITE ASSESSMENT (SA)

The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The value group is a predetermined value based upon prime farmland designation. The Kendall County LESA Committee is responsible for this portion of the LESA system.

Please Note: A land evaluation (LE) score will be compiled for every project parcel. However, when a parcel is located within municipal planning boundaries, a site assessment (SA) score is not compiled as the scoring factors are not applicable. As a result, only the LE score is available, and a full LESA score is unavailable for the parcel.

Table 8A: Land Evaluation Computation

Soil Type	Value Group	Relative Value	Acres	Product (Relative Value x Acres)	
91A	4	79	6.5	513.5	
235A	3	87	0.0	0	
Totals			6.5	513.5	
LE Calculation			(Product of relative value / Total Acres)		
			513.5 / 6.5 = 79		
LE Score			LE = 79		

The Land Evaluation score for this site is 79, indicating that this site is not well suited for agricultural uses considering the Land Evaluation score is below 80.

Table 8B: Site Assessment Computation

A.	Agricultural Land Uses	Points
	1. Percentage of area in agricultural uses within 1.5 miles of site. (20-10-5-0)	20
	2. Current land use adjacent to site. (30-20-15-10-0)	20
	3. Percentage of site in agricultural production in any of the last 5 years. (20-15-10-5-0)	20
	4. Size of site. (30-15-10-0)	0
В.	Compatibility / Impact on Uses	
	1. Distance from city or village limits. (20-10-0)	10
	2. Consistency of proposed use with County Land Resource Management Concept Plan	0
	and/or municipal comprehensive land use plan. (20-10-0)	
	3. Compatibility of agricultural and non-agricultural uses. (15-7-0)	7
C.	Existence of Infrastructure	
	1. Availability of public sewage system. (10-8-6-0)	10
	2. Availability of public water system. (10-8-6-0)	10
	3. Transportation systems. (15-7-0)	15
	4. Distance from fire protection service. (10-8-6-2-0)	8
	Site Assessment Score:	120

The Site Assessment score for this site is 120. The Land Evaluation value (79) is added to the Site Assessment value (120) to obtain a LESA Score of 199. The table below shows the level of protection for the proposed project site based on the LESA Score.

Table 9: LESA Score Summary

<u> </u>			
LESA SCORE	LEVEL OF PROTECTION		
<mark>0-200</mark>	Low		
201-225	Medium		
226-250	High		
251-300	Very High		

Land Evaluation Value: $\underline{79}$ + Site Assessment Value: $\underline{120}$ = LESA Score: $\underline{199}$

The LESA Score for this site is 199 which indicates a low level of protection for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County. If the project is agricultural in nature, however, a higher score may provide an indication of the suitability of the project as it relates to the compatibility with existing agricultural land use.

LAND USE PLANS

Many counties, municipalities, villages, and townships have developed land-use plans. These plans are intended to reflect the existing and future land-use needs of a given community. Please contact the Kendall County Planning, Building & Zoning for information regarding the County's comprehensive land use plan and map.

DRAINAGE, RUNOFF, AND FLOOD INFORMATION

U.S.G.S Topographic maps give information on elevations, which are important mostly to determine slopes, drainage directions, and watershed information.

Elevations determine the area of impact of floods of record. Slope information determines steepness and erosion potential. Drainage directions determine where water leaves the PIQ, possibly impacting surrounding natural resources.

Watershed information is given for changing land use to a subdivision type of development on parcels greater than 10 acres.

WHAT IS A WATERSHED?

Simply stated, a watershed is the area of land that contributes water to a certain point. The watershed boundary is important because the area of land in the watershed can now be calculated using an irregular shape area calculator such as a dot counter or planimeter.

Using regional storm event information, and site-specific soils and land use information, the peak stormwater flow through the point marked "O" for a specified storm event can be calculated. This value is called a "Q" value (for the given storm event) and is measured in cubic feet per second (CFS).

When construction occurs, the Q value naturally increases because of the increase in impermeable surfaces. This process decreases the ability of soils to accept and temporarily hold water. Therefore, more water runs off and increases the Q value.

Theoretically, if each development, no matter how large or small, maintains their preconstruction Q value after construction by the installation of stormwater management systems, the streams and wetlands and lakes will not suffer damage from excessive urban stormwater.

For this reason, the Kendall County SWCD recommends that the developer for intense uses such as a subdivision calculate the preconstruction Q value for the exit point(s). A stormwater management system

should be designed, installed, and maintained to limit the postconstruction Q value to be at or below the preconstruction value.

IMPORTANCE OF FLOOD INFORMATION

A floodplain is defined as land adjoining a watercourse (riverine) or an inland depression (non-riverine) that is subject to periodic inundation by high water. Floodplains are important areas demanding protection since they have water storage and conveyance functions which affect upstream and downstream flows, water quality and quantity, and suitability of the land for human activity. Since floodplains play distinct and vital roles in the hydrologic cycle, development that interferes with their hydrologic and biologic functions should be carefully considered.

Flooding is both dangerous to people and destructive to their properties. The following maps, when combined with wetland and topographic information, can help developers and future homeowners to "sidestep" potential flooding or ponding problems.

FIRM is the acronym for the Flood Insurance Rate Map, produced by the Federal Emergency Management Agency (FEMA). These maps define flood elevation adjacent to tributaries and major bodies of water and superimpose that onto a simplified USGS topographic map. The scale of the FIRM maps is generally dependent on the size and density of parcels in that area. (This is to correctly determine the parcel location and floodplain location.) The FIRM map has three (3) zones. Zone A includes the 100-year flood, Zone B or Zone X (shaded) is the 100 to 500-year flood, and Zone C or Zone X (unshaded) is outside the floodplain.

The Hydrologic Atlas (H.A.) Series of the Flood of Record Map is also used for the topographic information. This map is different from the FIRM map mainly because it will show isolated or pocketed flooded areas. Kendall County uses both these maps in conjunction with each other for flooded area determinations. The Flood of Record maps show the areas of flood for various years. Both maps <u>stress</u> that the recurrence of flooding is merely statistical. A 100-year flood may occur twice in one year, or twice in one week, for that matter.

It should be noted that greater floods than those shown on the two maps are possible. The flood boundaries indicated provide a historic record only until the map publication date. Additionally, these flood boundaries are a function of the watershed conditions existing when the maps were produced. Cumulative changes in runoff characteristics caused by urbanization can result in an increase in flood height of future flood episodes.

Floodplains play a vital role in reducing the flood damage potential associated with an urbanizing area and, when left in an undisturbed state, also provide valuable wildlife habitat benefits. If it is the petitioner's intent to conduct floodplain filling or modification activities, the petitioner, and the Unit of Government responsible need to consider the potentially adverse effects this type of action could have on adjacent properties. The change or loss of natural floodplain storage often increases the frequency and severity of flooding on adjacent property.

If the available maps indicate the presence of a floodplain on the PIQ, the petitioner should contact the IDOT-OWR and FEMA to delineate a floodplain elevation for the parcel. If a portion of the property is indeed floodplain, applicable state, county, and local regulations will need to be reflected in the site plans.

Another indication of flooding potential can be found in the soils information. Hydric soils indicate the presence of drainageways, areas subject to ponding, or a naturally occurring high water table. These need to be considered along with the floodplain information when developing the site plan and the stormwater management plan. Development on hydric soils can contribute to the loss of water storage within the soil and the potential for increased flooding in the area.

This parcel is located on minimal topography (slopes 0 to 2%) with an elevation of approximately 594' above sea level. According to the FIRM map, the parcel in question does not contain floodway or floodplain. The parcel drains predominantly south/southeast.

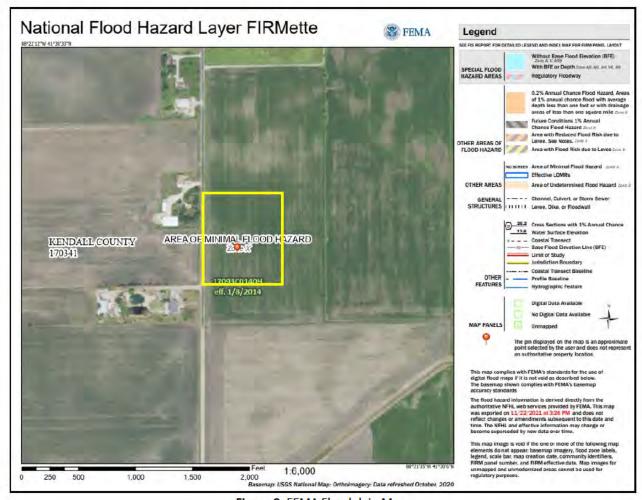


Figure 8: FEMA Floodplain Map

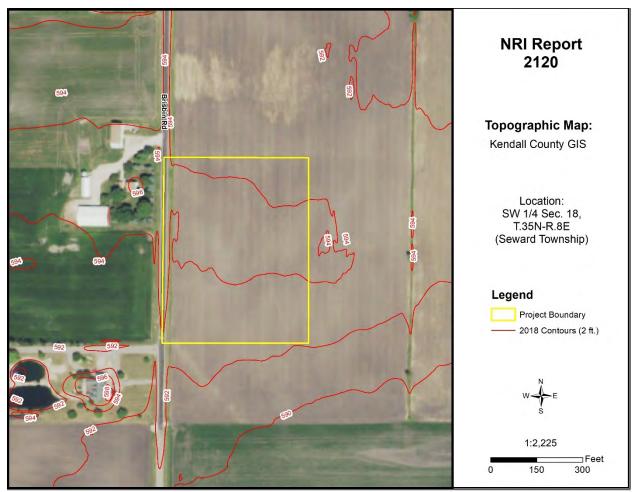


Figure 9: Topographic Map

WATERSHED PLANS

WATERSHED AND SUB WATERSHED INFORMATION

A watershed is the area of land that drains into a specific point including a stream, lake, or other body of water. High points on the Earth's surface, such as hills and ridges define watersheds. When rain falls in the watershed, it flows across the ground towards a stream or lake. Rainwater carries pollutants such as oils, pesticides, and soil.

Everyone lives in a watershed. Their actions can impact natural resources and people living downstream. Residents can minimize this impact by being aware of their environment and the implications of their activities, implementing practices recommended in watershed plans, and educating others about their watershed.

The following are recommendations to developers for protection of this watershed:

- Preserve open space
- Maintain wetlands as part of development
- Use natural water management
- Prevent soil from leaving a construction site
- Protect subsurface drainage
- Use native vegetation
- Retain natural features
- Mix housing styles and types
- Decrease impervious surfaces
- Reduce area disturbed by mass grading
- Shrink lot size and create more open space
- Maintain historical and cultural resources
- Treat water where it falls
- Preserve views
- Establish and link trails

This parcel is located within the Upper Illinois River Watershed and the Minooka Branch Aux Sable Creek Sub Watershed.

WETLAND INFORMATION

IMPORTANCE OF WETLAND INFORMATION

Wetlands function in many ways to provide numerous benefits to society. They control flooding by offering a slow release of excess water downstream or through the soil. They cleanse water by filtering out sediment and some pollutants and can function as rechargers of our valuable groundwater. They also are essential breeding, rearing, and feeding grounds for many species of wildlife.

These benefits are particularly valuable in urbanizing areas as development activity typically adversely affects water quality, increases the volume of stormwater runoff, and increases the demand for groundwater. In an area where many individual homes rely on shallow groundwater wells for domestic water supplies, activities that threaten potential groundwater recharge areas are contrary to the public good. The conversion of wetlands, with their sediment trapping and nutrient absorbing vegetation, to biologically barren stormwater detention ponds can cause additional degradation of water quality in downstream or adjacent areas.

It has been estimated that over 95% of the wetlands that were historically present in Illinois have been destroyed while only recently has the true environmental significance of wetlands been fully recognized. America is losing 100,000 acres of wetland a year and has saved 5 million acres total (since 1934). One acre of wetland can filter 7.3 million gallons of water a year. These are reasons why our wetlands are high quality and important.

This section contains the NRCS (Natural Resources Conservation Service) Wetlands Inventory, which is the most comprehensive inventory to date. The NRCS Wetlands Inventory is reproduced from an aerial photo at a scale of 1" equals 660 feet. The NRCS developed these maps in cooperation with U.S. EPA (Environmental Protection Agency,) and the U.S. Fish and Wildlife Service, using the National Food Security Act Manual, 3rd Edition. The main purpose of these maps is to determine wetland areas on agricultural fields and areas that may be wetlands but are in a non-agriculture setting.

The NRCS Wetlands Inventory in no way gives an exact delineation of the wetlands, but merely an outline, or the determination that there is a wetland within the outline. For the final, most accurate wetland **determination** of a specific wetland, a wetland **delineation** must be certified by NRCS staff using the National Food Security Act Manual (on agricultural land.) On urban land, a certified wetland delineator must perform the delineation using the ACOE 1987 Manual. See the glossary section for the definitions of "delineation" and "determination.

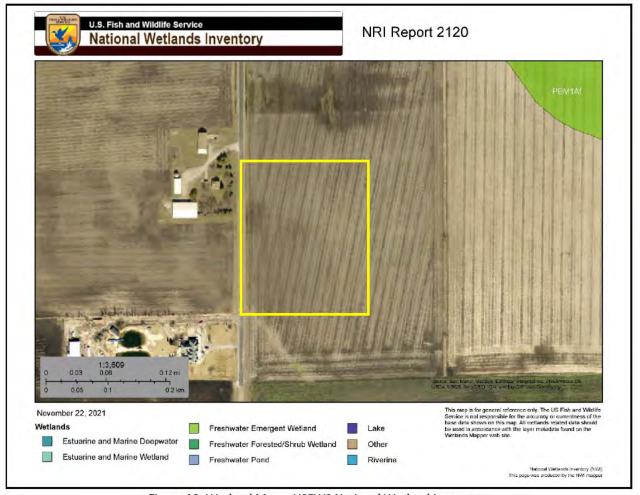


Figure 10: Wetland Map – USFWS National Wetland Inventory

Office maps indicate that mapped wetlands are not present on the parcel in question (PIQ).

HYDRIC SOILS

Soils information gives another indication of flooding potential. The soils map on the following page indicates the soil(s) on the parcel that the Natural Resources Conservation Service indicates as hydric. Hydric soils, by definition, have seasonal high water at or near the soil surface and/or have potential flooding or ponding problems. All hydric soils range from poorly suited to unsuitable for building. One group of the hydric soils are the organic soils, which formed from dead organic material. Organic soils are unsuitable for building because of not only the high water table but also their subsidence problems.

It is important to add the possibility of hydric inclusions in a soil type. An inclusion is a soil polygon that is too small to appear on these maps. While relatively insignificant for agricultural use, hydric soil inclusions become more important to more intense uses such as a residential subdivision.

While considering hydric soils and hydric inclusions, it is noteworthy to mention that subsurface agriculture drainage tile occurs in almost all poorly drained and somewhat poorly drained soils. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. A damaged subsurface drainage tile may return original hydrologic conditions to all the areas that drained through the tile (ranging from less than one acre to many square miles.)

For an intense land use, such as a subdivision, the Kendall County SWCD recommends the following: a topographical survey with 1 foot contour intervals to accurately define the flood area on the parcel, an intensive soil survey to define most accurately the locations of the hydric soils and inclusions, and a drainage tile survey on the area to locate the tiles that must be preserved to maintain subsurface drainage.

Table 10: Hydric Soils

Soil Types	Drainage Class	Hydric Designation	Hydric Inclusions Likely	Acreage	Percent
91A	Somewhat Poorly Drained	Non-Hydric	Yes	6.5	99.8%
235A	Poorly Drained	Hydric	No	0.0	0.2%

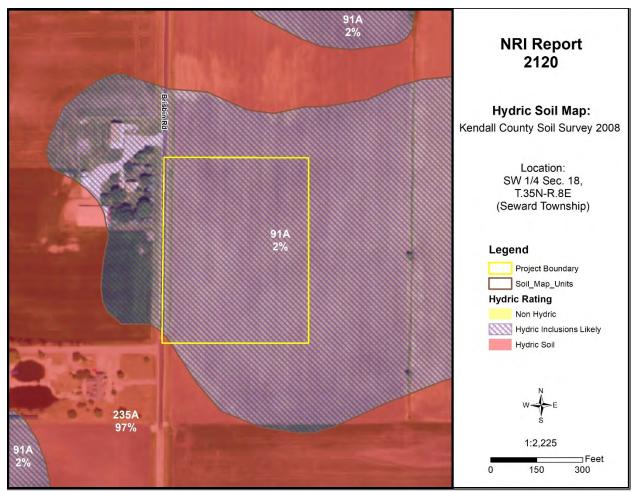


Figure 11: Hydric Soil Map

WETLAND AND FLOODPLAIN REGULATIONS

PLEASE READ THE FOLLOWING IF YOU ARE PLANNING TO DO ANY WORK NEAR A STREAM (THIS INCLUDES SMALL UNNAMED STREAMS), LAKE, WETLAND OR FLOODWAY.

The laws of the United States and the State of Illinois assign certain agencies specific and different regulatory roles to protect the waters within the State's boundaries. These roles, when considered together, include protection of navigation channels and harbors, protection against floodway encroachments, maintenance and enhancement of water quality, protection of fish and wildlife habitat and recreational resources, and, in general, the protection of total public interest. Unregulated use of the waters within the State of Illinois could permanently destroy or alter the character of these valuable resources and adversely impact the public. Therefore, please contact the proper regulatory authorities when planning any work associated with Illinois waters so that proper consideration and approval can be obtained.

WHO MUST APPLY?

Anyone proposing to dredge, fill, rip rap, or otherwise alter the banks or beds of, or construct, operate, or maintain any dock, pier, wharf, sluice, dam, piling, wall, fence, utility, floodplain or floodway subject to State or Federal regulatory jurisdiction should apply for agency approvals.

REGULATORY AGENCIES

- Wetland or U.S. Waters: U.S. Army Corps of Engineers, Rock Island District, Clock Tower Building, Rock Island, IL
- **Floodplains**: Illinois Department of Natural Resources/Office of Water Resources, One Natural Resources Way, Springfield, IL 62702-1270.
- Water Quality/Erosion Control: Illinois Environmental Protection Agency, Springfield, IL

COORDINATION

We recommend early coordination with the regulatory agencies <u>BEFORE</u> finalizing work plans. This allows the agencies to recommend measures to mitigate or compensate for adverse impacts. Also, the agency can make possible environmental enhancement provisions early in the project planning stages. This could reduce time required to process necessary approvals.

CAUTION: Contact with the United States Army Corps of Engineers is strongly advised before commencement of any work in or near a Waters of the United States. This could save considerable time and expense. Persons responsible for willful and direct violation of Section 10 of the River and Harbor Act of 1899 or Section 404 of the Federal Water Pollution Control Act are subject to fines ranging up to \$27,500 per day of violation and imprisonment for up to one year or both.

GLOSSARY

AGRICULTURAL PROTECTION AREAS (AG AREAS) - Allowed by P.A. 81-1173. An AG AREA consists of a minimum of 350 acres of farmland, as contiguous and compact as possible. Petitioned by landowners, AG AREAS protect for a period of ten years initially, then reviewed every eight years thereafter. AG AREA establishment exempts landowners from local nuisance ordinances directed at farming operations, and designated land cannot receive special tax assessments on public improvements that do not benefit the land, e.g. water and sewer lines.

AGRICULTURE - The growing, harvesting and storing of crops including legumes, hay, grain, fruit and truck or vegetable including dairying, poultry, swine, sheep, beef cattle, pony and horse production, fur farms, and fish and wildlife farms; farm buildings used for growing, harvesting and preparing crop products for market, or for use on the farm; roadside stands, farm buildings for storing and protecting farm machinery and equipment from the elements, for housing livestock or poultry and for preparing livestock or poultry products for market; farm dwellings occupied by farm owners, operators, tenants or seasonal or year around hired farm workers.

B.G. - Below Grade. Under the surface of the Earth.

BEDROCK - Indicates depth at which bedrock occurs. Also lists hardness as rippable or hard.

FLOODING - Indicates frequency, duration, and period during year when floods are likely to occur.

HIGH LEVEL MANAGEMENT - The application of effective practices adapted to different crops, soils, and climatic conditions. Such practices include providing for adequate soil drainage, protection from flooding, erosion and runoff control, near optimum tillage, and planting the correct kind and amount of high-quality seed. Weeds, diseases, and harmful insects are controlled. Favorable soil reaction and near optimum levels of available nitrogen, phosphorus, and potassium for individual crops are maintained. Efficient use is made of available crop residues, barnyard manure, and/or green manure crops. All operations, when combined efficiently and timely, can create favorable growing conditions and reduce harvesting losses -- within limits imposed by weather.

HIGH WATERTABLE - A seasonal high watertable is a zone of saturation at the highest average depth during the wettest part of the year. May be apparent, perched, or artesian kinds of water tables.

- Watertable, Apparent: A thick zone of free water in the soil. An apparent water table is indicated
 by the level at which water stands in an uncased borehole after adequate time is allowed for
 adjustment in the surrounding soil.
- Watertable, Artesian: A water table under hydrostatic head, generally beneath an impermeable layer. When this layer is penetrated, the water level rises in an uncased borehole.
- **Watertable, Perched**: A water table standing above an unsaturated zone. In places an upper, or perched, water table is separated from a lower one by a dry zone.

DELINEATION - For Wetlands: A series of orange flags placed on the ground by a certified professional that outlines the wetland boundary on a parcel.

DETERMINATION - A polygon drawn on a map using map information that gives an outline of a wetland.

HYDRIC SOIL - This type of soil is saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions in the upper part (USDA Natural Resources Conservation Service 1987).

INTENSIVE SOIL MAPPING - Mapping done on a smaller more intensive scale than a modern soil survey to determine soil properties of a specific site, e.g. mapping for septic suitability.

LAND EVALUATION AND SITE ASSESSMENT (L.E.S.A.) - LESA is a systematic approach for evaluating a parcel of land and to determine a numerical value for the parcel for farmland preservation purposes.

MODERN SOIL SURVEY - A soil survey is a field investigation of the soils of a specific area, supported by information from other sources. The kinds of soil in the survey area are identified and their extent shown on a map, and an accompanying report describes, defines, classifies, and interprets the soils. Interpretations predict the behavior of the soils under different used and the soils' response to management. Predictions are made for areas of soil at specific places. Soils information collected in a soil survey is useful in developing land-use plans and alternatives involving soil management systems and in evaluating and predicting the effects of land use.

PALUSTRINE - Name given to inland freshwater wetlands.

PERMEABILITY - Values listed estimate the range (in rate and time) it takes for downward movement of water in the major soil layers when saturated but allowed to drain freely. The estimates are based on soil texture, soil structure, available data on permeability and infiltration tests, and observation of water movement through soils or other geologic materials.

PIQ - Parcel in question

POTENTIAL FROST ACTION - Damage that may occur to structures and roads due to ice lens formation causing upward and lateral soil movement. Based primarily on soil texture and wetness.

PRIME FARMLAND - Prime farmland soils are lands that are best suited to food, feed, forage, fiber and oilseed crops. It may be cropland, pasture, woodland, or other land, but it is not urban and built up land or water areas. It either is used for food or fiber or is available for those uses. The soil qualities, growing season, and moisture supply are those needed for a well-managed soil economically to produce a sustained high yield of crops. Prime farmland produces in highest yields with minimum inputs of energy and economic resources and farming the land results in the least damage to the environment. Prime farmland has an adequate and dependable supply of moisture from precipitation or irrigation. The temperature and growing season are favorable. The level of acidity or alkalinity is acceptable. Prime farmland has few or no rocks and is permeable to water and air. It is not excessively erodible or saturated

with water for long periods and is not frequently flooded during the growing season. The slope ranges mainly from 0 to 5 percent (USDA Natural Resources Conservation Service).

PRODUCTIVITY INDEXES - Productivity indexes for grain crops express the estimated yields of the major grain crops grown in Illinois as a single percentage of the average yields obtained under basic management from several of the more productive soils in the state. This group of soils is composed of the Muscatine, Ipava, Sable, Lisbon, Drummer, Flanagan, Littleton, Elburn and Joy soils. Each of the 425 soils found in Illinois are found in Circular 1156 from the Illinois Cooperative Extension Service.

SEASONAL - When used in reference to wetlands indicates that the area is flooded only during a portion of the year.

SHRINK-SWELL POTENTIAL - Indicates volume changes to be expected for the specific soil material with changes in moisture content.

SOIL MAPPING UNIT - A map unit is a collection of soil areas of miscellaneous areas delineated in mapping. A map unit is generally an aggregate of the delineations of many different bodies of a kind of soil or miscellaneous area but may consist of only one delineated body. Taxonomic class names and accompanying phase terms are used to name soil map units. They are described in terms of ranges of soil properties within the limits defined for taxa and in terms of ranges of taxadjuncts and inclusions.

SOIL SERIES - A group of soils, formed from a particular type of parent material, having horizons that, except for texture of the A or surface horizon, are similar in all profile characteristics and in arrangement in the soil profile. Among these characteristics are color, texture, structure, reaction, consistence, and mineralogical and chemical composition.

SUBSIDENCE - Applies mainly to organic soils after drainage. Soil material subsides due to shrinkage and oxidation.

TERRAIN - The area or surface over which a particular rock or group of rocks is prevalent.

TOPSOIL - That portion of the soil profile where higher concentrations of organic material, fertility, bacterial activity and plant growth take place. Depths of topsoil vary between soil types.

WATERSHED - An area of land that drains to an associated water resource such as a wetland, river or lake. Depending on the size and topography, watersheds can contain numerous tributaries, such as streams and ditches, and ponding areas such as detention structures, natural ponds and wetlands.

WETLAND - An area that has a predominance of hydric soils and that is inundated or saturated by surface or groundwater at a frequency and duration sufficient enough to support, and under normal circumstances does support, a prevalence of hydrophytic vegetation typically adapted for life in saturated soil conditions.

REFERENCES

Hydric Soils of the United States. USDA Natural Resources Conservation Service, 2007.

<u>DFIRM – Digital Flood Insurance Rate Maps for Kendall County.</u> Prepared by FEMA – Federal Emergency Management Agency.

<u>Hydrologic Unit Map for Kendall County.</u> Natural Resources Conservation Service, United States Department of Agriculture.

<u>Land Evaluation and Site Assessment System.</u> The Kendall County Department of Planning Building and Zoning, and The Kendall County Soil and Water Conservation District. In cooperation with: USDA, Natural Resources Conservation Service.

<u>Soil Survey of Kendall County</u>. United States Department of Agriculture 2008, Natural Resources Conservation Service.

Illinois Urban Manual. Association of Illinois Soil & Water Conservation Districts, 2020.

Kendall County Land Atlas and Plat Book. 21st Edition, 2021.

<u>Potential For Contamination of Shallow Aquifers from Land Burial of Municipal Wastes</u>. Illinois State Geological Survey.

<u>Natural Resources Conservation Service National Wetland Inventory Map.</u> United States Department of Agriculture.

<u>Geologic Road Map of Illinois.</u> Department of Natural Resources, Illinois State Geological Survey, Natural Resources Building, 615 East Peabody, Champaign IL 61820-6964.

Wetlands - The Corps of Engineers' Administration of the Section 404 Program (GAO/RCED-88-110).

<u>Soil Erosion by Water</u> - United States Department of Agriculture Natural Resources Conservation Service. Agriculture Information Bulletin 513.

<u>The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities</u>, prepared by the Nature Conservancy Great Lakes Program 79W. Monroe Street, Suite 1309, Chicago, IL 60603, January 1994.

SEWARD TOWNSHIP PLAN COMMISSION MINUTES

December 7, 2021

The Seward Township Plan Commission met on December 7, 2021 at 6:00 p.m. at the Seward Town Hall. Members present included Jessica Nelsen, Anne Vickery, Joan Soltwisch, and Suzanne Casey. Jill Prodehl was unable to attend, but sent a prepared statement to be read on her behalf. Tim O'Brien, Seward Township Board was present, as well as Tom Casey, Regional Plan Commission. Following the pledge to the flag, the minutes of the September 7, 2021 were read aloud by Suzanne Casey, and approved.

Under new business, Dan Kramer was present to represent Irma Quezada/Loya's Petition 21-49 on Parcels 09-18-300-018 and -019, requesting rezoning from A-1 to R-1. Dan described the petitioner's request to build two single family lots on a 40 acre parcel on the east side of Brisbin Road, just south of Route 52. He stated there is no intent to operate any business from the property, and the request is for residential purposes. Audience members included residents surrounding this property, as well as residents of Seward Township at large, who stated concerns about the future of that property, as well as Seward Township property going forward. Dan noted that ZPAC had unanimously passed the petition earlier that day.

Discussion included references to the Land Resource Management Plan for Seward/Lisbon Township. Statements from both the audience members, as well as the Plan Commission membership, expressed great concern about the future of Seward Township. Suzanne Casey read a statement from Jill Prodehl referencing the Kendall County Land Use Management Plan, expressing concern for the protection of farmland going forward in the township, as well as the requirement for 1 home per 40 acres. Joan Soltwisch commented on the poor quality of the soils on the parcel and drainage concerns that would be present. Following an active audience participation, a vote was taken of the Plan Commission members present. Following considerable discussion, Jessica Nelsen moved approval and Joan Soltwisch seconded the motion. All Plan Commission members voting "no" to approval. Dan Kramer announced that due to his health and long Regional Plan Commission agenda on Wednesday, December 8, he would be rescheduling the request to the RPC meeting in January at the 26th meeting.

Ongoing discussion within the Commission, as well as with and from the audience ensued. Residents present expressed their gratitude more than once for the considerable consideration given to the future of Seward Township. In other expressed matters, comments were made about the rezoning process, including the presence of large utility structures throughout the township, and property clarification regarding those.

Finally, several strategies were considered for future petitions coming forward, as well as the future planning for Seward Township. These included legal action, moratorium requests, and incorporating. The Plan Commission had, in fact, held a planning session last summer to begin work on a Vision and Mission statement for the future of Seward Township. This was and is felt to be critical for future planning, as well as development of this Township. A planning process

will continue by the Plan Commission over the winter, with the goal of completing this work by Spring, so that going forward, the Township will have a clear template against which to compare future requests. To allow this work to be completed and perhaps the Land Resource Plan to be updated, if necessary, the Seward Commission would request a moratorium on requests until Spring, 2022.

The strong recommendation from this Commission is that our Township Board look carefully at this proposal, as well as the future of our Township. The Seward Plan Commission does not recommend approval of this request.

Suzanne moved adjournment at 7:20, and Joan Soltwisch seconded the motion.

Minutes submitted by Suzanne Casey

December 8, 2021

LAW OFFICES OF

Daniel J. Kramer

DANIEL J. KRAMER

1107A SOUTH BRIDGE STREET YORKVILLE, ILLINOIS 60560 (630) 553-9500 Fax: (630) 553-5764

KELLY A. HELLAND D.J. KRAMER

December 27, 2021

Matt Asselmeier Hand Delivered

RE: Loya Quezada Residential Zoning Request

Dear Matt:

Following up what were really painful meetings at Seward Township who are normally on the mark, I wanted to get these photographs to you.

I remember you said you had gotten a letter from surrounding neighbors complaining about the fact that they had burned construction and landscaping materials on the subject property which is being sought to be rezoned by Mrs. Quezada, and that they were objecting to the rezoning purely for that reason.

I am enclosing color panoramic drawings of her entire holding on Brisbin road which show that the entire property had corn stubble and a crop on during the 2021 growing season which was just concluded.

She has owned the property for less than a year and there has never been any burning of landscape or construction materials, nor has there any concrete construction debris on the site, nor has there been any.

One of the neighbors got up at the Plan Commission at Seward Township and again renewed that objection for that reason. We then contacted our Client who assured us that it was not case. She did inform us that the parcel immediately to the North of hers has in fact had construction debris and burning taking place ever since she bought the property and when she had looked at buying her property. So it is obviously a case of mistaken identity.

The Township failed to recognize, I believe, both the Plan Commission and the Township Board meeting even though we tried to gently point it out to them that the prevailing law under the Village of Sinclair Pipeline v. Village of Richton Park that the Illinois Supreme Court has grafted two very important elements on the older LaSalle six factor case. That is does the Governmental body have a plan, and if the Governmental has a plan and they don't follow it then the Courts will no longer be bound by that Plan. Those two elements are crucial to the Township in my view in that they

said they want to create a new Comprehensive Plan embodying their Township vision of the future development of Seward Township, but they have not enacted any plan as of this date. I told them that they risk a real danger, not just on this particular zoning, but if a future user came in with a use that the Township really didn't like the courts will hammer them for not following their plan in the past via this particular Zoning Petition.

Obviously it was to no avail Susan Casey who is the Chairman of that Plan Commission got in touch with me after the meeting and frankly was quite distraught at the failure of the Township to follow the Law as she understood it, but likewise indicated she is only one vote that could not convince the Board or the Plan Commission otherwise.

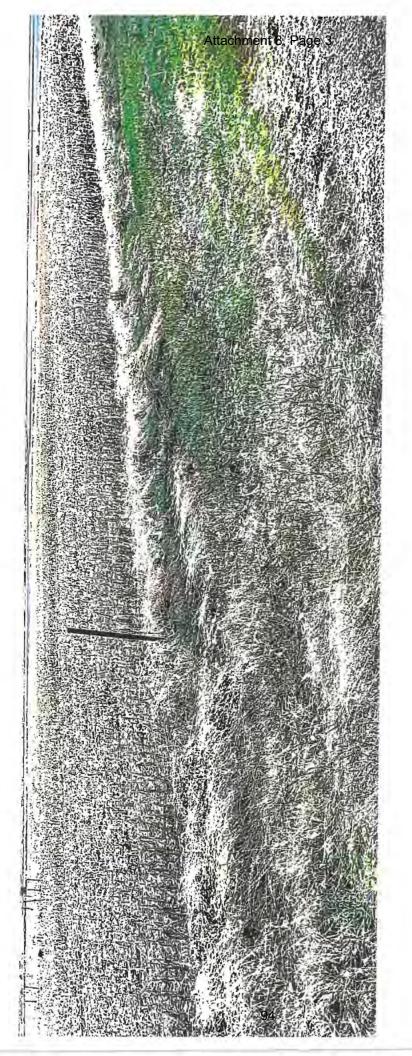
I thought it important to point out the reasoning for their vote, and the fact that there has never been any violations reported or not reported for debris or burning on my Clients site.

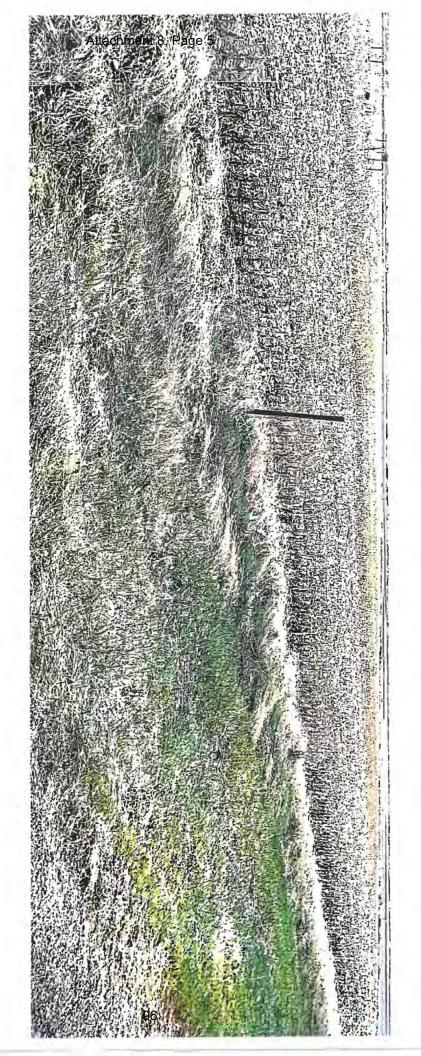
Frankly I got the impression that the underlying reason was some bias thinking that because she was Hispanic it was going to turn into a Landscaping business. She does not own or operate any business and solely wants to use the two lots for she and an adult son who is full time employed to build a home just like the neighbors who are objecting and surrounding her.

Very truly yours

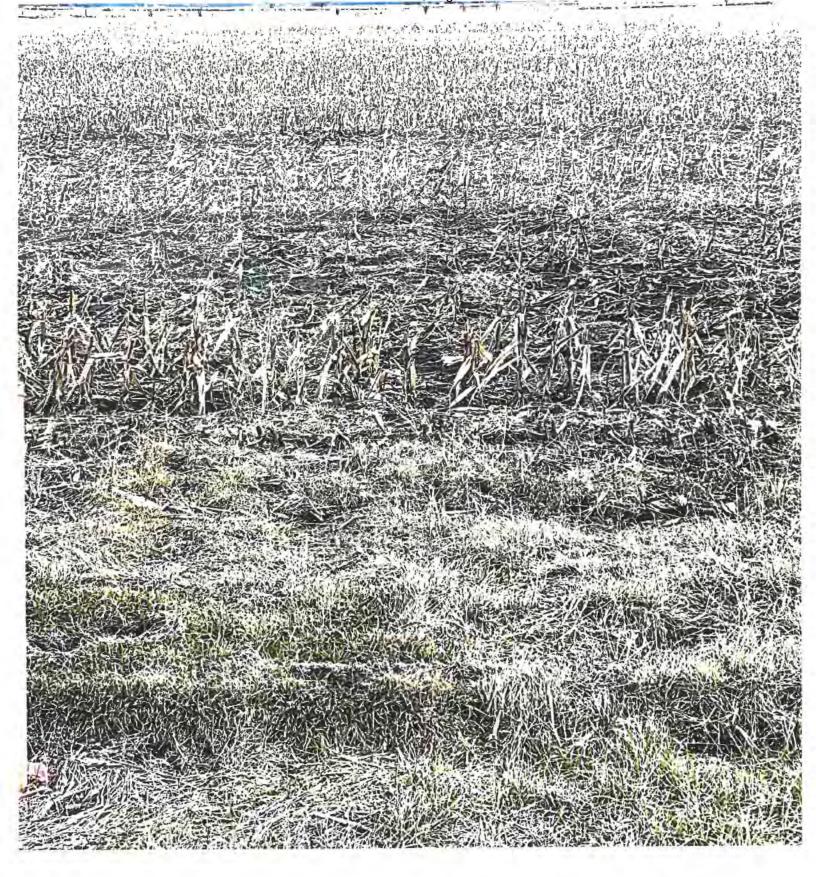
Daniel J. Kramer Attorney at Law

DJK:rg Enclosures

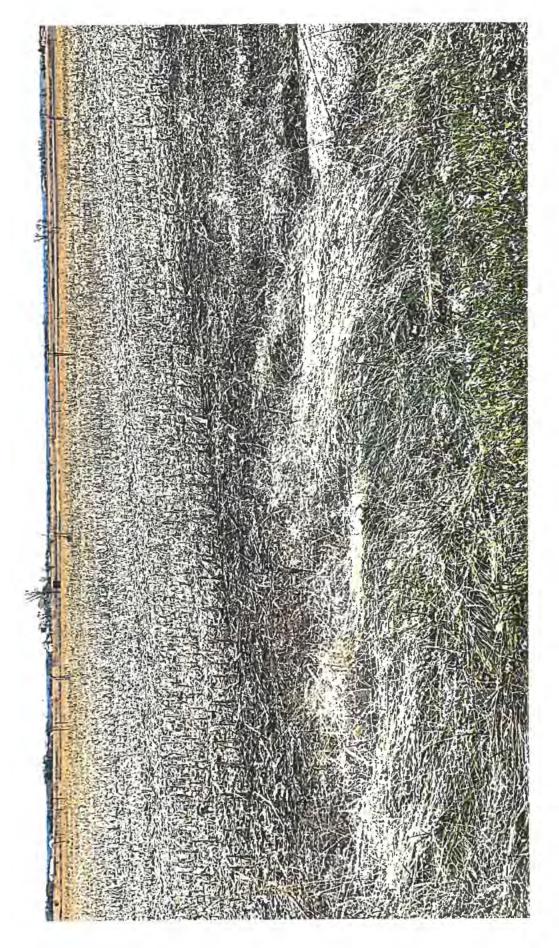


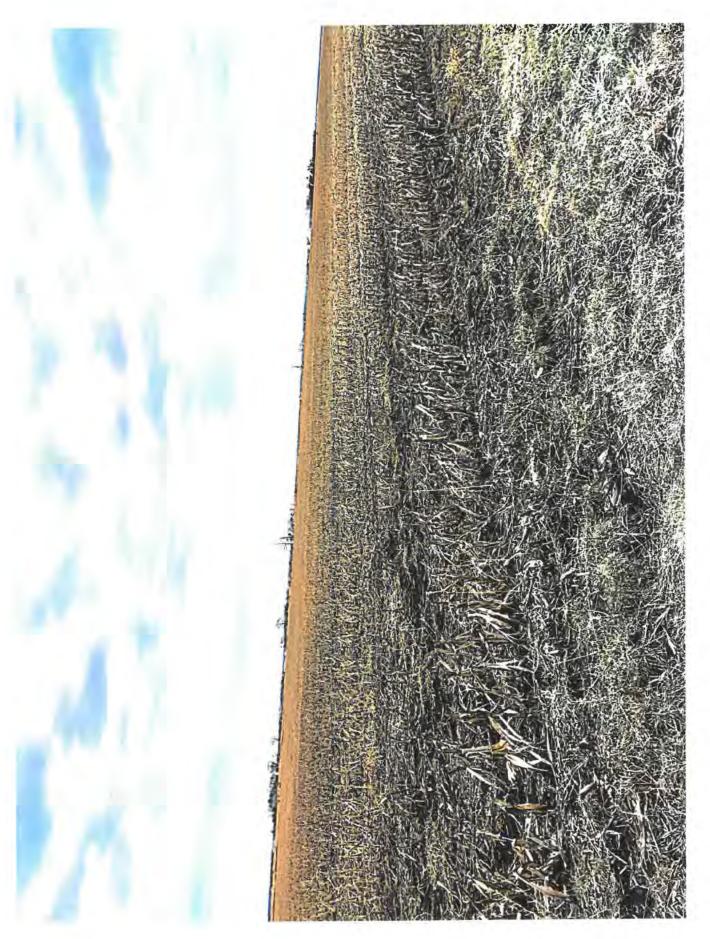


Scanned with CamScanner



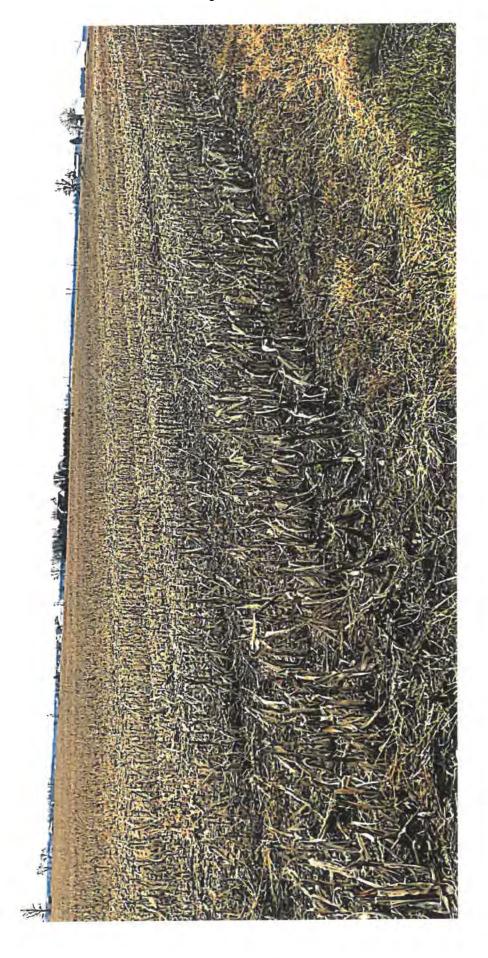
Scanned with CamScanner













ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC) December 7, 2021 – Approved Meeting Minutes

PBZ Chairman Scott Gengler called the meeting to order at 9:00 a.m.

Present:

Matt Asselmeier – PBZ Department
Meagan Briganti – GIS Department
Greg Chismark – WBK Engineering, LLC
Scott Gengler – PBZ Committee Chair
David Guritz – Forest Preserve
Fran Klaas – Highway Department

Undersheriff Bobby Richardson – Sheriff's Department Aaron Rybski – Health Department

Absent:

Brian Holdiman – PBZ Department
Alyse Olson – Soil and Water Conservation District

Audience:

Rick Porter, Chris Lannert, James Kohoot, Dan Morgan, JoAnn Willingham, Shabbir Shamsuddin, Gerald Chase, DM Studler, Boyd Ingemunson, Scott Koeppel, Dan Kramer, and John Tebrugge

PETITIONS

Petition 21-49 Irma Loya Quezada

Mr. Asselmeier summarized the request.

The Petitioner is requesting a map amendment rezoning two (2) approximately three point two-four (3.24) acre parcels from A-1 Agricultural District to R-1 One Family Residential District in order to construct one (1) house on each parcel.

The Petitioner plans to use Plat Act exemptions to divide the subject areas proposed for rezoning from the larger parcels.

The agricultural building permits for the parcels were used in 2003 and 2004. The only way houses can be constructed on the subject parcels is by obtaining the requested map amendment.

The application materials, plat of survey and aerial of the property were provided.

The properties are on the east side of Brisbin Road across from 14859 and 14975 Brisbin Road.

The current land use is Agricultural.

The future land use is Rural Estate Residential (Max 0.45 Du/Acre).

Brisbin Road is a Township Maintained Major Collector. There are no trails planned in the area.

There were no floodplains or wetlands on the property.

The adjacent land uses were Agricultural, Farmstead, and Hogan's Market.

The adjacent properties and properties within one half (1/2) of a mile were zoned A-1 and A-1 SU.

The Kendall County Future Land Use Map called for the to be Rural Estate Residential. The Plattville Future Land Use Map called for the property to the north of the subject property to be Low Density Residential.

The A-1 special use to the west is for the sale of agricultural products, art, pottery, and home décor not produced on the premises (Hogan's Market).

ZPAC Meeting Minutes 12.07.21

EcoCat submitted on November 11, 2021, and consultation was terminated.

NRI application submitted on October 18, 2021. The draft LESA Score was 199 indicating a low level of protection.

Seward Township was emailed information on November 16, 2021.

The Village of Plattville was emailed information on November 16, 2021.

The Lisbon-Seward Fire Protection District was emailed information on November 16, 2021.

The Petitioner desires to rezone the subject properties in order to build one (1) house on each of the two (2) new parcels created for a total of two (2) new houses.

Any new homes or accessory structures would be required to meet applicable building codes.

No public or private utilities are onsite.

The property fronts Brisbin Road. Staff has no concerns regarding the ability of Brisbin Road to support the proposed map amendment.

Any new driveways constructed would be for residential purposes. Any new driveways would have to meet applicable regulations and secure proper permits.

No new odors are foreseen.

Any new lighting would be for residential use only.

Any fencing, landscaping, or screening would be for residential purposes.

Any signage would be residential in nature.

No noise is anticipated.

Any new homes would have to be constructed per Kendall County's Stormwater Management Ordinance.

The proposed Findings of Fact were as follows:

Existing uses of property within the general area of the property in question. The surrounding properties are used for agricultural purposes or larger lot single-family residential uses.

The Zoning classification of property within the general area of the property in question. The surrounding properties are zoned A-1 or A-1 SU for the sale of agricultural products, art, pottery, and home décor not produced on the premises.

The suitability of the property in question for the uses permitted under the existing zoning classification. The property is presently zoned A-1. The agricultural housing allocations for the subject property have already been used and no new single-family homes can be constructed on the subject property without a map amendment.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is a mix of agricultural and single-family residential uses found in rural settings.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The Future Land Use Map in the Land Resource Management Plan classifies this property as Rural Estate Residential. The R-1 One Family Residential District is consistent with the Rural Estate Residential classification.

ZPAC Meeting Minutes 12.07.21

Attachment 9, Page 3

Mr. Asselmeier read the neighbors' opposition letters.

Staff recommended approval of the proposed map amendment because the proposal is consistent with the Land Resource Management Plan.

Chairman Gengler asked if the remaining portions of the property would be used for farmland. Mr. Asselmeier responded yes.

Mr. Guritz asked about the landscape waste. Dan Kramer, Attorney for the Petitioner, said the Petitioner bought the property in the summer of 2021. His client does not run a landscaping business. He noted that the trend in the area was low density residential.

Mr. Klaas asked if the Petitioner might seek to rezone additional portions of the property in the future. Mr. Kramer responded that the Petitioner knew when she bought the property that no allocations were available. His clients' plan was to build just the two (2) homes.

Mr. Klaas noted that the division was not a formal subdivision. He requested land for a right-of-way dedication. Mr. Kramer agreed. It was noted that the right-of-way dedication could not be made a condition of the map amendment.

Chairman Gengler made a motion, seconded by Mr. Guritz, to recommend approval of the map amendment.

The votes were follows

Ayes (8): Asselmeier, Briganti, Chismark, Gengler, Guritz, Klaas, Richardson, and Rybski

Nays (0): None Abstain (0): None

Absent (2): Holdiman and Olson

The motion carried.

Mr. Kramer requested that the proposal be continued to the January Regional Planning Commission meeting; he will submit a formal letter stating that request.

CORRESPONDENCE

None

PUBLIC COMMENT

None

ADJOURNMENT

Mr. Klaas made a motion, seconded by Undersheriff Richardson, to adjourn.

With a voice vote of eight (8) ayes, the motion carried.

The ZPAC, at 10:35 a.m., adjourned.

Respectfully Submitted, Matthew H. Asselmeier, AICP, CFM Senior Planner

Encs

KENDALL COUNTY ZONING & PLATTING ADVISORY COMMITTEE **DECEMBER 7, 2021**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
RICK PORTER		Receion De Hins Hy
JAMES KAHOU-		Ko 400 T
Dan Moya		
John Willingham		
SHABBIR SHAMSUADE		
Grald Charl		
DM Stutler		
Da Ken		

JOHH TEBRUGGE

Matt Asselmeier

From: Alyse Olson <aolson.kcswcd@gmail.com>

Sent: Friday, December 3, 2021 9:32 AM

To: Matt Asselmeier

Subject: [External]Re: December 7 ZPAC Packet

Hi Matt.

I will not be able to attend Tuesday's ZPAC meeting. I have prepared comments for each petition. They are listed below.

Petition 21-48: Brian Henrichs on Behalf of Baka Properties, LLC (NRI Report 2119)

- A draft of the NRI report is complete but still needs to be approved by the Kendall County Soil & Water Conservation (SWCD) Board. Once approved it will be sent to the petitioner, township, & county.
- The site does not contain mapped wetlands or floodplain. The Fox River, however, is located a few hundred feet south of the parcel. The petitioner should consult with the Illinois Department of Natural Resources Office of Water Resources (IDNR OWR) and the U.S. Army Corps of Engineers to determine if any permits are needed prior to construction.
- The SWCD recommends having a soil erosion and sediment control plan in place for protecting nearby waters/wetlands during construction. If construction is an acre or more in size, the petitioner should obtain the proper NPDES permit from the Illinois Environmental Protection Agency (IEPA) for construction activities.
- About 93% of the parcel contains hydric soils, which can lead to building limitations. Most of the site is
 classified as very limited for dwellings with basements, dwellings without basements, shallow excavations, and
 lawns/landscaping. Soil types with severe limitations do not preclude the ability to develop the site for the
 proposed use, but it is important to note that the limitation may require soil reclamation, special
 design/engineering, or maintenance to obtain suitable soil conditions to support the development.

Petition 21-49: Irma Loya Quezada (NRI Report 2120)

- A draft of the NRI report is complete but still needs to be approved by the Kendall County Soil & Water Conservation (SWCD) Board. Once approved it will be sent to the petitioner, township, & county.
- The SWCD recommends having a soil erosion and sediment control plan in place for protecting nearby waters/wetlands during construction. If construction is an acre or more in size, the petitioner should obtain the proper NPDES permit from the IEPA for construction activities.
- The whole site contains soils that are classified as very limited for constructing dwellings with basements and for shallow excavations. This does not preclude the ability to develop the site for the proposed use, but it is important to note that the limitation may require soil reclamation, special design/engineering, or maintenance to obtain suitable soil conditions to support the development.

Petition 21-50: Tim Raymond on Behalf of TMF Plastic Solutions, LLC

- The site does not contain mapped wetlands or floodplain. Big Rock Creek, however, is located a couple hundred feet west of the parcel. The petitioner should consult with the Illinois Department of Natural Resources Office of Water Resources (IDNR OWR) and the U.S. Army Corps of Engineers to determine if any permits are needed.
- The SWCD recommends having a soil erosion and sediment control plan in place for protecting nearby waters/wetlands during construction.

To the chairpersons concerning the public hearing Dec. 8th, 2021 and Dec. 13th, 2021. The people on Brisbin Road are voicing our disapproval to change the zoning from A1 to R1. This zoning change is in regards to properties bought by Irma Loya Quezada.

This property has been agricultural for at least a hundred plus years. Let's keep it so. NO, NO, NO to change. We are writing this letter, because some of us may not be able to attend the meetings. This letter should be just as good as being in person.

We are concerned these parcels will be used for bringing landscaping debris. Don Schuck has been dealing with Brian Holdiman from zoning board for four plus years over Nely Landscaping illegally working off his property. He has hauled in landscape material off jobs and has dumped, buried, and burned debris on his property.

We would like signed receipts of this letter to each person who signed it, by the chairperson of the committees.

Thank you for your time and listening to our concern	S
Signature	
AARON White Amy White	
14625 Frisher Od Minodes II 6014-	>
Address	

To the chairpersons concerning the public hearing Dec. 8th, 2021 and Dec. 13th, 2021. The people on Brisbin Road are voicing our disapproval to change the zoning from A1 to R1. This zoning change is in regards to properties bought by Irma Loya Quezada.

This property has been agricultural for at least a hundred plus years. Let's keep it so. NO, NO, NO to change. We are writing this letter, because some of us may not be able to attend the meetings. This letter should be just as good as being in person.

We are concerned these parcels will be used for bringing landscaping debris. I, Don Schuck, have been dealing with Brian Holdiman from zoning board for four plus years over Nely Landscaping illegally working off his property. He has hauled in landscape material off of jobs and has dumped, buried and burned debris on his property.

We would like signed receipts of this letter to each person who signed it, by the chairperson of the committees.

Thank you for your time and listening to our concerns.

Signature
DONALD SCHUCK SR Print Jacqueline Schuck
14525 Brisbin Rd.
Minooka, ILL. 60447 Address minooka, II. 60447

To the chairpersons concerning the public hearing Dec. 8th, 2021 and Dec. 13th, 2021. The people on Brisbin Road are voicing our disapproval to change the zoning from A1 to R1. This zoning change is in regards to properties bought by Irma Loya Quezada.

This property has been agricultural for at least a hundred plus years. Let's keep it so. NO, NO, NO to change. We are writing this letter, because some of us may not be able to attend the meetings. This letter should be just as good as being in person.

We are concerned these parcels will be used for bringing landscaping debris. I, Don Schuck, have been dealing with Brian Holdiman from zoning board for four plus year over Nely Landscaping illegally working off his property. He has hauled in landscape material off of jobs and has dumped, buried and burned debris.

We would like signed receipts of this letter to each person who signed it, by the chairperson of the committees.

Thank you for your time and listening to our concerns.

Signature

Signature

Print

5700 US HWN 52

MINOOKA, /C 60447

Address

To the chairpersons concerning the public hearing Dec. 8th, 2021 and Dec. 13th, 2021. The people on Brisbin Road are voicing our disapproval to change the zoning from A1 to R1. This zoning change is in regards to properties bought by Irma Loya Quezada.

This property has been agricultural for at least a hundred plus years. Let's keep it so. NO, NO, NO to change. We are writing this letter, because some of us may not be able to attend the meetings. This letter should be just as good as being in person.

We are concerned these parcels will be used for bringing landscaping debris. Don Schuck has been dealing with Brian Holdiman from zoning board for four plus years over Nely Landscaping illegally working off his property. He has hauled in landscape material off jobs and has dumped, buried, and burned debris on his property.

We would like signed receipts of this letter to each person who signed it, by the chairperson of the committees.

Thank you for your time and listening to our concerns.

- /	- promote
Signature	
	. 6
Bruce	O. BNO dSON
Print	

5765 US INWY. 52 Minocka, IL. 60447-9672

Address

To the chairpersons concerning the public hearing Dec. 8th, 2021 and Dec. 13th, 2021. The people on Brisbin Road are voicing our disapproval to change the zoning from A1 to R1. This zoning change is in regards to properties bought by Irma Loya Quezada.

This property has been agricultural for at least a hundred plus years. Let's keep it so. NO, NO, NO to change. We are writing this letter, because some of us may not be able to attend the meetings. This letter should be just as good as being in person.

We are concerned these parcels will be used for bringing landscaping debris. Don Schuck has been dealing with Brian Holdiman from zoning board for four plus years over Nely Landscaping illegally working off his property. He has hauled in landscape material off jobs and has dumped, buried, and burned debris on his property.

We would like signed receipts of this letter to each person who signed it, by the chairperson of the committees.

Thank you for your time and listening to our concerns.

Signature
Dustin Walzer Print
14550 Brisbin Rd
Minooka IL 60447 Address

MINUTES – UNOFFICIAL UNTIL APPROVED KENDALL COUNTY ZONING BOARD OF APPEALS MEETING

111 WEST FOX STREET, COUNTY BOARD ROOM (ROOMS 209 and 210)
YORKVILLE, IL 60560

December 13, 2021 – 7:00 p.m.

CALL TO ORDER

Chairman Randy Mohr called the Zoning Board of Appeals meeting to order at 7:00 p.m.

ROLL CALL:

Members Present: Scott Cherry, Cliff Fox, Tom LeCuyer, Randy Mohr, Dick Thompson, Anne Vickery, and

Dick Whitfield

Members Absent: None

Staff Present: Matthew Asselmeier, AICP, CFM, Senior Planner

Others Present: Gregg Ingemunson, Dan Koukol, Brian Henrichs, and Rick Porter

Chairman Mohr requested that the agenda be amended by moving Petition 21-37 to after Petition 21-48. He also announced that Petition 21-49 would be continued to the January 31, 2022, hearing. Member Vickery made a motion, seconded by Member LeCuyer, to amend the agenda as requested. With a voice vote (7) ayes, the motion carried.

PUBLIC COMMENTS

Mr. Asselmeier stated a special use permit and variance for landscaping business at 1038 Harvey Road and Petition 21-49 would be on the agenda on January 31, 2022.

ADJOURNMENT OF THE ZONING BOARD OF APPEALS

Member LeCuyer made a motion, seconded by Member Vickery, to adjourn.

With a voice vote of seven (7) ayes, the motion carried.

The Zoning Board of Appeals meeting adjourned at 7:55 p.m.

The next hearing/meeting will be on January 31, 2022.

Respectfully submitted by, Matthew H. Asselmeier, AICP, CFM Senior Planner

Exhibits

- 1. December 7, 2021 Email from Dan Kramer RE: Quezada Zoning Petition
- 2. Certificate of Publication and Certified Mail Receipts for Petition 21-49 (Not Included with Report but on file in Planning, Building and Zoning Office)

MINUTES – UNOFFICIAL UNTIL APPROVED KENDALL COUNTY

ZONING BOARD OF APPEALS MEETING

111 WEST FOX STREET, COUNTY BOARD ROOM (ROOMS 209 and 210)
YORKVILLE, IL 60560
January 31, 2022 – 7:00 p.m.

CALL TO ORDER

Chairman Randy Mohr called the Zoning Board of Appeals meeting to order at 7:00 p.m.

ROLL CALL:

Members Present: Cliff Fox, Tom LeCuyer, Randy Mohr, Dick Thompson, Anne Vickery, and Dick

Whitfield

Members Absent: Scott Cherry

Staff Present: Matthew Asselmeier, AICP, CFM, Senior Planner

Others Present: None

MINUTES:

Member LeCuyer made a motion, seconded by Member Fox, to approve the minutes of the December 13, 2021, hearing/meeting.

With a voice vote of six (6) ayes, the motion carried.

PETITIONS

The Zoning Board of Appeals started their review of Petition 21-49, 22-01, 22-03, and 22-04 at 7:00 p.m.

Petition 21 – 49 – Irma Loya Quezada

Request: Map Amendment Rezoning the Subject Property from A-1 Agricultural District to R-1

One Family Residential District

PINs: 09-18-300-018 (Part) and 09-18-300-019 (Part)

Location: On the East Side of Brisbin Road Across from 14859 and 14975 Brisbin Road, Seward

Township

Purpose: Petitioner Wants to Rezone the Property in Order to Divide the Property and Construct

Two Homes

Petition 22 – 01 – Jose and Silvia Martinez

Request: Special Use Permit for a Landscaping Business, Variance to Section 7:01.D.30.b to Allow

a Landscaping Business a Non-State, County, or Collector Highway as Defined by the Kendall County Land Resource Management Plan, and Variance to Section 11:02.F.7.b of the Kendall County Zoning Ordinance to Allow a Driveway Zero Feet from the Southern

Property Line

PINs: 03-12-100-004 and 03-12-100-013 Location: 1038 Harvey Road, Oswego Township

Purpose: Petitioner Wants to Operate a Landscaping Business at the Subject Property; Property is

Zoned A-1

Petition 22 – 03 – Executive Pastor Sean Mabee on Behalf of Grace Bible Church of Shorewood and Fire Chief Andrew Doyle on Behalf of the Troy Fire Protection District

Request: Special Use Permit for a Governmental Building or Facility (Fire Station) and the

Revocation of a Special Use Permit for a Church Granted by Ordinance 2004-24

PIN: 09-12-300-017

Location: 748 Jones Road, Seward Township

Purpose: Petitioners Want to Operate a Fire Station and Remove the Special Use Permit for a

Church at the Subject Property; Property is Zoned A-1

Petition 22 – 04 – John and Laura Gay

Request: Major Amendment to an Existing Special Use Permit for a Kennel Granted by Ordinance

2019-33 by Changing the Site Plan

PIN: 03-28-100-004

Location: 3601 Plainfield Road, Oswego Township

Purpose: Petitioner Wants to Change the Orientation of the Building, Change the Access Point on

Plainfield Road, Move the Parking Area, and Change the Layout of the Turnaround Area;

Property is Zoned A-1

Mr. Asselmeier stated a quorum was not present at the January 26, 2022, Kendall County Regional Planning Commission meeting. He requested the hearings for the Petitions be continued to February 28, 2022, at 7:00 p.m.

Member Vickery made a motion, seconded by Member LeCuyer, to continue the hearings for Petitions 21-49, 22-01, 22-03, and 22-04 to February 28, 2022, at 7:00 p.m.

The votes were as follows:

Ayes (6): Fox, LeCuyer, Mohr, Thompson, Vickery, and Whitfield

Nays (0): None Abstain (0): None Absent (1): Cherry

The motion passed.

The Zoning Board of Appeals completed their review of Petitions 21-49, 22-01, 22-03, and 22-04 at 7:01 p.m.

NEW BUSINESS/OLD BUSINESS

Kendall County Regional Planning Commission Annual Meeting-February 5, 2022 at 9:00 A.M. Mr. Asselmeier reported the date and time of the Annual Meeting.

REVIEW OF PETITIONS THAT WENT TO THE COUNTY BOARD

Mr. Asselmeier reported that Petitions 21-37, 21-38, 21-40, 21-41, and 21-46 were approved by the County Board.

PUBLIC COMMENTS

Mr. Asselmeier reported there were no additional Petitions for the February hearing.

ADJOURNMENT OF THE ZONING BOARD OF APPEALS

Member LeCuyer made a motion, seconded by Member Thompson, to adjourn.

With a voice vote of six (6) ayes, the motion carried.

The Zoning Board of Appeals meeting adjourned at 7:02 p.m.

The next hearing/meeting will be on February 28, 2022.

Respectfully submitted by, Matthew H. Asselmeier, AICP, CFM Senior Planner

Exhibits

- 1. Memo on Petitions 21-49, 22-01, 22-03, and 22-04 Dated January 27, 2022
- 2. Certificate of Publication for Petition 21-49 (Not Included with Report but on file in Planning, Building and Zoning Office)
- 3. Certificate of Publication and Certified Mail Receipts for Petition 22-01 (Not Included with Report but on file in Planning, Building and Zoning Office)
- 4. Certificate of Publication and Certified Mail Receipts for Petition 22-03 (Not Included with Report but on file in Planning, Building and Zoning Office)
- 5. Certificate of Publication and Certified Mail Receipts for Petition 22-04 (Not Included with Report but on file in Planning, Building and Zoning Office)



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

MEMORANDUM

To: Kendall County Zoning Board of Appeals

From: Matthew H. Asselmeier, AICP, CFM, Senior Planner

Date: January 27, 2022

Re: Petitions 21-49, 22-01, 22-03, and 22-04

The Kendall County Regional Planning Commission did not have a quorum for their January 26, 2022, meeting. As such, the Commission was unable to review at issue recommendations on the subject Petitions.

Accordingly, Staff requests that the Kendall County Zoning Board of Appeals meets as scheduled on January 31, 2022, and votes to continue the hearings on the subject Petitions to February 28, 2022, at 7:00 p.m.

As of the date of this memo, the subject Petitions would be the only Petitions on the February 28th agenda.

If you have any questions regarding this memo, please let me know.

MHA

Matt Asselmeier

From: Daniel J Kramer <dkramer@dankramerlaw.com>

Sent: Monday, February 14, 2022 12:57 PM

To: Matt Asselmeier; Scott Gengler; Scott Koeppel

Cc: Scott R. Gryder

Subject: RE: [External]Loya Zoning

May 2, 2022.

Very Truly Yours,

Daniel J. Kramer Attorney at Law 1107A S. Bridge Street Yorkville, IL. 60560 Phone-630.553.9500 Fax-630.553.5764

NOTICE: This communication is covered by the Electronic Communications Privacy Act found at 18 USC 2510 et. seq. and is intended to remain confidential and is subject to the applicable attorney/client and or work product privileges. If you are not the intended recipient of this message, or if this message has been addressed to you in error, please immediately alert the sender by reply e-mail and then delete this message and all attachments. Do not deliver, distribute or copy this message and/or any attachments and do not disclose the contents or take any action in reliance upon the information contained in this communication or any attachments if you are not the intended recipient.

From: Matt Asselmeier < masselmeier@co.kendall.il.us>

Sent: Monday, February 14, 2022 11:55 AM

To: Daniel J Kramer dankramerlaw.com; Scott Gengler <s gengler@co.kendall.il.us; Scott Koeppel

<skoeppel@co.kendall.il.us>

Cc: Scott R. Gryder <sgryder@co.kendall.il.us>

Subject: RE: [External]Loya Zoning

Dan:

Do you want the request continued to March 28th or May 2nd?

Thanks,

Matthew H. Asselmeier, AICP, CFM Senior Planner Kendall County Planning, Building & Zoning 111 West Fox Street Yorkville, IL 60560-1498

PH: 630-553-4139 Fax: 630-553-4179

From: Daniel J Kramer [mailto:dkramer@dankramerlaw.com]

Sent: Monday, February 14, 2022 10:09 AM

Attachment 12, Page 2

To: Matt Asselmeier < masselmeier@co.kendall.il.us>; Scott Gengler < sgengler@co.kendall.il.us>; Scott Koeppel

<skoeppel@co.kendall.il.us>

Cc: Scott Gryder < sgryder@nntg.com >

Subject: [External]Loya Zoning

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gentlemen: We have this matter up for the Feb Regional Plan Commission. It was originally scheduled for Jan. First time I can recall in over four decades that there was not a Quorum of the Plan Commission available. It has gotten a bit controversial, which is surprising since it fully complies with the LRMP. That discussion is for another day. In any event we are good with the Regional Plan Commission Date; but hereby request that the Zoning Board of Appeals Hearing be continued to the April Agenda. I am going to be out-of-State on February 28,2022 and not back until the first week of April,2022. Normally Kelly could cover for mme on Feb. 28 but she likewise is gone then. I wanted to get this request to you early.

Very Truly Yours,

Daniel J. Kramer Attorney at Law 1107A S. Bridge Street Yorkville, IL. 60560 Phone-630.553.9500 Fax-630.553.5764

NOTICE: This communication is covered by the Electronic Communications Privacy Act found at 18 USC 2510 et. seq. and is intended to remain confidential and is subject to the applicable attorney/client and or work product privileges. If you are not the intended recipient of this message, or if this message has been addressed to you in error, please immediately alert the sender by reply e-mail and then delete this message and all attachments. Do not deliver, distribute or copy this message and/or any attachments and do not disclose the contents or take any action in reliance upon the information contained in this communication or any attachments if you are not the intended recipient.

Attachment 13, Page 1 KENDALL COUNTY REGIONAL PLANNING COMMISSION

Kendall County Office Building Rooms 209 and 210 111 W. Fox Street, Yorkville, Illinois

Meeting Minutes of February 23, 2022 - 7:00 p.m.

Vice Chairman Rodriguez called the meeting to order at 7:01 p.m.

ROLL CALL

Members Present: Tom Casey, Dave Hamman, Karin McCarthy-Lange, Larry Nelson, Ruben Rodriguez, Bob

Stewart, Claire Wilson (Arrived at 7:03 p.m.), and Seth Wormley

Members Absent: Bill Ashton

Staff Present: Matthew H. Asselmeier, Senior Planner

Others Present: Miguel Angel Fernandez, Larson Family, Rusty Kamp, Robert Schwartz, Aaron Klima, Patti

Bernhard, and Tom Green

PETITIONS

Petition 21 – 49 – Irma Loya Quezada

Mr. Asselmeier read a letter from Attorney Dan Kramer requesting the proposal be laid over to the April 27, 2022, meeting.

Member Stewart made a motion, seconded by Member Nelson, to lay over the request until the April 27, 2022, meeting.

The votes were as follows:

Ayes (8): Casey, Hamman, McCarthy-Lange, Nelson, Rodriguez, Stewart, Wilson, and Wormley

Nays (0): None Absent (1): Ashton Abstain (0): None

The motion carried.

This proposal will be on the April 27, 2022, Commission's agenda.

CITIZENS TO BE HEARD/PUBLIC COMMENT

A representative of the Larson Family requested to know the time of the April 27, 2022, Commission meeting. The meeting will be at 7:00 p.m.

ADJOURNMENT

Member Nelson made a motion, seconded by Member Wormley, to adjourn. With a voice of eight (8) ayes, the motion carried.

The Kendall County Regional Planning Commission meeting adjourned at 8:45 p.m.

Respectfully submitted by, Matthew H. Asselmeier, AICP, CFM Senior Planner

Enc.

KCRPC Meeting Minutes 02.23.22

KENDALL COUNTY REGIONAL PLANNING COMMISSION FEBRUARY 23, 2022

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
Ton Green		
Palli Bernhad		
Mignel Argel Fornandez		
Lama Paraily		
Losty Kamps		

LAW OFFICES OF

Daniel J. Kramer

DANIEL J. KRAMER

1107A SOUTH BRIDGE STREET YORKVILLE, ILLINOIS 60560 (630) 553-9500 Fax: (630) 553-5764

KELLY A. HELLAND D.J. KRAMER

February 22, 2022

Matt Asselmeier Hand Delivered

RE:

Loya Quezada Residential Zoning Request Petition #21-49 Regional Plan Commission Hearing February 23, 2022

Dear Matt:

Per our discussion on Tuesday February 22, 2022 I have unfortunately undergone a heart procedure which worked temporarily but has run into problems. I am currently wearing a heart monitor for a few weeks and the Doctor is not quite sure what course of action he is going to take for corrective action.

He has strongly recommended that I refrain from any trial work and any type of contested hearings during the next month to 6 weeks in order to see what course of treatment he can render.

Wishing to continue in going in health I have over my many years, I am respectively requesting we continue the Regional Plan commission Hearing on the above-referenced zoning matter to April 27 2022. By that time it should shake out whether I have to undergo any additional procedures or if I am able to control the issue by medication.

I am religious about following my Cardiologist recommendations in the he had quadruple bypass about 12 years ago and I have been better ever since until suffering the current setback as a result of a COVID illness.

Very tally yours

Daniel J. Kramer Attorney at Law

DJK:cth

MINUTES – UNOFFICIAL UNTIL APPROVED KENDALL COUNTY ZONING BOARD OF APPEALS MEETING

111 WEST FOX STREET, COUNTY BOARD ROOM (ROOMS 209 and 210) YORKVILLE, IL 60560

February 28, 2022 – 7:00 p.m.

CALL TO ORDER

Chairman Randy Mohr called the Zoning Board of Appeals meeting to order at 7:00 p.m.

ROLL CALL:

Members Present: Scott Cherry, Cliff Fox, Tom LeCuyer, Randy Mohr, and Anne Vickery

Members Absent: Dick Thompson and Dick Whitfield

Staff Present: Matthew Asselmeier, AICP, CFM, Senior Planner

Others Present: Andrew Doyle and Patti Bernhard

Chairman Mohr swore in Andrew Doyle and Patti Bernhard prior to the start of the public hearings.

PETITIONS

Without objections, Chairman Mohr continued Petition 21-49 until May 2, 2022, and Petition 22-01 until after the Petitioner resolved the access permit issues with the Village of Oswego.

PUBLIC COMMENTS

For the March hearing, there will be a request from Seward Township for a moratorium on certain applications and a request from the Kendall County Planning, Building and Zoning Committee adding definitions of landscaping businesses and excavating businesses to the Zoning Ordinance.

ADJOURNMENT OF THE ZONING BOARD OF APPEALS

Member LeCuyer made a motion, seconded by Member Vickery, to adjourn.

With a voice vote of five (5) ayes, the motion carried.

The Zoning Board of Appeals meeting adjourned at 8:19 p.m.

The next hearing/meeting will be on March 28, 2022.

Respectfully submitted by, Matthew H. Asselmeier, AICP, CFM Senior Planner

Exhibits

- 1. Memo on Petition 21-49 Dated February 14, 2022
- 2. Certificate of Publication for Petition 21-49 (Not Included with Report but on file in Planning, Building and Zoning Office)



KENDALL COUNTY ZONING BOARD OF APPEALS FEBRUARY 28, 2022

In order to be allowed to present any testimony, make any comment, engage in cross-examination, or ask any question during this public hearing, you must enter your name, address, and signature on this form prior to the commencement of the public hearing. By signing this registration sheet, you agree that you understand that anything you say will be considered sworn testimony, and that you will tell the truth, the whole truth and nothing but the truth.

NAME	ADDRESS	SIGNATURE
ANDREW DOYLE	? (
*	R	



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204
Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

MEMORANDUM

To: Kendall County Zoning Board of Appeals

From: Matthew H. Asselmeier, AICP, CFM, Senior Planner

Date: February 14, 2022 Re: Petition 21-49

As noted in the attached email, the Attorney for this Petition requested that the hearing be continued to May 2, 2022.

If you have any questions regarding this memo, please let me know.

MHA

Enc. February 14, 2022 Email from Dan Kramer

Matt Asselmeier

From: Daniel J Kramer < dkramer@dankramerlaw.com>

Sent: Monday, February 14, 2022 12:57 PM

To: Matt Asselmeier; Scott Gengler; Scott Koeppel

Cc: Scott R. Gryder

Subject: RE: [External]Loya Zoning

May 2, 2022.

Very Truly Yours,

Daniel J. Kramer Attorney at Law 1107A S. Bridge Street Yorkville, IL. 60560 Phone-630.553.9500 Fax-630.553.5764

NOTICE: This communication is covered by the Electronic Communications Privacy Act found at 18 USC 2510 et. seq. and is intended to remain confidential and is subject to the applicable attorney/client and or work product privileges. If you are not the intended recipient of this message, or if this message has been addressed to you in error, please immediately alert the sender by reply e-mail and then delete this message and all attachments. Do not deliver, distribute or copy this message and/or any attachments and do not disclose the contents or take any action in reliance upon the information contained in this communication or any attachments if you are not the intended recipient.

From: Matt Asselmeier < masselmeier@co.kendall.il.us>

Sent: Monday, February 14, 2022 11:55 AM

To: Daniel J Kramer < dkramer@dankramerlaw.com>; Scott Gengler < sgengler@co.kendall.il.us>; Scott Koeppel

<skoeppel@co.kendall.il.us>

Cc: Scott R. Gryder <sgryder@co.kendall.il.us>

Subject: RE: [External]Loya Zoning

Dan:

Do you want the request continued to March 28th or May 2nd?

Thanks,

Matthew H. Asselmeier, AICP, CFM Senior Planner Kendall County Planning, Building & Zoning 111 West Fox Street Yorkville, IL 60560-1498

PH: 630-553-4139 Fax: 630-553-4179

From: Daniel J Kramer [mailto:dkramer@dankramerlaw.com]

Sent: Monday, February 14, 2022 10:09 AM

Attachment 14, Page 5

To: Matt Asselmeier < masselmeier@co.kendall.il.us >; Scott Gengler < sgengler@co.kendall.il.us >; Scott Koeppel

<skoeppel@co.kendall.il.us>

Cc: Scott Gryder < sgryder@nntg.com >

Subject: [External]Loya Zoning

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gentlemen: We have this matter up for the Feb Regional Plan Commission. It was originally scheduled for Jan. First time I can recall in over four decades that there was not a Quorum of the Plan Commission available. It has gotten a bit controversial, which is surprising since it fully complies with the LRMP. That discussion is for another day. In any event we are good with the Regional Plan Commission Date; but hereby request that the Zoning Board of Appeals Hearing be continued to the April Agenda. I am going to be out-of-State on February 28,2022 and not back until the first week of April,2022. Normally Kelly could cover for mme on Feb. 28 but she likewise is gone then. I wanted to get this request to you early.

Very Truly Yours,

Daniel J. Kramer Attorney at Law 1107A S. Bridge Street Yorkville, IL. 60560 Phone-630.553.9500 Fax-630.553.5764

NOTICE: This communication is covered by the Electronic Communications Privacy Act found at 18 USC 2510 et. seq. and is intended to remain confidential and is subject to the applicable attorney/client and or work product privileges. If you are not the intended recipient of this message, or if this message has been addressed to you in error, please immediately alert the sender by reply e-mail and then delete this message and all attachments. Do not deliver, distribute or copy this message and/or any attachments and do not disclose the contents or take any action in reliance upon the information contained in this communication or any attachments if you are not the intended recipient.

Attachment 15, Page 1 KENDALL COUNTY REGIONAL PLANNING COMMISSION

Kendall County Office Building Rooms 209 and 210 111 W. Fox Street, Yorkville, Illinois

Unapproved - Meeting Minutes of April 27, 2022 - 7:00 p.m.

Chairman Ashton called the meeting to order at 7:01 p.m.

ROLL CALL

Members Present: Bill Ashton, Tom Casey, Dave Hamman, Karin McCarthy-Lange, Larry Nelson, Ruben

Rodriguez, Claire Wilson (Arrived at 7:06 p.m.), and Seth Wormley

Members Absent: Bob Stewart

Staff Present: Matthew H. Asselmeier, Senior Planner

Others Present: Dan Kramer, Judd Lofchie, Jose Martinez, Tim O'Brien, Michael Eurkaitis, Irma Quezada,

Donald Larkin, and Jo Beth Larkin

PETITIONS

Petition 21-49 Irma Loya Quezada

Mr. Asselmeier summarized the request.

The Petitioner is requesting a map amendment rezoning two (2) approximately three point two-four (3.24) acre parcels from A-1 Agricultural District to R-1 One Family Residential District in order to construct one (1) house on each parcel.

The Petitioner plans to use Plat Act exemptions to divide the subject areas proposed for rezoning from the larger parcels.

The agricultural building permits for the parcels were used in 2003 and 2004. The only way houses can be constructed on the subject parcels is by obtaining the requested map amendment.

The application materials, plat of survey and aerial of the property were provided.

On December 4, 2021, five (5) neighbors submitted a written objection to the map amendment. These objections were provided. On January 24, 2022, one (1) additional neighbor submitted an objection. This objection was provided.

On December 7, 2021, the Petitioner's Attorney submitted a request to continue the Petition from the December Kendall County Regional Planning Commission meeting and Kendall County Zoning Board of Appeals hearing. This email was provided.

The properties are on the east side of Brisbin Road across from 14859 and 14975 Brisbin Road.

The current land use is Agricultural.

The future land use is Rural Estate Residential (Max 0.45 Du/Acre).

Brisbin Road is a Township Maintained Major Collector. There are no trails planned in the area.

There were no floodplains or wetlands on the property.

The adjacent land uses were Agricultural, Farmstead, and Hogan's Market.

The adjacent properties and properties within one half (1/2) of a mile were zoned A-1 and A-1 SU.

The Kendall County Future Land Use Map called for the to be Rural Estate Residential. The Plattville Future Land Use Map called for the property to the north of the subject property to be Low Density Residential.

The A-1 special use to the west is for the sale of agricultural products, art, pottery, and home décor not produced on the premises (Hogan's Market).

EcoCat submitted on November 11, 2021, and consultation was terminated.

NRI application submitted on October 18, 2021. The draft LESA Score was 199 indicating a low level of protection.

Seward Township was emailed information on November 16, 2021. The Seward Township Planning Commission reviewed this proposal on December 7, 2021. Discussion occurred regarding the Land Resource Management Plan in relation to Seward Township and protecting farmland. Discussion also occurred regarding drainage and illegal dumping on the property. The Seward Township Planning Commission issued a negative recommendation by a vote of four (4) against the proposal and zero (0) in favor of the proposal with one (1) member absent. The minutes were provided. On December 27, 2021, the Petitioner's Attorney submitted a response to the actions of the Seward Township Planning Commission; this letter was provided. On January 11, 2022, the Seward Township Board voted to submit a formal objection to the map amendment. Per State law, the objection must be submitted within thirty (30) days after the zoning hearing; Staff anticipates the objection will be filed in May 2022. The objection will require a positive vote of at least eight (8) County Board members in order to approve the requested map amendment.

The Village of Plattville was emailed information on December 16, 2021.

The Lisbon-Seward Fire Protection District was emailed information on November 16, 2021.

ZPAC reviewed this proposal at their meeting on December 7, 2021. The Petitioner's Attorney indicated the Petitioner only wanted to build two (2) houses at this time. The Highway Department requested a voluntary right-of-way dedication; the Petitioner's Attorney was agreeable to the request. ZPAC recommended approval of the requested map amendment by a vote of eight (8) in favor and zero (0) in opposition with two (2) members absent. The minutes of the meeting were provided.

The Kendall County Regional Planning Commission did not have quorum for their meeting on January 26, 2022. Prior to the February 23, 2022, meeting, the Petitioner requested the proposal be laid over to April 27, 2022. The minutes of the February 23, 2022, meeting were provided.

The Kendall County Zoning Board of Appeals started a public hearing on this proposal on December 13, 2021. At the Petitioner's request the hearing was continued to January 31, 2022. The hearing was continued again to February 28, 2022. The minutes of the December 13, 2021, meeting were provided. The minutes of the January 31, 2022, meeting were provided. On February 14, 2022, the Petitioner's Attorney submitted a request

Attachment 15, Page 3

that the hearing be continued to May 2, 2022. This email was provided. The minutes of the February 28, 2022, hearing were provided.

The Petitioner desires to rezone the subject property in order to build one (1) house on each of the two (2) new parcels created for a total of two (2) new houses.

Any new homes or accessory structures would be required to meet applicable building codes.

No public or private utilities are onsite.

The property fronts Brisbin Road. Staff has no concerns regarding the ability of Brisbin Road to support the proposed map amendment.

Any new driveways constructed would be for residential purposes. Any new driveways would have to meet applicable regulations and secure proper permits.

No new odors were foreseen.

Any new lighting would be for residential use only.

Any fencing, landscaping, or screening would be for residential purposes.

Any signage would be residential in nature.

No noise was anticipated.

Any new homes would have to be constructed per Kendall County's Stormwater Management Ordinance.

The proposed Findings of Fact were as follows:

Existing uses of property within the general area of the property in question. The surrounding properties are used for agricultural purposes or larger lot single-family residential uses.

The Zoning classification of property within the general area of the property in question. The surrounding properties are zoned A-1 or A-1 SU for the sale of agricultural products, art, pottery, and home décor not produced on the premises.

The suitability of the property in question for the uses permitted under the existing zoning classification. The property is presently zoned A-1. The agricultural housing allocations for the subject property have already been used and no new single-family homes can be constructed on the subject property without a map amendment.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is a mix of agricultural and single-family residential uses found in rural settings.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The Future Land Use Map in the Land Resource Management

Plan classifies this property as Rural Estate Residential. The R-1 One Family Residential District is consistent with the Rural Estate Residential classification.

Staff recommended approval of the proposed map amendment because the proposal is consistent with the Land Resource Management Plan.

Member Wilson asked why the Petitioners were rezoning only the center portion of the lot and leaving a U-shaped area zoned A-1. The Petitioners, responded that the proposed rezoned portions of the property were the best locations for houses because of drainage, per the engineer, Phil Young, that examined the property. They said the second home would be for their son. They will lease the land to farm and they also plan to have horses on the property.

Dan Kramer, Attorney for the Petitioner, explained that the Petitioner still desired to farm a portion of the property. The farming operation would be a small operation. No other business would be run at the property; no landscaping business has been run at the property and no construction or landscaping debris has been placed on the property. The request is consistent with the County's Land Resource Management Plan; Mr. Kramer noted that Seward Township allowed similar rezoning requests recently. He felt that some of the objectors had an implicit bias against the Petitioner. He hoped Seward Township would follow the proper procedures regarding updating a comprehensive plan. Mr. Kramer discussed the LaSalle Factors. He also discussed the *Village of Richton Park v. Sinclair Pipeline* case. He felt the proposed use would be consistent with the neighboring uses because other single-family homes on similar sized lots are located in the area. He distributed an article regarding the Carvana case.

Member Nelson provided a history of why this area was planned to be residential. The proposal is consistent with the Future Land Use Map as the Map currently exists. He urged the Commission to follow the Land Resource Management Plan.

Member Rodriguez expressed his support for the proposal.

Member Casey felt that the Seward Township Planning Commission had a red flag raised and they reacted to it. The concerns have calmed down and he welcomed the Petitioners to the neighborhood. He also expressed concerns about code enforcement of existing regulations.

Member Casey made a motion, seconded by Member Wormley, to recommend approval of the map amendment.

Donald and Jo Beth Larkin own property to the west and south of the property. They have been in Seward Township for fifty-seven (57) years. They expressed concerns about drainage, potential damage to field tile, and the construction of more homes on smaller parcels in the area. Discussion occurred regarding the conditions in the special use permit for Hogan's market. A drain tile survey will be required in order to build a house; the owners have to repair damaged tile by law. Also, a homeowner would not want broken tile on their property because the water would damage their house. Drainage Law is enforced civilly in Illinois. The property is not in a federal designated floodplain. The Larkins were encouraged to work with the Petitioners to maintain the tile; this will be an opportunity to locate and examine the tile.

Tim O'Brien, Seward Township Supervisor, explained that the Seward Township Planning Commission was concerned about water issues.

The votes were as follows:

Ayes (8): Ashton, Casey, Hamman, McCarthy-Lange, Nelson, Rodriguez, Wilson, and Wormley

KCRPC Meeting Minutes 04.27.22

Page 4 of 5

Nays (0): None Absent (1): Stewart Abstain (0): None

The motion carried.

This proposal will go to the Kendall County Zoning Board of Appeals on May 2, 2022.

CITIZENS TO BE HEARD/PUBLIC COMMENT

Jo Beth Larkin asked if Seward Township was going to create their own Township Plan. Chairman Ashton responded that Seward Township already had a Plan and they were trying to update their Plan. She asked if she should attend Township meetings. She was advised to attend Township meetings. A public hearing will occur on the Land Resource Management Plan. Member Nelson invited Ms. Larkin to the February Annual Meeting.

ADJOURNMENT

Member Rodriguez made a motion, seconded by Member Wormley, to adjourn. With a voice of eight (8) ayes, the motion carried.

The Kendall County Regional Planning Commission meeting adjourned at 9:03 p.m.

Respectfully submitted by, Matthew H. Asselmeier, AICP, CFM Senior Planner



KENDALL COUNTY REGIONAL PLANNING COMMISSION APRIL 27, 2022

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)	
Don Krimer			
Tim Brien			
ah.			
M. EURKAME	-		
Juld Lofchie			
JO BETH LARKIN			

Anyone who has shopped for a one since COVID-10 broke out two years are known that conditions for this orial Midwest industry have been anything but normal And in thing serv a shore man quite like a giant automobile vending machine going up nert to a forest preserve.

Stokie Village Board members could have taken the easy way out and voted 'no' to a development plan that prompted heared protests from bird lovers and NTMFY neighborns. Instead, they took a hard lovel a live ging they are development to be development in their community, which soon will be home to ugh, a le-story wending muches to ugh, a le-story wending machine style tower for seiling ears.

This page 1 arms a listed car.

ing cars.
This new Carvana used-car
dealership will sit uneasily along
1994, between the bird friendly
Harriss Woods, the halfowed
Ultinois Holocaust Museum
and Optima, a large residertial complex whose inhabitants
are bracing themselves for an
evisione.

are bracing themserves for an eyescore.

An insecond Village Board meeting, observers to present the board-room by me ponegoast a protester sprawled on the Room in a dead-brd thates. Although Carvans over mixed unityportion to determine the protection of the prote

ing the bond was a processor. In the pandemic a cary day, as the nation bunkered down auto sales plunged and millions of cary were partied for weeks it a time. Air pollution cleared, accident frequency declaned, a sembly plants went tifle and dealer show were deserted. Swear formed on the brow of anyone with a funancial stake in America's love for the open road.

cial stake in America's love for the open road.

After the initial damage was done, the industry experienced an onusual turnaround. Americans flush with past started chasing cins like naughty dogs. Demand soared at the same time automaters were thingle to meet it, mostly because of supply-chain problems.

A new, modern as requires dozens of computer chips for sverything from cruise control to information styricins, and he scarcity of semiconductors dozens of the seminary strengths.



Carvaria's glass tower lights up the night sky near 22nd Street and Interstate 88 in Oak Brook, BRETT JOHNSON / PIONEER PRESS

Automakers responded by shifting production to their most expensive models and dealers by maximizing returns on cant uncentery, doubling their mesage posting a very dealers of their mesage posting a very dealers of their mesage post year. The interaction picks of a new cut that to \$45,323 and Descention, and seconding in the LD Finner data service. Find and Committee theory and their seconding in the LD Finner data service. Find and data data data dealers the product service and data dealers the product service.

the making at the property of the making at the property of th

stock take off as vehicle demand revived.

The Stockie project is among more than 30 Caryana yending intachine locations across the country, including in suburban Dak Brook and Schaimber Dak Brook and Schaimber Dak Brook and Schaimber Children who buy cars online are given the "fini" option of picking them up at one of the towers by inserting a souventh token and watching as the vehicle descends from its parking shot in the talk har row structure. A photo book is a wailable to captine the moment for Sharing on social media.

Not our idea of a thrill but, hey.

Not our idea of a thrill but, hey, different strokes.
Latinched in early 2013,

wide E-commerce placforms for buying and selling cars have proliferated, and Carvana contends online with everything from Caracom (spec-partially owned by Taibure) to Vroom. In pandents above as as a good the attention of even more formidable competition, muchly this which resembly hundred as Car from occurs and a page.

and to make the price of the provided of the provided provided price of the the price of the pri

At the Stokie Village Board meeting, the company made a strong case for fits flew tower. Carvain brought in feather friendly consultants, agreed to install anti-bird-strike markets of its windows and expanded a freeyous forcement to dim its lights and light, Most coronicing; it postered out that, under current zooing, the site could be developed into a much larger office, hotel or a partiment tower birds dedamaed.

To all those carrying "Carva-NO" signs, we sympathize, but in this case, Carvana at Plast listened to the boncerns and tried to be a good pegabor including to those who think

MINUTES – UNOFFICIAL UNTIL APPROVED KENDALL COUNTY ZONING BOARD OF APPEALS MEETING

111 WEST FOX STREET, COUNTY BOARD ROOM (ROOMS 209 and 210)
YORKVILLE, IL 60560

May 2, 2022 - 7:00 p.m.

CALL TO ORDER

Vice-Chairman Tom LeCuyer called the Zoning Board of Appeals meeting to order at 7:05 p.m.

ROLL CALL:

Members Present: Scott Cherry, Cliff Fox, Tom LeCuyer, Dick Thompson, Anne Vickery, and Dick

Whitfield

Members Absent: Randy Mohr

Staff Present: Matthew Asselmeier, AICP, CFM, Senior Planner

Others Present: Dan Kramer and Dustin Walzer

PETITIONS

The Zoning Board of Appeals started their review of Petition 21-49 at 7:06 p.m.

Petition 21 – 49 – Irma Loya Quezada

Request: Map Amendment Rezoning the Subject Property from A-1 Agricultural District to R-1

One Family Residential District

PINs: 09-18-300-018 (Part) and 09-18-300-019 (Part)

Location: On the East Side of Brisbin Road Across from 14859 and 14975 Brisbin Road, Seward

Township

Purpose: Petitioner Wants to Rezone the Property in Order to Divide the Property and Construct

Two Homes

Mr. Asselmeier summarized the request.

The Petitioner is requesting a map amendment rezoning two (2) approximately three point two-four (3.24) acre parcels from A-1 Agricultural District to R-1 One Family Residential District in order to construct one (1) house on each parcel.

The Petitioner plans to use Plat Act exemptions to divide the subject areas proposed for rezoning from the larger parcels.

The agricultural building permits for the parcels were used in 2003 and 2004. The only way houses can be constructed on the subject parcels is by obtaining the requested map amendment.

The application materials, plat of survey and aerial of the property were provided.

On December 4, 2021, five (5) neighbors submitted a written objection to the map amendment. These objections were provided. On January 24, 2022, one (1) additional neighbor submitted an objection. This objection was provided.

On December 7, 2021, the Petitioner's Attorney submitted a request to continue the Petition from the December Kendall County Regional Planning Commission meeting and Kendall County Zoning Board of Appeals hearing. This email was provided.

The properties are on the east side of Brisbin Road across from 14859 and 14975 Brisbin Road.

The current land use is Agricultural.

The future land use is Rural Estate Residential (Max 0.45 Du/Acre).

Brisbin Road is a Township Maintained Major Collector. There are no trails planned in the area.

There were no floodplains or wetlands on the property.

The adjacent land uses were Agricultural, Farmstead, and Hogan's Market.

The adjacent properties and properties within one half (1/2) of a mile were zoned A-1 and A-1 SU.

The Kendall County Future Land Use Map called for the to be Rural Estate Residential. The Plattville Future Land Use Map called for the property to the north of the subject property to be Low Density Residential.

The A-1 special use to the west is for the sale of agricultural products, art, pottery, and home décor not produced on the premises (Hogan's Market).

EcoCat submitted on November 11, 2021, and consultation was terminated.

NRI application submitted on October 18, 2021. The draft LESA Score was 199 indicating a low level of protection.

Seward Township was emailed information on November 16, 2021. The Seward Township Planning Commission reviewed this proposal on December 7, 2021. Discussion occurred regarding the Land Resource Management Plan in relation to Seward Township and protecting farmland. Discussion also occurred regarding drainage and illegal dumping on the property. The Seward Township Planning Commission issued a negative recommendation by a vote of four (4) against the proposal and zero (0) in favor of the proposal with one (1) member absent. The minutes were provided. On December 27, 2021, the Petitioner's Attorney submitted a response to the actions of the Seward Township Planning Commission; this letter was provided. On January 11, 2022, the Seward Township Board voted to submit a formal objection to the map amendment. Per State law, the objection must be submitted within thirty (30) days after the zoning hearing; Staff anticipates the objection will be filed in February 2022. The objection will require a positive vote of at least eight (8) County Board members in order to approve the requested map amendment.

The Village of Plattville was emailed information on December 16, 2021. No comments received.

The Lisbon-Seward Fire Protection District was emailed information on November 16, 2021. No comments received.

ZPAC reviewed this proposal at their meeting on December 7, 2021. The Petitioner's Attorney indicated the Petitioner only wanted to build two (2) houses at this time. The Highway Department requested a voluntary right-of-way dedication; the Petitioner's Attorney was agreeable to the request. ZPAC recommended approval of the requested map amendment by a vote of eight (8) in favor and zero (0) in opposition with two (2) members absent. The minutes of the meeting were provided.

The Kendall County Regional Planning Commission did not have quorum for their meeting on January 26, 2022. The Kendall County Regional Planning Commission reviewed the proposal at their meeting on April 27, 2022. Member Wilson asked why the Petitioners were rezoning only the center portion of the lot and leaving a U-shaped area zoned A-1. The Petitioners, responded that the proposed rezoned portions of the property were the best locations for houses because of drainage, per the engineer, Phil Young, that examined the property. They said the second home would be for their son. They will lease the land to farm and they also plan to have horses on the property. Dan Kramer, Attorney for the Petitioner, explained that the Petitioner still desired to farm a portion of the property. No other business would be run at the property; no landscaping business has been run at the property and no construction or landscaping debris has been placed on the property. The request is consistent with the County's Land Resource Management Plan; Mr. Kramer noted that Seward Township allowed similar rezoning requests recently. He felt that some of the objectors had an implicit bias against the Petitioner. He hoped Seward Township would follow the proper procedures regarding updating a comprehensive plan. Mr. Kramer discussed the LaSalle Factors. He also discussed the Village of Richton Park v. Sinclair Pipeline case. He felt the proposed use would be consistent with the neighboring uses because other single-family homes on similar sized lots are located in the area. Donald and Jo Beth Larkin expressed concerns about drainage, potential damage to field tile, and the construction of more homes on smaller parcels in the area. A drain tile survey will be required in order to build a house; the owners have to repair damaged tile by law. Also, a homeowner would not want broken tile on their property because the water would damage their house. Drainage Law is enforced civilly in Illinois. The property is not in a federal designated floodplain. The Larkins were encouraged to work with the Petitioners to maintain the tile; this will be an opportunity to locate and examine the tile. Tim O'Brien, Seward Township Supervisor, explained that the Seward Township Planning Commission was concerned about water issues. The Kendall County Regional Planning Commission recommended approval of the request by a vote of eight (8) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting were provided.

The Kendall County Zoning Board of Appeals started a public hearing on this proposal on December 13, 2021. At the Petitioner's request the hearing was continued to January 31, 2022. The hearing was continued again to February 28, 2022. The minutes of the December 13, 2021, meeting were provided. The minutes of the January 31, 2022, meeting were provided. On February 14, 2022, the Petitioner's

Attorney submitted a request that the hearing be continued to May 2, 2022. This email was provided. The minutes of the February 28, 2022, hearing were provided.

The Petitioner desires to rezone the subject property in order to build one (1) house on each of the two (2) new parcels created for a total of two (2) new houses.

Any new homes or accessory structures would be required to meet applicable building codes.

No public or private utilities are onsite.

The property fronts Brisbin Road. Staff has no concerns regarding the ability of Brisbin Road to support the proposed map amendment.

Any new driveways constructed would be for residential purposes. Any new driveways would have to meet applicable regulations and secure proper permits.

No new odors were foreseen.

Any new lighting would be for residential use only.

Any fencing, landscaping, or screening would be for residential purposes.

Any signage would be residential in nature.

No noise was anticipated.

Any new homes would have to be constructed per Kendall County's Stormwater Management Ordinance.

The proposed Findings of Fact were as follows:

Existing uses of property within the general area of the property in question. The surrounding properties are used for agricultural purposes or larger lot single-family residential uses.

The Zoning classification of property within the general area of the property in question. The surrounding properties are zoned A-1 or A-1 SU for the sale of agricultural products, art, pottery, and home décor not produced on the premises.

The suitability of the property in question for the uses permitted under the existing zoning classification. The property is presently zoned A-1. The agricultural housing allocations for the subject property have already been used and no new single-family homes can be constructed on the subject property without a map amendment.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest

classification. The trend of development in the area is a mix of agricultural and single-family residential uses found in rural settings.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The Future Land Use Map in the Land Resource Management Plan classifies this property as Rural Estate Residential. The R-1 One Family Residential District is consistent with the Rural Estate Residential classification.

Staff recommended approval of the proposed map amendment because the proposal is consistent with the Land Resource Management Plan.

Member Vickery said the Township was not bias against the Petitioner. She was upset about the messes and illegal businesses in the Township.

Member Vickery made a motion, seconded by Member Cherry, to approve the request.

Vice-Chairman LeCuyer swore in Dan Kramer.

Vice-Chairman LeCuyer opened the public hearing at 7:14.

Dan Kramer, Attorney for the Petitioner, said that he did not accuse anyone associated with the Seward Township Planning Commission or the Seward Township Board of implied bias. He stated that the circulated objection letters had implied bias. The Petitioners had run a landscaping business. He noted that Fran Klaas asked him about landscaping material, but these materials were located on a neighboring property to the north. He identified the parcels that the Petitioners own and the neighboring properties where landscaping debris was dumped. He also noted the proposed rezoned areas were the best places to construct houses on the parcels because of drainage. Twelve to thirteen (12-13) acres will remain in crops.

Member Vickery said that the Seward Township Planning Commission was under the impression that the two (2) twenty (20) acre parcels would each have a housing permit and not that the twenty (20) acres would be split into two (2). Mr. Kramer agreed with Member Vickery.

Mr. Kramer said Tim O'Brien, Seward Township Supervisor, told him that neighbors were concerned about drainage. Mr. Kramer said the drain tile would be located and the home would not be near the tile.

Member Fox asked who was responsible for finding the tiles. Mr. Asselmeier said the property would have a footings inspection. At that time, the inspector would note if the tiles were impacted by the footings. Mr. Kramer said water would be in the hole if the tiles were damaged. Mr. Asselmeier said, in such a case, the house would have water problems.

Member Cherry asked why the rezoning was necessary. Mr. Asselmeier explained that the housing allocations for this farm were already used. Member Vickery provided a history of the sale of land in the area. The minimum lot size for R-1 is two point nine-nine (2.99) acres.

Member Vickery discussed the planning history of the area and noted that a neighboring property owner was advertising property for sale with the ability to construct a house. She also discussed the need for a moratorium to update the Seward Township Plan.

Mr. Kramer discussed the LaSalle factors and related court cases.

Vice-Chairman LeCuyer closed the public hearing at 7:28 p.m.

Member Whitfield made a motion, seconded by Member Thompson, to approve the Findings of Fact.

The votes were as follows:

Ayes (6): Cherry, Fox, LeCuyer, Thompson, Vickery, and Whitfield

Nays (0): None Abstain (0): None Absent (1): Mohr

The motion passed.

Member Vickery acknowledged that Seward Township could not stop this proposal because the moratorium was not in place and because of the LaSalle factors.

The votes were as follows on the original motion to recommend approval:

Ayes (6): Cherry, Fox, LeCuyer, Thompson, Vickery, and Whitfield

Nays (0): None Abstain (0): None Absent (1): Mohr

The motion passed.

Seward Township and the Village of Plattville will be notified of the results of the public hearing and will be given thirty (30) days to file their objection. The proposal will go to the Kendall County Planning, Building and Zoning Committee on Monday, June 13, 2022.

The Zoning Board of Appeals completed their review of Petition 21-49 at 7:31 p.m.

PUBLIC COMMENTS

Mr. Asselmeier reported that, for the May 31st hearing, there will be a Petition requesting a special use permit for a landscaping business on the north side of Route 52 west of Arbeiter Road in Seward Township.

Mr. Asselmeier also reported that he was recently elected President of the Illinois Association of County Zoning Officials.

Mr. Asselmeier also reported that Hide-A-Way Lakes was annexed in the Village of Oswego.

The County received a price quote from Teska Associates to update the Land Resource Management Plan. This will quote will be reviewed by the Regional Planning Commission at their May meeting.

ADJOURNMENT OF THE ZONING BOARD OF APPEALS

Member Whitfield made a motion, seconded by Member Thompson, to adjourn.

With a voice vote of six (6) ayes, the motion carried.

The Zoning Board of Appeals meeting adjourned at 8:12 p.m.

The next hearing/meeting will be on May 31, 2022.

Respectfully submitted by, Matthew H. Asselmeier, AICP, CFM Senior Planner

Exhibits

- 1. Memo on Petition 21-49 Dated April 28, 2022
- 2. Certificate of Publication and Certified Mail Receipts for Petition 21-49 (Not Included with Report but on file in Planning, Building and Zoning Office)



KENDALL COUNTY ZONING BOARD OF APPEALS MAY 2, 2022

In order to be allowed to present any testimony, make any comment, engage in cross-examination, or ask any question during this public hearing, you must enter your name, address, and signature on this form prior to the commencement of the public hearing. By signing this registration sheet, you agree that you understand that anything you say will be considered sworn testimony, and that you will tell the truth, the whole truth and nothing but the truth.

NAME	ADDDECC	SIGNATURE
Dav Krow 21-49	,	/
	/-	

Attachment 17

From: <u>Tim O"Brien</u>
To: <u>Matt Asselmeier</u>

Cc: Scott Koeppel; Scott Gengler; Latreese Caldwell; Ischoenstedt@rcklawfirm.com; cbuck@rcklawfirm.com

Subject: [External]Re: Quezada Rezoning

Date: Wednesday, May 11, 2022 1:36:22 PM

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon:

The Board voted to withdraw the Legal objection.

Tim O'Brien Supervisor, Seward Township

----Original Message-----

From: Matt Asselmeier <masselmeier@kendallcountyil.gov>

To: Tim O'Brien <sewtow@aol.com>

Cc: Scott Koeppel <skoeppel@kendallcountyil.gov>; Scott Gengler <sgengler@kendallcountyil.gov>;

Latreese Caldwell <LCaldwell@kendallcountyil.gov>; lschoenstedt@rcklawfirm.com <lschoenstedt@rcklawfirm.com>; cbuck@rcklawfirm.com <cbuck@rcklawfirm.com>

Sent: Wed, May 11, 2022 10:58 am

Subject: Quezada Rezoning

Tim:

Did Seward Township vote to submit a legal objection to the Quezada rezoning? If yes, please send me that objection.

Thanks,

Matthew H. Asselmeier, AICP, CFM Senior Planner Kendall County Planning, Building & Zoning 111 West Fox Street Yorkville, IL 60560-1498

PH: 630-553-4139 Fax: 630-553-4179 State of Illinois County of Kendall Zoning Petition #21-49

ORDINANCE NUMBER 2022-____

MAP AMENDMENT FOR APPROXIMATELY SIX POINT FOUR-EIGHT ACRES OF LAND LOCATED ON THE EAST SIDE OF BRISBIN ROAD ACROSS FROM 14859 AND 14975 BRISBIN ROAD (PORTION OF PINS: 09-18-300-018 AND 09-18-300-019) IN SEWARD TOWNSHIP

Rezone from A-1 to R-1

<u>WHEREAS</u>, Section 13:07 of the Kendall County Zoning Ordinance permits the Kendall County Board to approve map amendments and provides the procedure through which map amendments are granted; and

<u>WHEREAS</u>, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of two parcels totaling approximately 20.7 more or less acres of which approximately 6.48 more less acres are subject to the map amendment and located on the east side of Brisbin Road across from 14859 and 14975 Brisbin Road and identified by portions of Parcel Identification Numbers 09-18-300-018 and 09-18-300-019, in Seward Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as "the subject property"; and

<u>WHEREAS</u>, the subject property is currently owned by Irma Loya Quezada and shall hereinafter be referred to as "Petitioner"; and

<u>WHEREAS</u>, on or about November 12, 2021, Petitioner's representative filed a petition for a Map Amendment rezoning the subject property from A-1 Agricultural District to R-1 One Family Residential District; and

<u>WHEREAS</u>, following due and proper notice by publication in the Kendall County Record on November 25, 2021, the Kendall County Zoning Board of Appeals initiated a public hearing on December 13, 2021, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, and continued the public hearing to January 31, 2022, at 7:00 p.m., and continued the public hearing to February 28, 2022, at 7:00 p.m., and continued the public hearing to May 2, 2022, at 7:00 p.m., at the same location, at which the Petitioner's representative presented evidence, testimony, and exhibits in support of the requested Map Amendment and zero members of the public testified in favor or in opposition or expressed concerns regarding the requested Map Amendment; and

<u>WHEREAS</u>, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended approval of the Map Amendment as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated May 2, 2022, a true and correct copy of which is attached hereto as Exhibit B; and

<u>WHEREAS</u>, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of <u>approval/denial/neutral</u> of the requested Map Amendment; and

<u>WHEREAS</u>, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

State of Illinois Zoning Petition
County of Kendall #21-49

<u>NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS,</u> as follows:

- 1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
- 2. The Kendall County Board hereby grants approval of Petitioner's petition for a Map Amendment rezoning the subject property from A-1 Agricultural District to R-1 One Family Residential District.
- 3. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this Map Amendment.

<u>IN WITNESS OF</u>, this ordinance has been enacted by a supermajority vote of the Kendall County Board and is effective this 21st day of June, 2022.

Attest:	
Kendall County Clerk	Kendall County Board Chairman
Debbie Gillette	Scott R. Gryder

Legal Descriptions

Parcel 1A

That Part of the West Half of the Southwest Fractional Quarter of Section 18, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northwest Corner of said Southwest Fraction Quarter; thence Southerly, along the West Line of said Southwest Fractional Quarter, 2100.30 feet for the point of beginning; thence Northerly along said West Line, 302.08 feet; thence Easterly, perpendicular to said West Line, 470.00 feet; thence Southerly, perpendicular to the last ascribed course 298.98 feet to a line drawn Easterly from the point of beginning which is parallel to said North Line; thence Westerly parallel with said North Line, 470.01 feet to the point of beginning in Seward Township, Kendall County, Illinois.

Parcel 2A

That Part of the West Half of the Southwest Fractional Quarter of Section 18, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northwest Corner of said Southwest Fraction Quarter; thence Southerly, along the West Line of sad Southwest Fractional Quarter, 2100.30 feet for the point of beginning; thence Southerly, along said West Line 298.75 feet; thence Easterly, perpendicular to said West Line, 470.0 feet; thence Northerly, perpendicular to the last described course, 301.85 feet to a line drawn Easterly from the point of beginning, which is parallel with the North Line of said Southwest Fractional Quarter; thence Westerly, parallel with said North Line, 470.01 feet to the point of beginning, in Seward Township, Kendall County, Illinois.



Legend

Legal Descriptions

Parcels





Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on May 2, 2022, by a vote of six (6) in favor and zero (0) in opposition. Member Mohr was absent.

FINDINGS OF FACT

Existing uses of property within the general area of the property in question. The surrounding properties are used for agricultural purposes or larger lot single-family residential uses.

The Zoning classification of property within the general area of the property in question. The surrounding properties are zoned A-1 or A-1 SU for the sale of agricultural products, art, pottery, and home décor not produced on the premises.

The suitability of the property in question for the uses permitted under the existing zoning classification. The property is presently zoned A-1. The agricultural housing allocations for the subject property have already been used and no new single-family homes can be constructed on the subject property without a map amendment.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is a mix of agricultural and single-family residential uses found in rural settings.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The Future Land Use Map in the Land Resource Management Plan classifies this property as Rural Estate Residential. The R-1 One Family Residential District is consistent with the Rural Estate Residential classification.

RECOMMENDATION

Approval



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203 Yorkville, IL • 60560 553-4141 Fax (630) 553-

(630) 553-4141

Fax (630) 553-4179

Petition 22-10

Mark Fecht on Behalf of Fecht Brothers, Inc. and Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC A-1 Special Use Permit for Landscaping Business

INTRODUCTION

Best Budget Tree, LLC would like to purchase the subject property from Fecht Brothers Inc. in order to operate a tree and landscaping business at the property.

Best Budget Tree, LLC has been in existence for over ten (10) years.

The application materials are included as Attachment 1. The site plan is included as Attachment 2. The landscaping plan is included as Attachment 3. The stormwater plans are included as Attachment 4. The renderings of the proposed building are included as Attachment 5.

SITE INFORMATION

PETITIONERS: Mark Fecht on Behalf of Fecht Brothers, Inc. (Property Owner)

Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC

(Contract Purchaser)

ADDRESS: None Assigned (Across Route 52 from 2190 and 2200 Route 52, Minooka)

LOCATION: Approximately 0.1 Miles West of Arbeiter Road on the North Side of Route 52



TOWNSHIP: Seward

PARCEL #: 09-15-200-003

LOT SIZE: 48.3 +/- Acres

EXISTING LAND Agricultural

USE:

ZONING: A-1

LRMP:

Future	Rural Residential (Max 0.65 DU/Acre) (County)
Land Use	Residential and Commercial (Shorewood)
Roads	Route 52 is a State maintained Arterial.
Trails	Joliet has a trail planned along Route 52, but Joliet does not want a
	right-of-way dedication at this time, see Attachment 6.
Floodplain/	There are no floodplains on the property. There is a wetland near
Wetlands	the northwest corner of the property.

REQUESTED

Special Use Permit for a Landscaping Business ACTION:

APPLICABLE Section 7:01.D.30 – A-1 Special Uses REGULATIONS: Section 13:08 – Special Use Procedures

SURROUNDING LAND USE

Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
Agricultural	A-1	Rural Residential (Max 0.65 Du/Acre) (County) Residential (Joliet)	A-1
Agricultural/Single- Family Residential	A-1	Rural Residential and Commercial (County) Residential and	A-1
		Commercial (Shorewood)	
Agricultural/Single Family-Residential	A-1 and R-3	Suburban Residential (Max 1.00 Du/Acre) (County)	A-1 and R-3
		Residential and Commercial (Shorewood)	
	Agricultural Agricultural/Single- Family Residential Agricultural/Single	Agricultural A-1 Agricultural/Single-Family Residential Agricultural/Single A-1 and R-3	Agricultural Agricultural A-1 Rural Residential (Max 0.65 Du/Acre) (County) Residential (Joliet) Agricultural/Single-Family Residential A-1 Rural Residential and Commercial (County) Residential and Commercial (Shorewood) Agricultural/Single Family-Residential A-1 and R-3 Suburban Residential (Max 1.00 Du/Acre) (County) Residential and Commercial

West	Agricultural	A-1	Rural Residential (County)	A-1, A-1 SU, and R-1
			Residential (Shorewood)	

The A-1 special use permit to the west is for the sale of agricultural products not grown on the premises.

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report was submitted on April 15, 2022, and indicated the following protected resources:

Aux Sable Creek INAI Site Greater Redhorse (Moxostoma valenciennesi)

The Illinois Department of Conservation determined that negative impacts were unlikely and consultation was terminated on April 18, 2022, see Attachment 1, Pages 25-28.

NATURAL RESOURCES INVENTORY

The application for NRI was submitted April 21, 2022, see Attachment 1, Page 30. The LESA Score was 210 indicating a medium level of protection. The NRI Report is included as Attachment 7.

ACTION SUMMARY

SEWARD TOWNSHIP

Petition information was sent to Seward Township on April 25, 2022. The Seward Township Planning Commission reviewed the proposal in May 2022. They expressed concerns about the location of lighting with respect to the adjacent homes. The Seward Township Planning Commission recommended approval of the request. An email to that effect is included as Attachment 8. The Seward Township Board met on May 28, 2022 and recommended denial on a vote of three (3) in favor and one (1) in opposition. The Township Board recommended denial because of concerns related to decreased property values, noise, pollution concerns, the presence of containers for storage, fire issues, the impact of the use on the existing pipelines, and enforcement of conditions by the County. The minutes of the meeting are included as Attachment 15.

VILLAGE OF SHOREWOOD

Petition information was sent to the Village of Shorewood on April 25, 2022. On May 4, 2022, the Village of Shorewood submitted an email saying they did not want to request a right-of-way dedication for a biking/walking trail. This email is included as Attachment 9.

MINOOKA FIRE PROTECTION DISTRICT

Petition information was sent to the Minooka Fire Protection District on April 25, 2022. On May 5 and 6, 2022, the Minooka Fire Protection District submitted a letter and email requesting a fire alarm system that meets applicable codes, no smoking signs near the mulch pile, a dry fire hydrant, and signage properly marking the address of the property. The letter and email are included as Attachment 10. The Petitioners were agreeable to this request.

ZPAC

The Kendall County ZPAC reviewed this Petition at their meeting on May 3, 2022. Mr. Klaas asked if the six inch (6") pipe shown on the plans went to Route 52. John Tebrugge, Petitioners' Engineer, said the pipe goes almost to Route 52. The Petitioners had not received final access approval from the Illinois Department of Transportation; they will not get final approval until they (the Dippolds) own the property. The Petitioners understood that any buildings constructed on the property would not be eligible for agricultural building permit exemptions. Based on the information provided, the well would not be a non-community well. The Petitioners were advised to design the septic system for maximum load. The Petitioners were advised to identify on the site plan where lights would be placed. The Petitioners had no plans to use the access off of Arbeiter Road. The land comes with building allocations. ZPAC recommended approval of the proposal by a vote of six (6) in favor and zero (0) in

opposition with four (4) members absent. The minutes are included as Attachment 11.

RPC

The Kendall County Regional Planning Commission reviewed this Petition at their meeting on May 25, 2022.

Chairman Ashton asked if the Minooka Fire Protection District wanted just an alarm system or if the request was to have the building sprinklered. Mr. Asselmeier responded just an alarm system.

Member Wilson asked how the Petitioners were going to manage the mulch pile and if mulch would be sold. Jeremy Dippold, Petitioner, said the mulch would be installed on off-site locations. They would have several small piles. The maximum height of the mulch piles would be twelve feet (12') because of the company's equipment.

Member Casey asked where the business was currently located. Mr. Dippold responded Renwick Road and Interstate 55. Mr. Dippold said the proposed location would look better than the existing location because no inside storage exists at their current location.

Member Casey asked about possible expansion. Mr. Asselmeier said, if the Petitioners expanded into the farmland beyond the area identified on the site plan, an amendment to the special use permit would be required.

Discussion occurred regarding the access point off of Arbeiter Road. The access would remain to allow a farmer to get their equipment into the field. Based on the plans, it appeared difficult for a farmer to get equipment to north portion of the property using the access off of Route 52. Equipment could be driven through the parking lot. The current owner would continue to farm the property after the Dippolds acquire the property.

Joe Frescura requested that the proposal be denied for the following reasons:

- 1. The business has no noise control plan; wood chippers would exceed the noise requirements in the proposed special use permit. He provided pictures of the height of mulch piles at the business' current location. The trees proposed on the site plan will not reach full height for ten (10) years and will not provide a full noise buffer until that time.
- 2. The dyed mulch will jeopardize local wells, waterways, and wetlands.
- 3. Inclusion of access to Arbeiter Road; he would like to see the access point removed. He also discussed burning at other landscaping businesses.
- 4. There are several containers at the Petitioners' current operating location. He was concerned about the placement of the containers turning the area into an industrial park and causing a decrease in property values in the area.
- 5. He noted that five (5) landscaping business have special use permits in Seward Township. These existing special uses are not located near homes like the proposed special use.
- 6. He expressed concerns regarding the soils to support a septic system.
- 7. He expressed concerns regarding burning on the property and the possible inter-mingling of onsite and offsite generated materials in a burn pile.
- 8. He noted that the LESA Score was 210. He argued the property should be retained for farming.

Mr. Dippold said chippers would not be used onsite; they would be at customers' homes. He explained the mulch dyeing process; the dyed mulch is not hazardous. He did not want burning on the property. He has three (3) containers which are used for storage; the containers would be replaced with the building. He was agreeable to a condition not allowing shipping containers on the property. He did not anticipate operating at the site until July 2023. He has no interest in using Arbeiter Road to access the property for the business.

Anne Vickery noted this proposal would be the sixth (6th) landscaping special use in Seward Township. She asked if anyone on the Board would like to live next to this type of use. She also noted that the property was planned to be residential. She asked who would enforce the regulations; she noted burning at another landscaping business.

Robert Delaney said the area was a residential area and should remain a residential area. He questioned the need to have a large amount of acreage used for the proposed use.

Pat Frescura said that she has lived in the area for over fifty (50) years. She noted the time, investment, and pride in her property. She was against having the proposed use near her property. She wanted to keep the land as farmland. She said that she was unaware of the Seward Township Planning Commission's meeting.

Jim Martin, Seward Township Trustee, said the Seward Township Planning Commission did not forward a recommendation to the Township Board. The Township Board did not vote on this proposal.

Tim O'Brien, Seward Township Supervisor, said the Seward Township Planning Commission did not forward a recommendation to the Township Board.

It was noted that the proposal would preserve agricultural uses on the majority of the property.

Dave Shively asked what A-1 meant. A-1 means agricultural. He discussed the repaving of Arbeiter Road. He asked about enforcement of burning regulations. Mr. Asselmeier explained that burning items brought onto the property was against State law. Mr. Shively favored keeping the property in farming. He favored a housing development instead of the proposed use.

Member Wilson favored having the proposal over houses.

Tony Guzman said that he bought his property because it was a residential area. He would like to see the property become a park. He likes the wildlife in the area. He felt the use was an industrial use.

Mr. Dippold asked if his proposal was any different than a farmer building grain bins with related noise and odors. He also noted that he was pursuing the zoning on the property the correct way.

Kim Larkin said that she did not want to look at this use in her backyard. She said that mulch has an odor. Discussion occurred regarding the smell of mulch. She expressed concerns about diminished property values.

Steve Papaeliou expressed his opposition to the containers on the property.

Mr. O'Brien requested the proposal be tabled proposal and sent back to Seward Township. Member Wilson wanted to know the opinion of the Township Board. Member Nelson noted the Petitioners followed the proper procedures to get to this point. Mr. Dippold opposed tabling the proposal because Mr. Fecht wants to close on the property quickly.

Member Nelson did not see much of a difference between the proposal and farming uses.

Member Wormley noted that a subdivision could be placed on the property at some point in the future, even if the special use permit was approved. He thought the proposal was a good proposal compared to other uses that could go on the property.

The Kendall Regional Planning Commission voted to recommend approval of the proposal with an additional condition stating that no storage containers would be allowed on the subject property by a vote of seven (7) in favor and one (1) in opposition with one (1) member absent. The minutes of the meeting are included as Attachment 14.

ZBA

The Kendall County Zoning Board of Appeals held a public hearing on May 31, 2022. It was noted that the powered equipment exemption applies to equipment used to maintain the property and not to equipment related to the landscaping business. The business would have to follow the hours of operation and employee number requirements in the special use permit and could move snow, if they followed the hours of operation requirement. The Petitioners had not indicated that they would move

snow. The Zoning Ordinance set the number of parking spaces required. An amendment to the special use permit would be required, if the business expanded onsite. Discussion occurred regarding Joliet's and Shorewood's Future Land Use Maps in this area.

Boyd Ingemunson, Attorney for the Petitioners, said the Petitioners have gone above and beyond what is required of them in terms of planning and preparing for the proposal. He said the business is a tree processing company. Trees and chipping occurs offsite. Onsite, they make mulch and cut firewood for customers. No chipping occurs onsite. There are no by-products. No storage of landscaping materials like rock or grass clippings, will occur. He noted that the conditions were more restrictive than other special uses in the A-1 District. The Petitioners agreed to the conditions. He noted the buffer space and screening with trees. Member Vickery asked if chipping would occur onsite. Mr. Ingemunson said chipping occurs offsite. Mr. Ingemunson noted the safety guide for the mulch dyeing. He said table salt is more toxic than mulch dyeing. Mr. Ingemunson said wood splitting would occur onsite with a hydraulic splitter.

Member Vickery asked about containers. Jeremy Dippold, Petitioner, said the reason for the building was to store equipment. No cargo containers would be needed if the building was constructed. He was agreeable to a condition not to have semi-trailers on the premises.

Chairman Mohr asked how long the business had been in existence on Renwick Road. Mr. Dippold responded 2012. Chairman Mohr asked about the distance to existing residences at the business' current site. Mr. Dippold responded the current site was thirty-two (32) acres and across the entire frontage there is about a dozen homes. He has not received any complaints. Chairman Mohr asked if the business will change because of the increased acreage. Mr. Dippold responded that he wanted additional room and have more organization. Chairman Mohr asked if any employees self-report to sites. Mr. Dippold responded employees come to the business and take work vehicles to sites. Mr. Dippold explained that he always overdoes in terms of room and space. He noted it was better to have multiple small piles of mulch.

Discussion occurred regarding moving the perimeter trees, with berms and more mature trees, along the boundary of the landscape business area instead of around the perimeter of the entire site. Mr. Dippold described tree growth and that trees root better on flat pieces of land.

Joe Frescura discussed the impact of the proposed use on property values. He said that no noise plan was provided. He discussed the removal of tree waste from the site. He discussed the wheel loader used by the Petitioners. This piece of equipment generates about 125 decibels. He said people purchased property in the area for the peace and quiet. Agricultural equipment is used episodically and not continually on the subject property. The proposed use is different than residential maintenance. He stated that the proposed use is close to residential houses, which is different than other intense agricultural and landscaping uses. Noise would decrease property values. It was noted that no noise study existed for the proposed use. The noise ordinance does not apply to agricultural uses. Mr. Asselmeier explained the enforcement of noise regulations. Mr. Frescura requested a noise study. He also noted that the amount of chemicals impact toxicity. He questioned how much water would be used to dilute chemicals. Loss of water would also negatively impact property values.

Pat Frescura said the property is zoned residential and agricultural and has been used for farming. She had a Realtor look at her property and said that her property would decrease in value by fifteen percent (15%) if the proposed use moved into the area. She said no one would benefit from this use, except the Petitioners. She noted the odors from the mulch, dust from truck traffic, noise, and burning would negatively impact the area. She said that complaints of burning against TZ Landscaping have been made and no enforcement occurs. She did not see a gain to the public from the proposed use. She noted that none of the existing landscaping businesses were close to existing homes. She noted that the Seward Township Board voted against the proposal. She noted the LESA Score was 210 making the land desirable for farming; lower score land should be used for business uses.

Discussion occurred regarding other landscaping businesses located near residences.

Ramiro Guzman said that he was also in the landscaping business, but did not operate out of his house.

He loves the agriculture around his property. He did not think a business would locate in the area. He is opposed to the proposal. He discussed the making of chips and mulch. He would like to know the power load of the grinder. The use will create a pile of dead branches; he questioned the height of piles of brush and logs. He was also concerned about the safety of local children because of the pond. He was also concerned about mulch fires. Mr. Dippold described his grinder; he said it makes minimal noise. He said his pond is no different than retention ponds in subdivision. He was not opposed to moving the screen of trees to around the landscaping business area only.

Sheila Trost questioned the public need for the proposed use. Chairman Mohr said there was not a public need and special use permits do not need to meet all of the LaSalle Factors, like zoning changes.

Kim Larkin felt the proposal did not meet the requirements of the LaSalle Factors. The business will not be open to the public and will not bring anything to the community or provide income to the County or Township. She said Kendall County does not come out when complaints are filed; she provided an example involving Animal Control and a dog in the area.

Mr. Frescura asked about buildings not being considered agricultural. Mr. Asselmeier explained that the conditions related to agricultural exempt buildings and agricultural exempt equipment were placed in special use permits to qualify that the use is not agricultural and needs to secure appropriate permits and follow rules for non-agricultural equipment. Mr. Frescura argued that the use is a manufacturing use and not an agricultural use.

Tim O'Brien, Seward Township Supervisor, noted that the Seward Township Board voted this proposal down by a three (3) to one (1) vote.

Mark Fecht, Property Owner and Petitioner, said the wetland is a farmed wetland. He said the soil is not the greatest soil; leaching was not likely. He discussed his hog operations and the property would be ideal for pig space. He felt operating a hog farm would more negatively impact property values than the proposed use. He felt that he might be able to get two thousand four hundred (2,400) hogs on the property. The property was not set up for irrigation.

Discussion occurred regarding the location of the pipelines. The pipelines are near the southern part of the property and are not near the proposed use area.

Member Vickery left the meeting prior to the votes on the conditions and recommendation.

The Kendall County Zoning Board of Appeals voted four (4) in favor and zero (0) in opposition with three (3) absent to amend condition 25 to not allow semi-trailers to be parked on subject the property.

The consensus of the Kendall County Zoning Board of Appeals was not to change the site plan, landscaping plan, and tree counts to have the tree placed along the landscape business area only instead of the perimeter of the property.

The Kendall County Zoning Board of Appeals voted three (3) in favor and (1) in opposition to the request with three (3) members absent. State law requires the concurrent vote of four (4) members to recommend approval. Therefore, the recommendation was denial. Chairman Mohr voted no because of the concerns raised by the neighbors related to the view of area. He was also concerned about loss of property values. He believed the subject property would eventually be houses. The minutes of the hearing are included as Attachment 16.

AFTER THE HEARING

The Petitioners called after the hearing and said they would like amend condition 25 to set a date for removal of the storage containers. The Petitioners also would like to allow semi-trailers on the property both in relation to the business allowed by the special use permit and in relation to farming activities. The Petitioners also submitted a plat showing the distance to property lines from their operations. This plat is included as Attachment 17.

GENERAL INFORMATION

Per Section 7:01.D.30 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

- All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
- 2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least seventy-three thousand, two hundred eighty pounds (73,280 lbs.), unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.
- 3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials, the above conditions have been met.

BUSINESS OPERATIONS

According to the business plan found on pages 3 and 4 of Attachment 1, the business currently operates two (2) four (4) employee crews in April through October and one (1) four (4) employee crew in November through March. The Petitioners plan to hire four (4) additional employees, if business increases. Employees arrive at the property at approximately 7:30 a.m., go to work sites, and return to the property between 3:30 p.m. and 4:00 p.m. Employees unload equipment and materials and leave between 4:30 p.m. and 5:00 p.m. The business operates on Monday through Fridays with an occasional Saturday.

Business equipment presently consists of two (2) bucket trucks, two (2) wood chippers, two (2) one (1) ton pickup trucks, two (2) utility trailers, two (2) spare pick-up trucks, and one (1) wheel leader tractor. When not in operation, the Petitioners plan to house vehicles and equipment inside the proposed approximately nine thousand six hundred (9,600) square foot building. Mulch and firewood piles would be placed on the gravel area as shown on the site plan and landscaping plan (Attachments 2 and 3) and would be piled a maximum twelve feet (12') in height. The Petitioners do not plan to store stone, brick, or rock at the property. Per the site plan (Attachment 2), the gravel area is approximately ten point five (10.5) acres in size. If there is a motor vehicle or equipment related leak, the impacted gravel will be removed and replaced with clean gravel.

No retail services will be available at the property and retail customers will not be invited onto the property.

If approved, the Petitioners plan to start operations as quickly as possible.

BUILDINGS AND BUILDING CODES

One (1) approximately nine thousand six hundred (9,600) square foot building is proposed for the site in the location depicted on the site plan and landscaping plan (Attachments 2 and 3). The building will look substantially like the rendering provided in Attachment 5. The walls will be approximately sixteen feet (16') feet tall and the doors will be fourteen feet (14') in height. The peak of the building will be a maximum twenty-four feet (24').

Any structures related to the landscaping business would be required to obtain applicable building permits.

ENVIRONMENTAL HEALTH

No well or septic system presently exists on the property. No other utilities are located on the property.

One (1) ten foot by ten foot (10' X 10') dumpster enclosure was shown on the site plan and landscaping plan east of the vehicle parking area.

STORMWATER

The property drains to the south.

There is one (1) wetland located near the northwest corner of the property.

The site plan and landscaping plan (Attachments 2 and 3) show a proposed seventy-three thousand, nine hundred eighty-four (73,984) square foot wet bottom pond. At the deepest point, the pond will be sixteen feet (16') deep. The stormwater plan information is included as Attachment 4.

WBK Engineering submitted comments on the proposal. This letter is included as Attachment 12. These comments will have to be addressed prior to the issuance of a stormwater management permit.

ACCESS

Per the site plan and landscaping plan (Attachments 2 and 3), the Petitioners plan to install one (1) thirty foot (30') wide gravel driveway. The driveway will be approximately forty-eight feet (48') from the western property line.

PARKING AND INTERNAL TRAFFIC CIRCULATION

According to site plan and landscaping plan (Attachments 2 and 3), the Petitioners plan to install two (2) parking areas. One (1) parking area is planned south of the building and the other parking area is planned west of the building. The total number of parking spaces is twenty-one (21) including one (1) handicapped accessible parking space.

EASEMENTS

Three (3) pipeline easements exist on the property.

LIGHTING

No existing lighting is located on the property.

At the time of the ZPAC meeting and Seward Township Planning Commission meeting, the Petitioners had not submitted a lighting plan. The lighting plan shows one (1) free standing light near the south parking lot and six (6) lights on the building. Based on the photometrics provided, no light would cross the property lines. The lighting plan is included as Attachment 13.

Per Section 11:02.F.12.e, of the Kendall County Zoning Ordinance, the maximum height for the freestanding light is twenty feet (20').

SIGNAGE

According to the site plan and landscaping plan (Attachments 2 and 3), one (1) non-illuminated sign is proposed between the gravel driveway and the western property line. No information was provided regarding sign dimensions or height. Per Section 12:08.A. of the Kendall County Zoning Ordinance, the total maximum allowable signage is thirty-two (32) square feet of gross surface area.

SECURITY

No security information was provided.

LANDSCAPING

The landscaping plan (Attachment 3) shows one hundred fifty (150) white pines along the perimeter of the property. The white pines will be three (3') feet at the time of planting and will grow to between fifty feet (50') and eighty feet (80'). Ten (10) deciduous trees are planned along the perimeter of the pond. The trees will be one and one half inches (1.5") at the time of planting. The landscaping plan also calls for a seed mix of Kentucky blue grass and turf type perennial grass around the pond and along the gravel driveway. Vegetation will be installed after the gravel and pond are installed.

The portion of the property not used for storage, building, driveway, or the pond will remain farmed. Most of the property will be farmed in 2022, which will delay the installation of the landscaping until 2023.

NOISE CONTROL

No information was provided regarding noise control.

ODORS

No new odors are foreseen by the proposed use.

RELATION TO OTHER SPECIAL USES

If approved, this would be the nineteenth (19th) special use permit for a landscaping business in unincorporated Kendall County.

FINDINGS OF FACT-SPECIAL USE PERMIT

The Findings of Fact were as follows:

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Provided the site is developed in accordance with the submitted site plan and landscaping plan, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. Conditions may be placed in the special use permit ordinance to address hours of operation. Member Vickery dissented with this Finding.

That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, lighting, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses. Chairman Mohr and Member Vickery dissented with this Finding.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. If a stormwater management permit is issued based on the submitted materials, drainage should not be an issue. If the Illinois Department of Transportation approves the access, ingress and egress should not be an issue. Utilities will need to be extended and/or installed on the property. Member Vickery dissented with this Finding.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true. No variances are required. Member Vickery dissented with this Finding.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 9-21 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents". Also, the Kendall County Future Land Use Map and the Village of Shorewood's Future Land Use Map call for commercial uses near the intersection of Route 52 and Arbeiter Road. Chairman Mohr and Member Vickery dissented with this Finding.

RECOMMENDATION

Staff recommends approval of the special use permit for a landscaping business subject to the following conditions and restrictions:

- 1. The site shall be developed substantially in accordance with the attached site plan (Attachment 2), landscaping plan (Attachment 3), and lighting plan (Attachment 13) (amended after ZPAC).
- 2. The gravel area shown on the attached site plan (Attachment 2) and landscaping plan (Attachment 3) shall not exceed ten point five (10.5) acres in size. The owners of the business allowed by this special

- use permit may reduce the amount of acreage covered by gravel.
- 3. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
- 4. One (1) approximately nine thousand six hundred (9,600) square foot building may be installed on the subject property in substantially the location shown on the site plan (Attachment 2). The building shall look substantially like the building depicted in the attached rendering (Attachment 5). The maximum height of the building shall be twenty-four feet (24').
- 5. Any new structures constructed or installed related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
- 6. No business operations may commence at the subject property until an occupancy permit is issued for the building shown on the attached site plan (Attachment 2). No business operations may commence at the subject property until the parking stalls, dumpster enclosure, and wet bottom pond shown on the attached site plan (Attachment 2) are installed. Business operations may commence at the subject property prior to the installation of vegetation shown on the attached landscaping plan (Attachment 3).
- 7. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property during the hours the business is open and shall be stored indoors during non-business hours.
- 8. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
- All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
- 10. All landscape related materials shall be stored indoors or on the gravel area depicted on the site plan (Attachment 2). The maximum height of the piles of landscaping related material shall be twelve feet (12') in height, unless otherwise restricted by a stormwater management permit. Stone, brick, and rock shall not be stored outdoors.
- 11. The size and depth of the wet bottom pond shall be governed by the stormwater management permit issued for the subject property.
- 12. One (1) two (2) sided non-illuminated sign may be installed on the location depicted on the attached site plan (Attachment 2).
- 13. At least two (2) no smoking signs shall be installed near the piles of landscaping related materials. (added after ZPAC)
- 14. One hundred fifty (150) white pines shall be installed in substantially the locations shown on the attached landscaping plan (Attachment 3). The white pines shall be a minimum of three feet (3') in height at the time of planting. The white pines shall be installed by June 30, 2023. Damaged or dead white pines shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the white pines.
- 15. Ten (10) deciduous trees shall be installed in substantially the locations shown on the attached landscaping plan (Attachment 3). The deciduous trees shall be a minimum one point five inches (1.5") in diameter at the time of planting. The deciduous trees shall be installed by June 30, 2023. Damaged or dead deciduous trees shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the deciduous trees.

- 16. The seed mix called for in the attached landscaping plan (Attachment 3) shall be installed by June 30, 2023. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the seed mix.
- 17. No landscape waste generated off the property can be burned on the subject property.
- 18. A maximum of twenty (20) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work. No employees shall engage in the sale of landscaping related materials on the property.
- 19. No retail customers of the business allowed by this special use permit shall be invited onto the property by anyone associated with the use allowed by this special use permit.
- 20. The hours of operation of the business allowed by this special use permit shall be Monday through Saturday from 7:30 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
- 21. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

- 22. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
- 23. One dry hydrant shall be placed on the property (added after ZPAC).
- 24. The maximum height of the light pole shown in the lighting plan (Attachment 13) shall be twenty feet (20') (added after ZPAC).
- 25. No storage/shipping containers are allowed on the subject property and no semi-trailers may be parked on the subject property (added by the RPC and amended at ZBA).
- 26. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
- 27. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
- 28. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
- 29. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

30. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

The draft ordinance is included as Attachment 18.

ATTACHMENTS

- 1. Application Materials (Including Petitioner's Findings of Fact, NRI Application, and EcoCat)
- 2. Site Plan
- 3. Landscaping Plan
- 4. Stormwater Plans
- 5. Building Renderings
- 6. April 21, 2022 Joliet Email
- 7. NRI Report
- 8. May 9, 2022 Seward Township Planning Commission Email
- 9. May 4, 2022 Village of Shorewood Email
- 10. May 5 and 6, 2022 Minooka Fire Protection District Letter and Email
- 11. May 3, 2022 ZPAC Meeting Minutes
- 12. May 4, 2022 WBK Engineering Letter
- 13. Lighting Plan
- 14. May 25, 2022 Kendall County Regional Planning Commission Meeting Minutes
- 15. May 28, 2022 Seward Township Board Minutes
- 16. May 31, 2022 Kendall County Zoning Board of Appeals Minutes (This Petition Only)
- 17. Distance Plat
- 18. Draft Ordinance



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560 Fax (630) 553-4179 (630) 553-4141

APPLICATION

TELINOIS	PROJECT NAME Best Budget Tree	e Site Plan FILE #:
NAME OF APPLICANT		
Best Budget Tree Se	ervice - Jeremy & Samantha Dippold	
CURRENT LANDOWNE	R/NAME(s)	
Fecht Brothers, Inc.		
SITE INFORMATION ACRES	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
48.59 2	195 US Highway 52, Minooka, IL	09-15-200-003
EXISTING LAND USE	CURRENT ZONING	LAND CLASSIFICATION ON LRMP
AG	A1	
REQUESTED ACTION (Check All That Apply):	
X SPECIAL USE	MAP AMENDMENT (Rezone to	VARIANCE
ADMINISTRATIVE	VARIANCE A-1 CONDITIONAL USE for:	SITE PLAN REVIEW
TEXT AMENDMENT	RPD (Concept; Preliminary	; Final) ADMINISTRATIVE APPEAL
PRELIMINARY PLAT	FINAL PLAT	OTHER PLAT (Vacation, Dedication, etc.)
	SPECIAL USE (Major; Minor)	
¹ PRIMARY CONTACT	PRIMARY CONTACT MAILING ADI	
Jeremy Dippold	22419 W Renwick Rd, Plainfie	
PRIMARY CONTACT PH 815-685-2444	ONE # PRIMARY CONTACT FAX #	PRIMARY CONTACT OTHER #(Cell, etc.)
² ENGINEER CONTACT	ENGINEER MAILING ADDRESS	ENGINEER EMAIL
John Tebrugge	410 E Church St, Ste A, Sand	wich, IL 60548 info@tebruggeengineering.com
ENGINEER PHONE # 815-786-0195	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
I UNDERSTAND TH COUNTY STAFF & THE PRIMARY CON COUNTY.	BOARD/ COMMISSION MEMBERS THROUNTACT LISTED ABOVE WILL BE SUBJECT	PROPERTY IN QUESTION MAY BE VISITED BY JIGHOUT THE PETITION PROCESS AND THAT TO ALL CORRESPONDANCE ISSUED BY THE
		TED ARE TRUE AND CORRECT TO THE PLICATION AND ACT ON BEHALF OF THE
SIGNATURE OF AP	PLICANT	DATE 4-19-22
	=======================================	7-11-64

¹Primary Contact will receive all correspondence from County

CHECK #:

X

²Engineering Contact will receive all correspondence from the County's Engineering Consultants

FECHT BROTHERS, INC. 1708 Albert Hall Court Naperville, IL 60564

April 18, 2022

Kendall County
Planning, Building & Zoning Department
Attn: Matt Asselmeier, Senior Planner
111 West Fox Street
Yorkville, IL 60560

Re: Special Use Permit Application

To the Kendall County Planning, Building & Zoning Department:

Fecht Brothers, Inc. is the current owner of the property located at 48 US Highway 52, Minooka, Kendall County, IL 60447 (the "Property"). Fecht Brothers, Inc. is under contract to sell the Property to Jeremy and Samantha Dippold ("Dippolds"). It is our understanding that the Dippolds are seeking a special use permit to the Property's zoning. Fecht Brothers, Inc. supports and approves the Dippold's application for a special use permit for a landscaping company.

Please find the enclosed title policy dated March 7, 2022 from Fidelity National Title Insurance Company referencing our ownership and the Dippolds as the proposed insured.

Thank you for the opportunity to be of assistance.

Sincerely,

Print Name: Mark Feeld Secretary
Fecht Brothers, Inc.

Proposed Use and Business Plan

The Petitioners are requesting a special use permit to operate a landscaping company at the Property. The Petitioners have operated Best Budget Tree Service, LLC for over ten years. The primary purpose of the landscaping company is the removal of trees, processing mulch, spreading mulch and processing trees into firewood for delivery to customers.

A. Employees:

The Petitioners operate the following crews during the following months:

April through October

There are two crews (4 employees each) that cut down and remove trees. Additionally, there is a full-time employee who maintains the property grounds and processes the tree branches into firewood. In addition, the Petitioners also work for the landscaping company.

November through March

There is one crew (4 employees) that cut down and remove trees. Additionally, there is a full-time employee who maintains the property grounds and processes the tree branches into firewood. In addition, the Petitioners also work for the landscaping company.

There are currently no plans to hire additional employees at this time. However, if the demand for their landscaping services should increase in the future, the Petitioners would likely hire and form a third crew (4 employees each).

B. Hours of Operation:

The Petitioners will operate between the hours of 8:00am to 4:30pm Monday through Friday. On some occasions, the crew will run their operations on Saturday. Employees usually arrive onsite by 7:30am, load the equipment and materials, get the day's schedule and are on the road by 8:00am. Employees typically arrive back at the Property approximately 3:30-4:00pm. The employees unload all equipment, unload branches, mulch, firewood into the appropriate areas, clean and maintain the work vehicles and leave between 4:30"5:00pm.

If approved, the Petitioners plan to start operations upon a successful purchase and closing of the property.

C. Vehicles in Use:

The Petitioners own and utilize the following vehicles: 2 bucket trucks, 2 wood chippers, 2 oneton pick-up trucks, 2 utility trailers, 2 spare pick-up trucks, and 1 wheel leader tractor.

D. Improvements:

The Petitioners plan on building a metal building to house the vehicles and equipment as well as their general office. The Petitioners plan to store the processed mulch and firewood in large areas in the rear of the site to keep everything organized and clean. Mulch and firewood piles would be about 12' in height.

E. Materials:

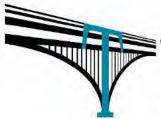
The Petitioners only plan to store branches, mulch and firewood on the Property and to deliver to the customer. The Petitioners do not store stone, brick or rock.

F. Site Plan:

The Petitioners shall develop the property in accordance with the Site Plan submitted with the Application.

G. Not Retail

The Petitioners do not intend this landscaping business to be open to the public for retail purchases. The Property will be used to house the business operations, equipment and materials.



TEBRUGGE ENGINEERING

410 E. CHURCH ST.-SUITE A SANDWICH, IL 60548 PHONE: (815) 786 - 0195 EMAIL: INFO@TEBRUGGEENGINEERING.COM WEBSITE: WWW.TEBRUGGEENGINEERING.COM

April 18, 2022

Mr. Matt Asselmeier Kendall County Planning, Building and Zoning Department 111 W Fox St Room 204 Yorkville, IL 60560-1498

Re:

Best Budget Tree Site Plan 2195 US Highway 52 Minooka, IL

Dear Mr. Asselmeier,

We have received your email dated April 18, 2022, and have the following comments / corrections.

- How far from the western property will the gravel driveway be located?
 Response: The drive will be 48' from the western property line and the parking area will be 30'. Additional dimensions will be added.
- 2. Would they have any objections to setting the maximum number of employees at 20, including the owners of the business allowed by the special use permit?

Response: No objections, there are not more than 20 employees currently.

3. Who actually owns the property? Do Fecht Brothers own the property?

Response: The current owners are Fecht Brothers but Best Budget Tree is in the process of purchasing and within their due diligence period currently.

4. The business plan mentions having several stalls to house landscaping materials. Do you have a description of these stalls (i.e. height, width, etc.)?

Response: There will not be stalls for material storage. Mulch and firewood stockpiles are too wide for stalls to be utilized.

5. Please add the location of the stalls to a site plan or landscaping plan.

Response: No stalls are proposed.

- 6. What is the maximum height of the materials that will be placed inside the stalls? Response: Approximately 12' height of stockpiles
- 7. Are there any structures presently located on the property?

Response: There are no structures on the property, currently it is farmed land only.

8. Are there any structures located on adjacent properties within 100 feet of the property line of this property?

Response: There are barns located within the 100' adjacent to the east of the site, these have been located on the plans.

9. Are there any utilities presently located on the property?

Response: There are no utilities on the site.

10. Other than the pipeline easements, are there any other easements located on the property?

Response: No other easements are located on the plat for the property.

11. Does the existing easements for the pipelines allow non-agricultural vehicles to cross the easements? Do the pipelines have any objections to having this use going over their easements?

Response: Currently the pipelines run under US Highway 52. We will maintain the existing cover over the pipelines

12. The Kendall County GIS shows a wetland on the northwest corner of the property. Could that be added to the landscaping plan or site plan?

Response: The approximate wetlands have been added to the property per the Kendall County GIS.

13. Please provide the present zoning classifications and PINs for the subject property and adjacent properties. This information could be added to a site plan or landscaping plan or provided on a separate sheet.

Response: The PINS, property owners and current zoning has been added to the Final Plan.

14. The civil plans reference the Kane County GIS. Did you use the Kane County information or the Kendall County information?

Response: The Kendall County 2' contour map was used, this has been corrected on the plan set. A topographic survey will be conducted when conditions allow.

15. There was also some language regarding drains connecting to the sanitary sewer. Is this information correct?

Response: This might be in our standard notes. No sanitary sewer lines are in the area, this site will utilize septic and well.

16. What are the dimensions of the pond?

Response: The pond dimensions are 272' X 272'. This has been added to the plan.

17. How deep will the pond be?

Response: The pond will be 16' deep total. There is a 10' deep area for fish per the ordinance. The underwater contours have been dashed to show the wet bottom area.

18. Do the Petitioners plan to install signage on the property? If yes, please add this information to the site plan or landscaping plan.

Response: Yes, a standard sign located outside of the pipeline easement on US Highyway 52, the location has been added to the plan. It will not be a lit up sign and no electric will go to it.

19. Do the Petitioners plan to install lights on the property? If yes, please state where the new lights will be located.

Response: The only lights on the property will be wall packs on the building.

20. Will there be an outdoor refuse area? If yes, please add this information to the site plan or landscaping plan.

Response: A fenced area for a small dumpster has been added to the plans.

21. The landscaping plan references a seed mix of Kentucky blue grass and turf type perennials. Where will these be planted on the property? Could the locations of these plantings be added to the landscaping plan?

Response: The mesic prairie mix will be in the detention pond. There is a note located on sheet 2 of the landscape plan. All areas outside the improvements will continue to be farmed.

22. How tall will the Colorado blue spruce be at full growth?

Response: The owner has requested White Pines instead and the height fully grown would be 50'-80'

23. What is the timeline for planting the vegetation referenced in the landscaping plan?

Response: The tree plantings will happen after the detention pond and gravel area is constructed.

24. How tall will the 80 x 120 building be?

Response: 16' walls and 14' doors.

If you have any additional questions, please contact us.

Sincerely,

Tebrugge Engineering

John Tebrugge

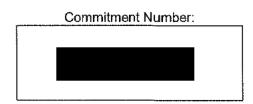
LEGAL DESCRIPTION

THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE NORTH 1043.62 FEET OF THE EAST 417.40 FEET THEREOF AND ALSO EXCEPT THE SOUTH 417.42 FEET OF THE EAST 417.42 FEET THEREOF, AND ALSO EXCEPT THAT PART OF THE EAST 417.40 FEET LYING NORTH OF THE NORTH LINE OF THE SOUTH 417.42 FEET AND LYING SOUTH OF THE SOUTH LINE OF THE NORTH 1109.62 FEET THEREOF, AND ALSO EXCEPT THE WEST 402 FEET OF THE EAST 819.42 FEET OF THE SOUTH 417.42 FEET THEREOF, AND ALSO EXCEPT THE WEST 402.02 FEET OF THE EAST 819.42 FEET OF THE NORTH 341.07 FEET OF THE SOUTH 758.49 FEET THEREOF), IN THE TOWNSHIP OF SEWARD, IN KENDALL COUNTY, ILLINOIS.

ALTA COMMITMENT FOR TITLE INSURANCE

Issued By:

Fidelity National Title
Insurance Company



NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, Fidelity National Title Insurance Company, a Florida corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within one hundred eighty (180) days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

	Fidelity National Title Insurance Company	
	Ву:	
	Michael J. Nolan, President	
Countersigned By:	Attest:	
Authorized Officer or Agent	Marjorie Nemzura, Secretary	

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

ASSOCIATION

13:44 DV

FIDELITY NATIONAL TITLE INSURANCE COMPANY

COMMITMENT

Transaction Identification Data for reference only:

ORIGINATING OFFICE:	FOR SETTLEMENT INQUIRIES, CONTACT:
Fidelity National Title Company, LLC	Fidelity National Title Company, LLC
674 Veterans Pkwy, Unit C	674 Veterans Pkwy, Unit C
Yorkville, IL 60560	Yorkville, IL 60560
Main Phone: (630)553-3041	Main Phone: (630)553-3041 Main Fax: (630)553-3047
Email: ilyorkville@fnf.com	

Name and Address of Title Insurance Agent: John Robert Felton

2804 Breckenridge Circle

Aurora, IL 60504

Order Number:

48 US Highway 52, Minooka, IL 60447 Property Ref.:

SCHEDULE A

1. Commitment Date: March 7, 2022

2. Policy to be issued:

(a) ALTA Owner's Policy 2006

Proposed Insured:

Jeremy Dippold and Samantha Dippold

Proposed Policy Amount:

\$607,425.00

(b) ALTA Loan Policy 2006

Proposed Insured:

Lender with a contractual obligation under a loan agreement with the Proposed

Insured for an Owner's Policy, its successors and/or assigns as their respective

interests may appear

Proposed Policy Amount:

\$485,940.00

3. The estate or interest in the Land described or referred to in this Commitment is:

Fee Simple

4. The Title is, at the Commitment Date, vested in:

Fecht Brothers, Inc.

5. The Land is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

END OF SCHEDULE A

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice, the Commitment to Issue Policy; the Commitment Conditions; Schedule A, Schedule B, Part I-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.



Attachment 1, Page 11

EXHIBIT "A"

Legal Description

The East 1/2 of the Northeast 1/4 of Section 15, Township 35 North, Range 8 East of the Third Principal Meridian, (except the North 1043.62 feet of the East 417.40 feet thereof and also except the South 417.42 feet of the East 417.42 feet thereof, and also except that part of the East 417.40 feet lying North of the North Line of the South 417.42 feet and lying South of the South Line of the North 1109.62 feet thereof and also except the West 402 feet of the East 819.42 feet of the South 417.42 feet thereof and also except the West 402.02 feet of the East 819.42 feet of the North 341.07 feet of the South 758.49 feet thereof), in the Township of seward, in Kendall County, Illinois.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.



FIDELITY NATIONAL TITLE INSURANCE COMPANY

COMMITMENT NO

Name and Address of Title Insurance Agent: John Robert Felton

2804 Breckenridge Circle Aurora, IL 60504

SCHEDULE B, PART I REQUIREMENTS

All of the following Requirements must be met:

- 1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
- 2. Pay the agreed amount for the estate or interest to be insured.
- Pay the premiums, fees, and charges for the Policy to the Company. 3.
- 4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
- 5. The "Good Funds" section of the Title Insurance Act (215 ILCS 155/26) is effective January 1, 2010. This Act places limitations upon our ability to accept certain types of deposits into escrow. Please contact your local Fidelity National Title office regarding the application of this new law to your transaction.
- 6. Payment of real estate taxes affecting the land that may be due or payable prior to closing (or as may be required by a lender to be insured). Schedule B tax exception will be amended accordingly based on a later date search and payment as noted herein.
- 7. For all mortgages and liens referenced below, we should be furnished with proper payoff figures, authorizations. funds and documents sufficient to pay off and release said liens at or prior to closing.
- We should be furnished a properly executed ALTA statement and, unless the land insured is a condominium unit, 8. a survey if available. Matters disclosed by the above documentation will be shown specifically.
- Effective June 1, 2009, pursuant to Public Act 95-988, satisfactory evidence of identification must be presented for 9. the notarization of any and all documents notarized by an Illinois notary public. Satisfactory identification documents are documents that are valid at the time of the notarial act; are issued by a state or federal government agency; bear the photographic image of the individual's face; and bear the individual's signature.
- 10. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
- The Company should be provided a statement from the borrower(s) relative to any mortgage identified in Schedule 11. B disclosing whether the borrower(s) have entered into any forbearance or loan modification agreement with the lender relative to delayed or postponed payments or other restructuring of the debt secured by the mortgage.
- 12. A mortgage to secure an indebtedness as shown below

Amount:

\$500,000.00

Dated:

March 30, 2020

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

SCHEDULE B, PART I REQUIREMENTS

(continued)

Mortgagor:

Fecht Brothers, Inc.

Mortgagee:

Compeer Financial, PCA

Recording Date:

April 9, 2020

Recording No:

202000005551

(Affects land and other property)

13. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below:

Name of Corporation: Fecht Brothers, Inc.

- a) A Copy of the corporation By-laws and Articles of Incorporation
- b) An original or certified copy of a resolution authorizing the transaction contemplated herein
- c) If the Articles and/or By-laws require approval by a 'parent' organization, a copy of the Articles and By-laws of the parent
- d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

- 14. The Company should be furnished a statement that there is no property manager employed to manage the Land, or, in the alternative, a final lien waiver from any such property manager.
- 15. The Land described in Schedule A either is unsubdivided property or constitutes part of a subdivided lot. As a result, a Plat Act Affidavit should accompany any conveyance to be recorded. In the alternative, compliance should be had with the provisions of the Plat Act (765 ILCS 205/1 et seq.)
- 16. For each policy to be issued as identified in Schedule A, Item 2; the Company shall not be liable under this commitment until it receives a designation for a Proposed Insured, acceptable to the Company. As provided in Commitment Condition 4, the Company may amend this commitment to add, among other things, additional exceptions or requirements after the designation of the Proposed Insured.
- 17. The Company will require a survey of the subject Land, which is in compliance with minimum technical standards, prepared by a duly registered and licensed surveyor. If the owner of the Land the subject of this transaction is in possession of a survey, the Company will require that said survey be submitted for review and approval; otherwise, a new survey, satisfactory to the Company, must be submitted to the Company for examination. In order to prevent delays, please furnish the survey at least 10 days prior to the close of this transaction.

If an existing survey is to be relied upon, an affidavit from the seller(s)/mortgagor(s) must be furnished to the Company stating that no improvements have been made on the Land the subject of this transaction or adjacent

This page is only a part of a 2016 ALTA® Commitment for Title Insurance Issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

Printed: 04.05.22 @ 03:11 PM

SCHEDULE B, PART I REQUIREMENTS

(continued)

thereto subsequent to the survey presented to the Company.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

18. Note for Information regarding endorsement requests:

All endorsements requests should be made prior to closing to allow ample time for the Company to examine required documentation.

END OF SCHEDULE B, PART I

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Page 6 177

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

ND TITLE

.

COMMITMENT NO. Y

Name and Address of Title Insurance Agent: John Robert Felton

2804 Breckenridge Circle

Aurora, IL 60504

SCHEDULE B, PART II **EXCEPTIONS**

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

GENERAL EXCEPTIONS

- 1. Rights or claims of parties in possession not shown by Public Records.
- 2. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land.
- 3. Easements, or claims of easements, not shown by the Public Records.
- 4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
- 5. Taxes or special assessments which are not shown as existing liens by the Public Records.
- 6. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
- 7. Α Taxes for the years 2021 and 2022.

Taxes for the years 2021 and 2022 are not yet due or payable.

Permanent Tax No.: 09-15-200-003-0000

Note: Taxes for the year 2020 amounting to \$1,357.62 are paid of record.

- Existing unrecorded leases and all rights thereunder of the lessees and of any person or party claiming by, Н 8. through or under the lessees.
- В 9. Rights of Way for drainage tiles, ditches, feeders, laterals and underground pipes, if any.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.



SCHEDULE B. PART II **EXCEPTIONS**

(continued)

- С Rights of the public, the State of Illinois and the municipality in and to that part of the Land, if any, taken or 10. used for road purposes, including, but not limted to that part thereof falling within Route 52 and that part thereof falling within Arbeiter Road.
- D 11. Easement in favor of the Commonwealth Edison Company, and its/their respective successors and assigns, to install, operate and maintain all equipment necessary for the purpose of serving the Land and other property, together with the right of access to said equipment, and the provisions relating thereto contained in the grant recorded/filed as Document No. 81-3521, affecting that part of the Land falling within the road on the Southerly line.
- Grant dated July 23, 1949 and recorded August 29, 1949 in book 107 of deeds, page 62 made by Clifford Ε 12. Findlay and Dortha Findlay, his wife to Michigan-Wisconsin Pipeline Company, a Delaware, Corporation, its successors and/or assigns, of the right to lay, maintain, operate and remove a pipe line for the transporation of oil, gas, petroleum or any of its products with the right of ingress and egress to and from the same, on, over and through a strip of Land 75 feet in width extending in a Southeasterly direction across the Southwest 1/4 of the Land, and a grant dated February 4, 1960 and recorded February 29. 1960 for a new pipe line to be constructed two feet below the existing tile or at the same depth of the presently existing pipe line.
- 13. Easement in favor of Lakehead Pipe Line Company for the purpose of an exclusive right-of-way and perpetual easement to construct, operate, maintain, inspect (including aerial patrol), remove, abandon in place, replace and reconstruct a pipeline, together with valves, fittings, protective apparatus and all other equipment and appurtenances, as may be convenient in connection therewith for the transporation of crude petroleum and any product, by-product and derivatieves thereof, whether liquid or gaseous, or any material or substance which can be conveyed through a pipeline on, over under and across a strip of Land, recorded/filed June 12, 1998 as Document No. 9807782, and the terms and provisions contained therein. See Document for exact location.
- G 14. Easement in favor of Guardian pipeline, LLC for the purpose of an exclusive perpetual easement in, through, upon and over a strip of Land 50 feet in width to lay, construct, test, operate, inspect, maintain, patrol, replace, repair, reconstruct, alter, relocate, enlarge and remove a pipeline with any associated valves, connections and appurtenances for the transmission of gas and associated condensates in, through, upon and over said Strip of Land, together with the right of ingress and egress to said Strip of Land at convenient points recorded/filed June 21, 2002 as Document No. 200200014405, and the terms and provisions contained therein. See Document for exact location.
- Note: The only conveyance(s) affecting said Land recorded within 24 months of the date of this ١ 15. commitment are as follows:

Grantor: Alan Leupold, as Trustee under Trust Agreement dated June 22, 2006 and known as

the Wayne Leupold Revocable Trust Grantee: Fecht Brothers, Inc.

Recording Date: May 2, 2011

Recording No: 201100007151

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

COMMITMENT NO. Y

SCHEDULE B, PART II **EXCEPTIONS**

(continued)

END OF SCHEDULE B, PART II

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A, Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.
- 2. If all of the Schedule B, Part I-Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.
- 3. The Company's liability and obligation is limited by and this Commitment is not valid without:
 - (a) the Notice;
 - (b) the Commitment to Issue Policy;
 - (c) the Commitment Conditions;
 - (d) Schedule A;
 - (e) Schedule B, Part I-Requirements;
 - (f) Schedule B, Part II-Exceptions; and
 - (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I-Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II-Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I-Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.

This page is only a part of a 2016 ALTA® Commitment for Title insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

Printed: 04.05.22 @ 03:11 PM IL-FT-FILL-01040.235246-SPS-1-22-Y

COMMITMENT NO. Y

(continued)

- (c) Until the Policy is Issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II-Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is Two Million And No/100 Dollars (\$2,000,000.00) or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at http://www.alta.org/arbitration.

END OF CONDITIONS

1031 EXCHANGE SERVICES

If your transaction involves a tax deferred exchange, we offer this service through our 1031 division, IPX1031. As the nation's largest 1031 company, IPX1031 offers guidance and expertise. Security for Exchange funds includes segregated bank accounts and a 100 million dollar Fidelity Bond. Fidelity National Title Group also provides a 50 million dollar Performance Guaranty for each Exchange. For additional information, or to set-up an Exchange, please call Scott Nathanson at (312)223-2178 or Anna Barsky at (312)223-2169.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.





WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice. If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- NEVER RELY on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- ALWAYS VERIFY wire instructions, specifically the ABA routing number and account number, by calling the
 party who sent the instructions to you. DO NOT use the phone number provided in the email containing the
 instructions, use phone numbers you have called before or can otherwise verify. Obtain the number of
 relevant parties to the transaction as soon as an escrow account is opened. DO NOT send an email to
 verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- USE COMPLEX EMAIL PASSWORDS that employ a combination of mixed case, numbers, and symbols.
 Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- USE MULTI-FACTOR AUTHENTICATION for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation: http://www.fbi.gov

Internet Crime Complaint Center: http://www.ic3.gov

Wire Fraud Alert Original Effective Date: 5/11/2017 Current Version Date: 5/11/2017 Page 12

FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective January 1, 2021

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- · information we receive from you or your agent;
- · information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

<u>Cookies</u>. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

<u>Web Beacons</u>. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

<u>Do Not Track</u>. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

<u>Links to Other Sites</u>. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- · to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to
 use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to
 protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see "Choices with Your Information" to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an "opt out" request as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

<u>For California Residents</u>: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (https://fnf.com/pages/californiaprivacy.aspx) or call (888) 413-1748.

<u>For Nevada Residents</u>: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

<u>For Oregon Residents</u>: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

<u>For Vermont Residents</u>: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do <u>not</u> collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes; Use of Comments or Feedback

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

Accessing and Correcting Information; Contact Us

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, visit FNF's Opt Out Page or contact us by phone at (888) 934-3354 or by mail to:

Fidelity National Financial, Inc. 601 Riverside Avenue, Jacksonville, Florida 32204 Attn: Chief Privacy Officer

Privacy Statement ILD0531.doc

Fidelity National Title Company

Fidelity National Title Company, LLC 674 Veterans Pkwy, Unit C

Yorkville, IL 60560

Phone: (630)553-3041 Fax: (630)553-3047

John Robert Felton 2804 Breckenridge Circle Aurora, IL 60504

Order Number:

Invoice Date: Invoice Number:

Seller(s):

INITIAL FEE QUOTE

Delivered:

Buyer/Borrower(s):

Jeremy Dippold and Samantha Dippold

Lender with a contractual

obligation under a loan agreement with the Proposed Insured for an Owner's Policy Fecht Brothers, Inc.

C = 11 - --

Lender:

Property Description (1):

48 US Highway 52, Minooka, IL 60447 Parcel ID(s): 09-15-200-003-0000

Policies Applied For: ALTA Loan Policy 2006

ALTA Owner's Policy 2006

\$485,940.00 \$607,425.00

Description		Seller	Buyer
		Charge	Charge
Owner's Policy (Coverage \$607,425.00) (ALTA Owner's Policy 2006)		2,695.00	0.00
Loan Policy (Coverage \$485,940.00) (ALTA Loan Policy 2006)		0.00	525.00
ALTA 8.1-06 - Environmental Protection Lien (CLTA 110.9-06)		0.00	175.00
ALTA 9-06 - Restrictions, Encroachments, Minerals		0.00	175.00
SE 32-06 - Homeowner's Inflation Protection (Residential)		0.00	175.00
Extended Coverage Endorsement		0.00	0.00
Escrow Fees - Borrower		0.00	2,000.00
CPL Fee to Buyer		0.00	25.00
CPL Fee to Seller		50.00	0.00
CPL Fee to Lender		0.00	25.00
Overnight Delivery & Handling		50.00	50.00
Recording Fees (Deed, Mortgage/Deed of Trust)		0.00	134.00
County Transfer Tax (Deed)		303.75	0.00
State Transfer Tax		607.50	0.00
Recording Service Fee		0.00	15.00
Commitment Update Fee		150.00	0.00
Policy Update Fee		0.00	150.00
Chain of Title 24 Month		0.00	250.00
State of Illinois Policy Registration Fee		3.00	3.00
Email Package Service Fee		0.00	50.00
Tax Paying Agent Fees		50.00	0.00
Wire Transfer Service Fee		50.00	50.00
	TOTALS:	\$3,959.25	\$3,802.00

GRAND TOTAL:

\$7,761.25

Invoice Notes: 1. Recording Fees are an estimate. Please refer to www.FNTiweb.com for actual recording fees.

2. Settlement Agent License ID: TA.13.1303663

^{3.} Preliminary Fee Quote Includes an estimated Tax Paying Agent Fee in the event Fidelity is paying taxes at closing.





04/15/2022

IDNR Project Number: 2212088

Date:

Applicant: Best Budget Tree Service

Contact: Jeremy Dippold Address: 22419 W Renwin

s: 22419 W Renwick Rd

Plainfield, IL 60544

Project: Best Budget Tree Site Plan Address: 2195 US Highway 52, Minooka

Description: Construct an entrey drive, commercial building, gravel storage area and detention pond

for a Tree Business

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database shows the following protected resources may be in the vicinity of the project location:

Aux Sable Creek INAI Site

Greater Redhorse (Moxostoma valenciennesi)

An IDNR staff member will evaluate this information and contact you to request additional information or to terminate consultation if adverse effects are unlikely.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

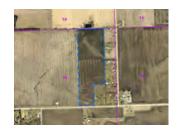
Township, Range, Section:

35N, 8E, 10 35N, 8E, 15

IL Department of Natural Resources Contact

Kyle Burkwald 217-785-5500

Division of Ecosystems & Environment



Government Jurisdiction

Kendall County Planning, Building & Zoning Matt Asselmeier 111 W Fox Street

Yorkville, Illinois 60560

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

IDNR Project Number: 2212088

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

- 1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.
- 2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.
- 3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.





EcoCAT Receipt

Project Code 2212088

APPLICANT	DATE
-----------	------

Best Budget Tree Service Jeremy Dippold 22419 W Renwick Rd Plainfield, IL 60544 4/15/2022

DESCRIPTION	FEE	CONVENIENCE FEE	TOTAL PAID
EcoCAT Consultation	\$ 125.00	\$ 2.81	\$ 127.81

TOTAL PAID \$ 127.81

Illinois Department of Natural Resources One Natural Resources Way Springfield, IL 62702 217-785-5500 dnr.ecocat@illinois.gov



JB Pritzker, Governor

Colleen Callahan, Director

April 18, 2022

Jeremy Dippold Best Budget Tree Service 22419 W Renwick Rd Plainfield, IL 60544

RE: Best Budget Tree Site Plan Project Number(s): 2212088

County: Kendall

Dear Applicant:

This letter is in reference to the project you recently submitted for consultation. The natural resource review provided by EcoCAT identified protected resources that may be in the vicinity of the proposed action. The Department has evaluated this information and concluded that adverse effects are unlikely. Therefore, consultation under 17 Ill. Adm. Code Part 1075 is terminated.

This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.

The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, you must comply with the applicable statutes and regulations. Also, note that termination does not imply IDNR's authorization or endorsement of the proposed action.

Please contact me if you have questions regarding this review.

Kyle Burkwald Division of Ecosystems and Environment 217-785-5500

Please fill out the following findings to the Joning Ordinance outlines findings that the Zoning Board of Appeals shall consider in rendering a decision, but is not required to make an affirmative finding on all items in order to grant a special use. They are as follows:

That the establishment, maintenance, and operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare. True. The Petitioner has submitted a site plan indicating that measures will be taken to ensur that the use will not have a negative impact on public heath, safety, morals, comfort or general welfare.

The Petitioner agrees to follow all applicable public health and public safety related laws.

That the special use will not be substantially injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies.

True. The proposed use is consistent with an objective found on Pages 3-5 of the Kendall County Land

True. The proposed use is consistent with all objective found on Fages 3-3 of the Rendali County Land

Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial use that provide a broad range of job opportunities, a healthy tax base and improved quality of services..."



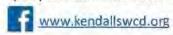
FOR OFFICE USE ONLY

Fee Due \$_

NRI#_____ Date initially rec'd _

Fee Paid \$ _

7775A Route 47, Yorkville, Illinois 60560 • (630)553-5821 extension 3

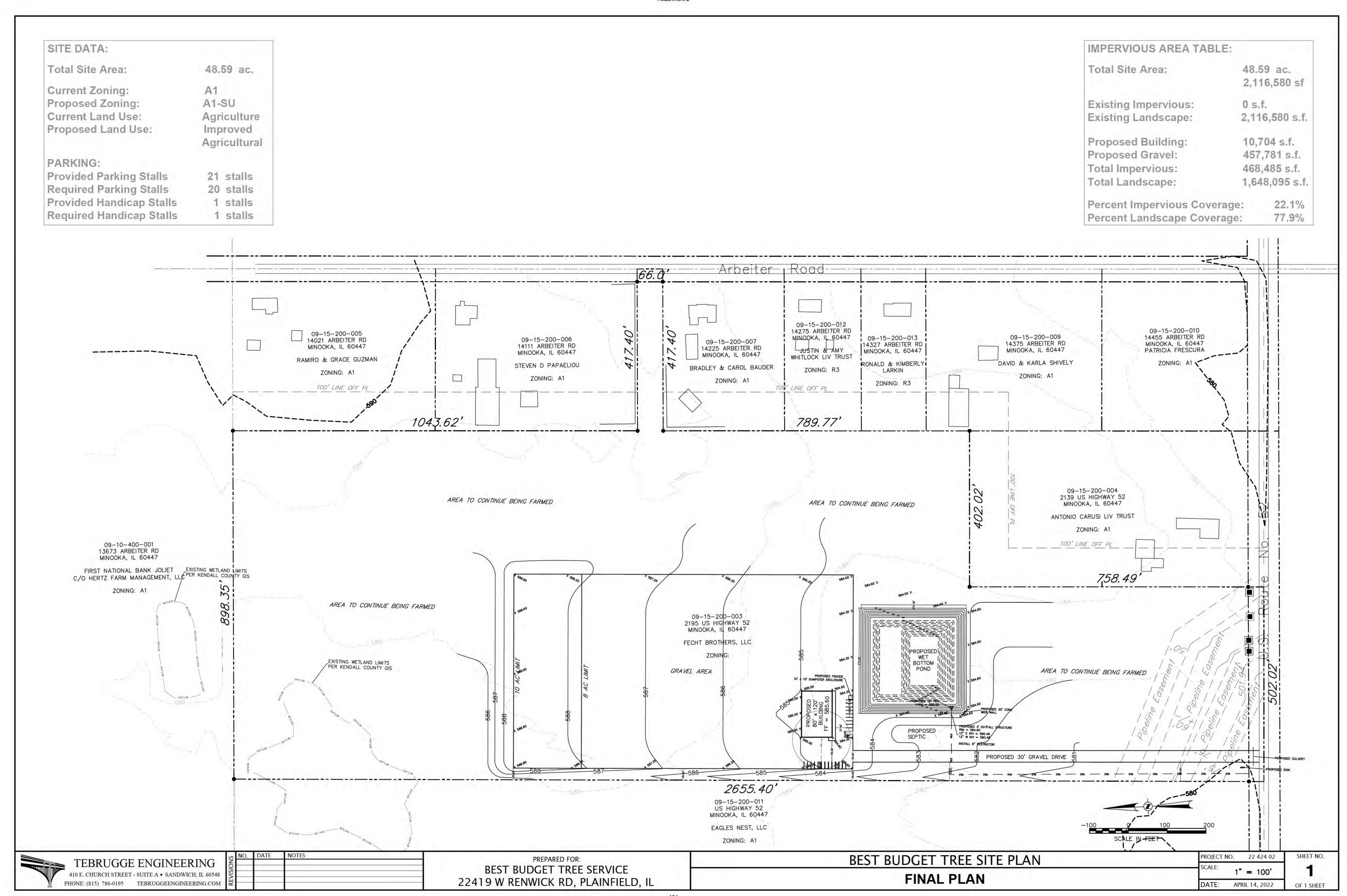


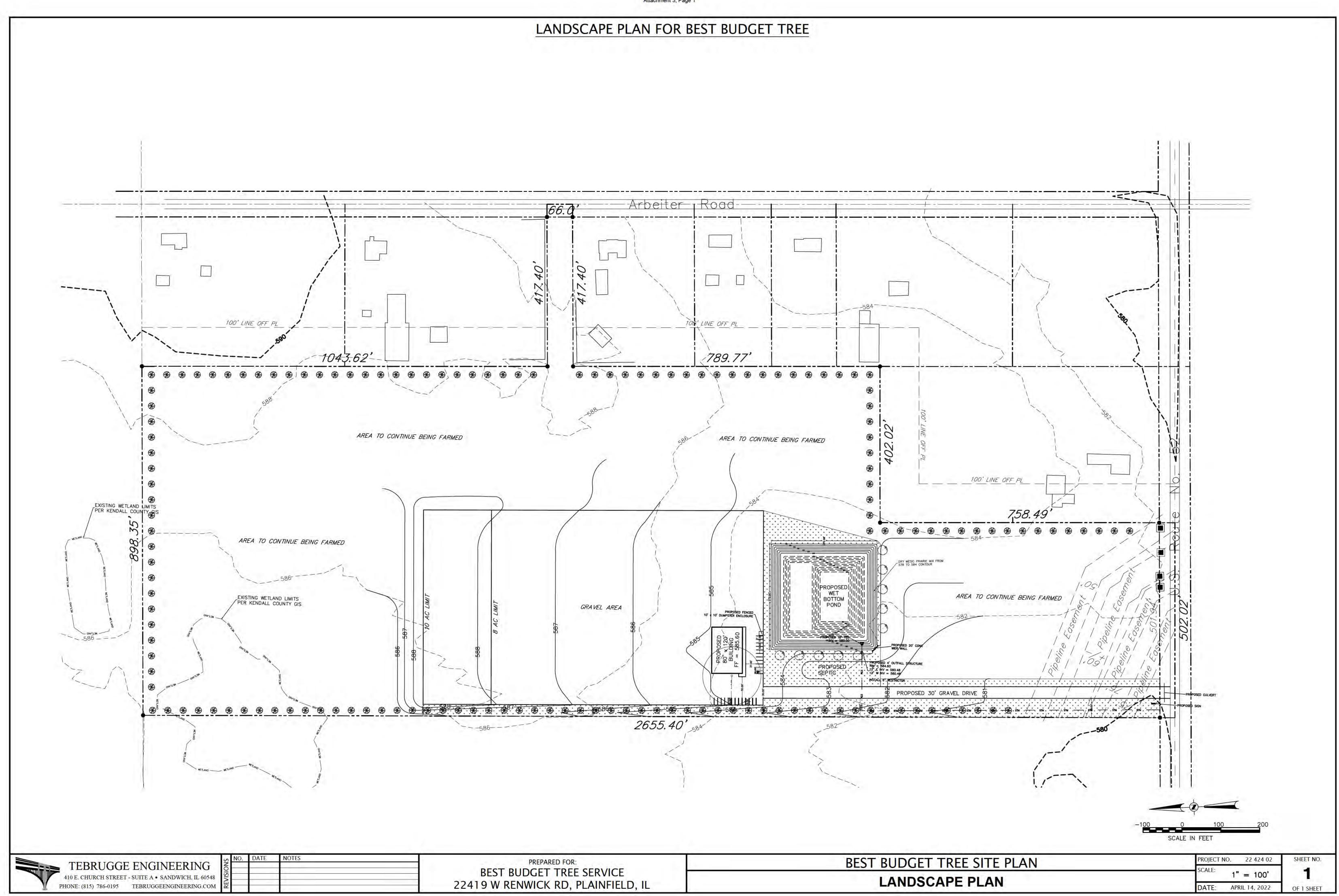
Refund Due

NATUR	RAL RESOURCE INFORMATION (NI	RI) REPORT APPLICATION
Petitioner: Best Budget Tree S	Service Contact Person	on: Jeremy Dippold
Address: 22419 W Renwick R		
City, State, Zip: Plainfield, IL		L 60544
Phone Number: () 815-6	85-2444	
Email: bestbudgettree@yahoo.	com	
Please select: How	would you like to receive a copy of the NRI	Report? Email Mail
Site Location & Proposed Use		
Township Name Seward		N N, Range 8E E, Section(s) 15
Parcel Index Number(s) 09-15		
Project or Subdivision Name	Best Budget Tree Site Plan	Number of Acres 48.59
Current Use of Site A1	Proposed Use	A1-SU
Proposed Number of Lots 1	Proposed Num	nber of Structures 1
Proposed Water Supply Well		e of Wastewater Treatment Septic
Proposed type of Storm Wate	Management Wet Bottom Detention Pond	
Type of Request		
✓ Change in Zoning from A	to A1-SU	
THE THE PARTY OF STREET STREET		
☐ Variance (Please describe)	fully on separate page)	
 ✓ Variance (Please describe ✓ Special Use Permit (Please Name of County or Municipal 		
✓ Variance (Please describe ✓ Special Use Permit (Please Name of County or Municipali In addition to this completed ✓ Plat of Survey/Site Plan – ✓ Concept Plan – showing the If available: topography model in NRI fee (Please make cheater the NRI fees, as of July 1, Full Report: \$375.00 for	fully on separate page) de describe fully on separate page) ty the request is being filed with: Kendall C application form, please including the folio showing location, legal description and pro le locations of proposed lots, buildings, road hap, field tile map, copy of soil boring and/or locks payable to Kendall County SWCD) 2010, are as follows: If five acres and under, plus \$18.00 per acre for	owing to ensure proper processing: operty measurements ds, stormwater detention, open areas, etc.
✓ Variance (Please describe ✓ Special Use Permit (Please Name of County or Municipali In addition to this completed ✓ Plat of Survey/Site Plan – ✓ Concept Plan – showing the If available: topography model in NRI fee (Please make cheater the NRI fees, as of July 1, Full Report: \$375.00 for	fully on separate page) defectibe fully on separate page) ty the request is being filed with: Kendall C application form, please including the folions showing location, legal description and proposed lots, buildings, roading, field tile map, copy of soil boring and/orcks payable to Kendall County SWCD) 2010, are as follows: If five acres and under, plus \$18.00 per acre for port: \$300.00 (KCSWCD staff will determine we fee for first five acres and under	owing to ensure proper processing: operty measurements ds, stormwater detention, open areas, etc. r wetland studies or each additional acre or any fraction thereof over fix when a summary or full report will be necessary.) \$375.00_
✓ Variance (Please describe ✓ Special Use Permit (Please Name of County or Municipali In addition to this completed ✓ Plat of Survey/Site Plan – ✓ Concept Plan – showing the If available: topography model in NRI fee (Please make cheater the NRI fees, as of July 1, Full Report: \$375.00 for	fully on separate page) e describe fully on separate page) ty the request is being filed with: Kendall C application form, please including the folia showing location, legal description and pro ne locations of proposed lots, buildings, road nap, field tile map, copy of soil boring and/o cks payable to Kendall County SWCD) 2010, are as follows: r five acres and under, plus \$18.00 per acre for port: \$300.00 (KCSWCD staff will determine we Fee for first five acres and under 44 Additional Acres at \$18.00 each	powing to ensure proper processing: operty measurements ds, stormwater detention, open areas, etc. or wetland studies or each additional acre or any fraction thereof over fix when a summary or full report will be necessary.) \$375.00 \$ 792
✓ Variance (Please describe ✓ Special Use Permit (Please Name of County or Municipali In addition to this completed ✓ Plat of Survey/Site Plan – ✓ Concept Plan – showing the If available: topography m NRI fee (Please make cheen The NRI fees, as of July 1, Full Report: \$375.00 for Executive Summary Re	fully on separate page) de describe fully on separate page) ty the request is being filed with: Kendall C application form, please including the folio showing location, legal description and pro ne locations of proposed lots, buildings, road pap, field tile map, copy of soil boring and/o cks payable to Kendall County SWCD) 2010, are as follows: r five acres and under, plus \$18.00 per acre for port: \$300.00 (KCSWCD staff will determine v Fee for first five acres and under 44 Additional Acres at \$18.00 each Total NRI Fee	powing to ensure proper processing: operty measurements ds, stormwater detention, open areas, etc. r wetland studies or each additional acre or any fraction thereof over fix when a summary or full report will be necessary.) \$\frac{375.00}{\$792}\$ \$\frac{1167}{}\$
Variance (Please describe ✓ Special Use Permit (Please Name of County or Municipali In addition to this completed ✓ Plat of Survey/Site Plan – ✓ Concept Plan – showing th If available: topography m NRI fee (Please make cher The NRI fees, as of July 1, Full Report: \$375.00 for Executive Summary Re	fully on separate page) de describe fully on separate page) ty the request is being filed with: Kendall C application form, please including the folio showing location, legal description and pro ne locations of proposed lots, buildings, road pap, field tile map, copy of soil boring and/o cks payable to Kendall County SWCD) 2010, are as follows: r five acres and under, plus \$18.00 per acre for port: \$300.00 (KCSWCD staff will determine v Fee for first five acres and under 44 Additional Acres at \$18.00 each Total NRI Fee	powing to ensure proper processing: sperty measurements ds, stormwater detention, open areas, etc. r wetland studies or each additional acre or any fraction thereof over fix when a summary or full report will be necessary.) \$\frac{375.00}{5.792} \$\frac{1167}{1167} 's SWCD Board Meeting Agenda. Once a completed
□ Variance (Please describe ☑ Special Use Permit (Please Name of County or Municipali In addition to this completed ☑ Plat of Survey/Site Plan - ☑ Concept Plan - showing th ☑ If available: topography m ☑ NRI fee (Please make cheater the NRI fees, as of July 1,	fully on separate page) e describe fully on separate page) ty the request is being filed with: Kendall C application form, please including the folic showing location, legal description and pro le locations of proposed lots, buildings, road lap, field tile map, copy of soil boring and/or less payable to Kendall County SWCD) 2010, are as follows: If five acres and under, plus \$18.00 per acre for port: \$300.00 (KCSWCD staff will determine to Fee for first five acres and under 44 Additional Acres at \$18.00 each Total NRI Fee The 1st of each month to be on that month le allow 30 days for inspection, evaluation a If this application allows the authorized rep to visit and conduct an evaluation of the si	powing to ensure proper processing: sperty measurements ds, stormwater detention, open areas, etc. r wetland studies or each additional acre or any fraction thereof over fix when a summary or full report will be necessary.) \$\frac{375.00}{5.792} \$\frac{1167}{1167} 's SWCD Board Meeting Agenda. Once a completed
✓ Variance (Please describe ✓ Special Use Permit (Please Name of County or Municipali In addition to this completed ✓ Plat of Survey/Site Plan - ✓ Concept Plan - showing the If available: topography make the or of the NRI fees, as of July 1, Full Report: \$375,00 for Executive Summary Reservation is submitted, please I (We) understand the filing of Conservation District (SWCD) expiration date will be 3 years	fully on separate page) e describe fully on separate page) ty the request is being filed with: Kendall C application form, please including the folic showing location, legal description and pro le locations of proposed lots, buildings, road lap, field tile map, copy of soil boring and/or less payable to Kendall County SWCD) 2010, are as follows: If five acres and under, plus \$18.00 per acre for port: \$300.00 (KCSWCD staff will determine to Fee for first five acres and under 44 Additional Acres at \$18.00 each Total NRI Fee The 1st of each month to be on that month le allow 30 days for inspection, evaluation a If this application allows the authorized rep to visit and conduct an evaluation of the si	powing to ensure proper processing: sperty measurements ds, stormwater detention, open areas, etc. r wetland studies or each additional acre or any fraction thereof over fix when a summary or full report will be necessary.) \$\frac{375.00}{5792} \$\frac{1167}{1067} 's SWCD Board Meeting Agenda. Once a completed and processing of this report. oresentative of the Kendall County Soil and Water

_____ Date all rec'd ______ Board Meeting _

__ Check #_____ Over/Under Payment __





LANDSCAPE NOTES

- PART 1 GENERAL

1.01 DESCRIPTION

- PROVIDE TURF, TREES, SHRUBS, AND GROUNDCOVER AS SHOWN AND SPECIFIED. THE WORK INCLUDES: 1. SOIL PREPARATION
- 2. FERTILIZATION
- 4. TREES, SHRUBS, AND GROUNDCOVERS
- 5. MULCH AND PLANT ACCESSORIES 6. MAINTENANCE AND GUARANTEE 7. CLEANING UP WORK AREAS
- 1.02 QUALITY ASSURANCE
- COMPLY WITH APPLICABLE LOCAL REGULATIONS.
- B. SOD: COMPLY WITH AMERICAN SOD PRODUCERS ASSOCIATION (ASPA) CLASSES OF SOD MATERIAL C. PLANT NAMES INDICATED COMPLY WITH "STANDARD PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT
- COMMITTEE OF HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE, PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGALLY TAGGED.
- COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT
- SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION. ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.

1.03 SUBMITTALS

- . SEED: SUBMIT SEED VENDOR'S CERTIFICATION FOR REQUIRED GRASS SEED MIXTURE, INDICATING PERCENTAGE BY WEIGHT, AND PERCENTAGES OF PURITY, GERMINATION, AND WEED SEED FOR EACH GRASS SPECIES.
- SOD: SUBMIT SOD GROWER'S CERTIFICATION OF GRASS SPECIES. IDENTIFY SOURCE.
- MULCH D. STRAW BLANKET

1.04 DELIVERY, STORAGE, AND HANDLING

- . SEED: DELIVER SEED AND FERTILIZE MATERIALS IN ORIGINAL UNOPENED CONTAINERS, SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION.
- SOD: DELIVER AND INSTALL SOD CUT WITHIN 48-HOUR PERIOD.
- DELIVER FERTILIZER MATERIALS IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION. TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING, WORKMANSHIP THAT FALLS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND

ON ARRIVAL; THE CERTIFICATE SHALL BE FILLED WITH THE LANDSCAPE ARCHITECT. PROTECT ALL PLANTS FROM DYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, OR MULCH. WATER HEELED-IN PLANTINGS

COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WINDBURN, WHEN IN LEAF.

1.05 PROJECT CONDITIONS

- CONFIRM THAT THE QUALITY AND DEPTH OF TOPSOIL IS SATISFACTORY PRIOR TO BEGINNING FINE GRADING.
- . FINE GRADING MUST BE APPROVED BY OWNER PRIOR TO START OF SEEDING OR SODDING. PERFORM GRASSING WORK ONLY AFTER PLANTING AND OTHER WORK AFFECTING GROUND SURFACE HAS BEEN COMPLETED.
- . INSTALL SEED UNDER FAVORABLE WEATHER CONDITIONS UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE. THE GENERALLY ACCEPTED TIMES FOR SEEDING ARE:

SPRING - APRIL 1ST TO MAY 31ST FALL - AUGUST 15TH TO SEPTEMBER 30TH

1.06 GUARANTEE

- GUARANTEE ALL WORK FOR ONE YEAR FOLLOWING THE DATE OF INSTALLATION.
- B. AT THE END OF THE GUARANTEE PERIOD, RESEED AND RESOD AREAS WITH SPECIFIED MATERIALS, WHICH FAIL TO PROVIDE A UNIFORM STAND OF GRASS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR, AS DETERMINED BY THE
- LANDSCAPE ARCHITECT, ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION. GURANTEE SHALL NOT INCLUDE DAMAGE OR LOSS OF TREES, PLANTS, GROUNDCOVERS, OR TURF CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, OR WINDS OVER 75 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD AND SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA; OR ACT OF VANDALISM.

PART 2 - PRODUCTS

2.01 MATERIALS

- 1. GRANULAR, 10-10-10. ALL PURPOSE AT A RATE OF 1LBS N-P-K PER 1,000 S.F. B. PLANT FERTILIZER:
- 1. PROVIDE A GRANULAR COMMERCIAL FERTILIZER WITH AN ANALYSIS OF 10-10-10.
- 1. LAWN SEED: FRESH, CLEAN SEED FROM MOST RECENTLY HARVESTED CROP WHICH COMPLIES WITH ALL LOCAL, STATE, AND FEDERAL SEED AND WEED LAWS IS FREE FROM POA ANNUAL, BENT GRASS AND NOXIOUS WEEDS. BLEND: PERCENT BY WEIGHT:
- FIELD OF DREAMS RESEEDER MIX, (AS AVAILABLE FROM NATURAL SEED, DOWNERS GROVE, IL)
- 2 NAMED KENTUCKY BLUE GRASSES 50% 2 - NAMED TURF TYPE PERENNIAL GRASSES 50%
- 3. BOTTOM OF STORM WATER MANAGEMENT BASINS TO BE OVER SEEDED WITH RED TOP SEED AT A RATE OF 50 LBS PER ACRE, PLANTS: PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS. FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, PLANTS FREE FROM DEFECTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULL
- DEVELOPMENT FORM. 1. DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OR EARTH. PROVIDE BALL SIZES COMPLYING WITH THE LATEST
- EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK".
- . PROVIDE SHADE AND EVERGREEN TREE SPECIES WITH A SINGLE MAIN TRUNK UNLESS OTHERWISE SPECIFIED OR ACCEPTED. PROVIDE PLANTS MATCHED IN FORM WHEN ARRANGED IN GROUPS. PROVIDE EVERGREEN TREES BRANCHED TO THE GROUND UNLESS OTHERWISE SPECIFIED OR ACCEPTED.
- 5. PROVIDE SHRUBS AND SMALL PLANTS MEETING THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
 5.a. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE TOP OF THE

PLANT AND NOT THE LONGEST BRANCH. PART 3 - EXECUTION

3.01 INSPECTION

A. EXAMINE FINISH SURFACE GRADES, TOPSOIL QUALITY, DEPTH, AND CONDITIONS OF INSTALLATIONS.

3.02 PREPARATION

- A. LOOSEN TOPSOIL OF LAWN AREAS TO MINIMUM DEPTH OF 2". REMOVE STONES OVER 1" IN ANY DIMENSION AND STICKS, ROOTS,
- RUBBISH, AND EXTRANEOUS MATTER. 3. GRADE LAWN AREAS TO SMOOTH, FREE DRAINING AND EVEN SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE. MECHANICALLY OR MANUALLY RAKE; REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
- RESTORE PREPARED AREAS TO SPECIFIED CONDICTION IF ERODED, SETTLED, OR OTHERWISE DISTURBED AFTER FINE GRADING AND PRIOR TO SEEDING OR SODDING. D. TIME OF PLANTING
- 1. EVERGREEN MATERIAL; PLANT EVERGREEN MATERIALS BETWEEN SEPTEMBER 2ND AND NOVEMBER 1ST OR IN SPRING BEFORE NEW
- . DECIDUOUS MATERIAL; PLANT DECIDUOUS MATERIALS IN A DORMANT CONDITION OR PRE-DIG AND HEAL UNTIL SITE IS READY.
- LOCATE PLANTS AS INDICATED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT. ROTOTILL ALL GROUNDCOVER BEDS. G. PROVIDE SHRUB PITS AT LEAST 8" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 12" GREATER FOR TREES.

3.03 SEED INSTALLATION

A. TURF AREAS;

- . SEED IMMEDIATELY AFTER PREPARATION OF BED.
 - PERFORM SEEDING OPERATIONS WHEN THE SOIL IS DRY AND WHEN WINDS DO NOT EXCEED 20 MILES PER HOUR VELOCITY.
 - SOW SEED AT 300 LBS. PER ACRE. 3.a. CONVENTIONAL SEEDING:
 - 3.a.1. APPLY SEED WITH A ROTARY OR DROP TYPE DISTRIBUTOR. SEED EVENLY. 3.a.2. AFTER SEEDING, RAKE SOIL SURFACE LIGHTLY TO INCORPORATE SEED.
 - 4. WITHIN 24 HOURS, PLACE STRAW BLANKET OVER ALL SEEDED AREAS. PLACE BLANKET PERPENDICULAR TO CONTOUR LINES AND FASTEN IN PLACE PER MANUFACTURES RECOMMENDATIONS.

3.04 PLANT INSTALLATION

- SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. DO NOT FILL AROUND TRUNKS OR STEMS.
 AFTER BALLED OR BURLAPPED PLANTS ARE SET, FILL ALL VOIDS.
- . MIX APPROVED COMMERCIAL FERTILIZER AT 10 LBS. PER CUBIC YARD OF BACKFILL GROUNDCOVERS:
- . WHERE GROUNDCOVERS ARE SPECIFIED ON THE PLANS, ROTOTILL ENTIRE PLANT BED TO 6" DEPTH USING AMENDED TOPSOIL. INCORPORATE COMMERCIAL 10-10-10 FERTILIZER INTO PREPARED SOIL MIXTURE AT AN APPROPRIATE RATE OF 1 LB. PER SQUARE MULCHING:
- 1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL 3" DEEP IMMEDIATELY AFTER PLANTING. THOROUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.
- INSPECT TREES FOR INJURY TO TRUNKS, EVIDENCE OF INSECT INFESTATIONS, AND IMPROPER PRUNING BEFORE WRAPPING.
 WRAP TRUNKS OF ALL TREES SPIRALLY FROM BOTTOM TO TOP WITH SPECIFIED TREE WRAP AND SECURE IN PLACE. WRAPPING IS
- AT THE DISCRETION OF THE CONTRACTOR.

- 1. PRUNE BRANCHES OF DECIDUOUS STOCK, AFTER PLANTING, TO PRESERVE THE NATURAL CHARACTER APPROPRIATE TO THE PARTICULAR PLANT REQUIREMENTS. IN GENERAL, REMOVE APPROXIMATELY 1/4. OF THE LEAF BEARING BUDS. REMOVE OR CUT
- BACK BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.
- 2. MULTIPLE LEADER PLANTS: PRESERVE THE LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH WITH THE TRUNK OR MAIN BRANCH, AT DIAMETER OF THE SUPPORTING BRANCH. MAKE CUT ON AN ANGLE. 3. PRUNE EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

3.05 FINAL COMPLETION, INSPECTION, AND ACCEPTANCE

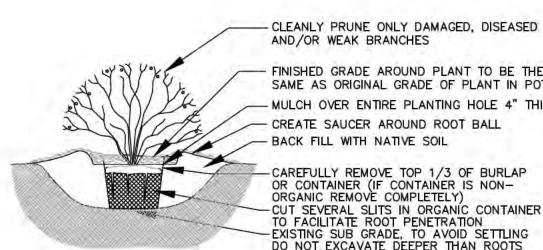
- A. UPON COMPLETION INSPECTION OF ALL WORK WILL BE MADE BY THE OWNER OR HIS REPRESENTATIVE. AT THAT TIME IF ALL WORK IS SATISFACTORY, THAT WILL CONSTITUTE FINAL ACCEPTANCE.
- SEEDED AREAS WILL BE INSPECTED AT COMPLETION OF THE INSTALLATION AND ACCEPTED SUBJECT TO COMPLIANCE WITH SPECIFIED MATERIALS AND INSTALLATION REQUIREMENTS. SEEDED AREAS WILL BE ACCEPTABLE PROVIDED ALL REQUIREMENTS, HAVE BEEN COMPLIED WITH.
- NO SEEDED AREAS SHALL HAVE BARE SPOTS OR UNACCEPTABLE COVER TOTALING MORE THAN 2% OF THE INDIVIDUAL AREAS, IN AREAS REQUESTED TO BE INSPECTED.
- INSPECTION OF ALL WORK SHALL BE MADE UPON REQUEST OF CONTRACTOR. AT THAT TIME, IF ALL WORK IS SATISFACTORY, THAT WILL CONSTITUTE FINAL ACCEPTANCE. D. PLANTS THAT HAVE DIED OR ARE IN UNHEALTHY OR BADLY IMPAIRED CONDITION UPON INSPECTION SHALL BE TREATED OR REPLACED
- AT NO ADDITIONAL COST TO OWNER. E. REPLACE REJECTED PLANTS IN THE SEASON THAT IS MOST FAVORABLE FOR RESETTING KINDS OF PLANTS REQUIRED.

A. PERFORM CLEANING DURING INSTALLATION OF THE WORK AND UPON COMPLETION OF THE WORK. REMOVE FROM SITES ALL EXCESS MATERIALS, SOIL, DEBRIS, AND EQUIPMENT.

- A. ALL GRADES TO BE ESTABLISHED TO MEET ENGINEERING DRAWINGS BY OTHERS. BASIN BOTTOMS SEED, BLOW WITH STRAW MULCH AND CRIMP STRAW IN PLACE, AS NOTED ON PLANS.
- SEED AND INSTALL STRAW BLANKET ALL OTHER TURF AREAS. D. ALL DISTURBED AREAS THAT ARE NOT MULCHED SHALL BE SEEDED.

DDODOSED I ANDSCADING MATERIAL

	CODE:	DESCRIPTION:		UNIT OF MEASURE	QTY
	EVERGRE	EN TREES			
	WHITE	WHITE PINES	PINUS STROBUS	3'	150
and the same	DECIDUO	JS TREES			
	LIND	LITTLE LEAF LINDEN	TILIA CORDATA	1 1/2"	10
	TURE				
	CLASS 1	I IDOT SEED MIX -	ALL DISTURBED AREA THAT ARE NO SHALL BE SEEDED	T MULCHED OR FA	RMED

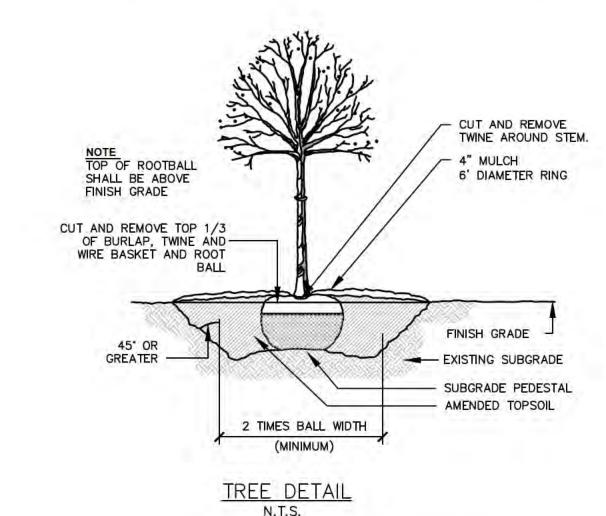


- FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT IN POT - MULCH OVER ENTIRE PLANTING HOLE 4" THICK — CREATE SAUCER AROUND ROOT BALL BACK FILL WITH NATIVE SOIL

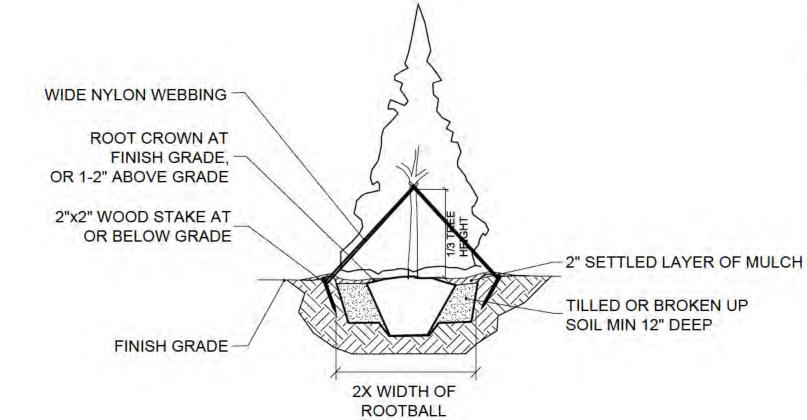
OR CONTAINER (IF CONTAINER IS NON-ORGANIC REMOVE COMPLETELY) CUT SEVERAL SLITS IN ORGANIC CONTAINER
TO FACILITATE ROOT PENETRATION EXISTING SUB GRADE, TO AVOID SETTLING DO NOT EXCAVATE DEEPER THAN ROOTS

- WATER THOROUGHLY AFTER INSTALLATION.
- 2. USE EXISTING SOIL AS BACK FILL. IF DIRECTED BY OWNER, AMEND WITH 1/3 COMPOST. 3. ALL SHRUBS TO BE MULCH OVER ENTIRE PLANTING HOLE

SHRUB DETAIL - CONTAINER OR B&B

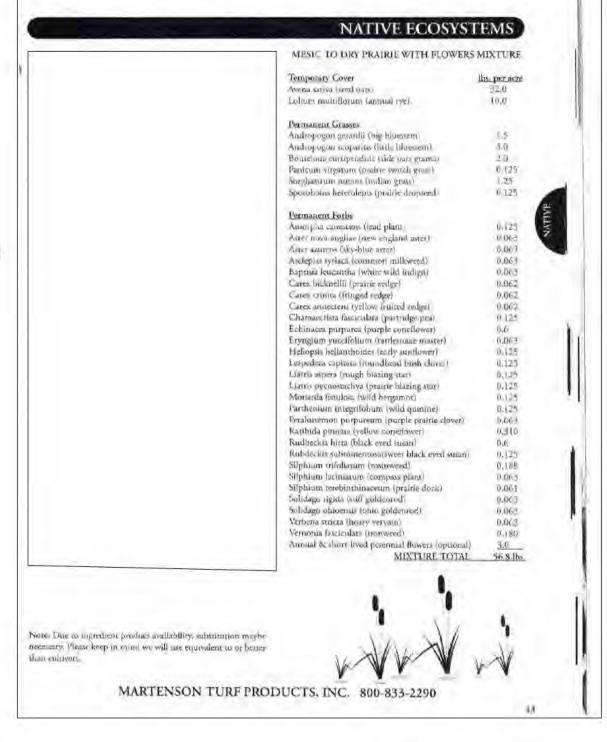


DETENTION POND SHALL HAVE 6" OF PULVERIZED TOPSOIL AND INSTALL DRY MESIC PRAIRIE MIX & EROSION CONTROL BLANKET UP TO THE HIGH WATER LINE





For Trees no more than three of the same species shall be clustered together. And the goal should be that no Family shall account for more than 30%, no Genus shall account for more than 20%, and no Species shall account for more than 10% of any Planting Material Type.



TEBRUGGE ENGINEERING 410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548 PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

PREPARED FOR: BEST BUDGET TREE SERVICE 22419 W RENWICK RD, PLAINFIELD, IL

BEST BUDGET TREE SITE PLAN LANDSCAPE DETAILS

PROJECT NO. 22 424 02 APRIL 14, 2022

SHEET NO. OF 1 SHEET

STORMWATER WANAGEMENT PERMIT

PERMIT APPLICATION #_

Countywide St	vith all Federal, State, and County Regrormwater Management Ordinance and Ibmittal. See attached highlights of regroups.	ulations is required. Applicants are encouraged to the disconsider a pre-application meeting with Department ulations.
Property:	Name Best Budget Tree Service -	Jeremy & Samantha Dippold
Owner	Address 22419 W Renwick Rd, Pl	l l
Owner.		
Agent:		Engineering
	Address 410 E Church St, Ste A, S	Sandwich, IL 60548
	Phone 815-786-0195	
Site:	Address or Location 2195 US Highw	yay 52, Minooka, IL 60447
	Zoning/Land Use/Acres A1/Agricultu	ral/48.59
Proposed Deve		
Construct gravel ent	a 10,700 s.f. building and a grave ry drive and a wet bottom detention	l area for materials storage. Construct a on pond for stormwater.
Attachments:	Plat <u>X</u>	Construction Plans X
		Landscaping X
		Phasing
	Other	
Fees	\$50 Processing Fee (
	\$ 1200 Engineering Reviews proposed improvements, which	iew Deposit (\$1,200.00 or 2% of estimated cost of the
TOTAL \$ 1250		ut to the Kendall County Treasurer
	act Applicant regarding schedule and rev	views.
made during to agree to conf Management by County Sta	the review process is true and correct; orm to all requirements set forth by the Ordinance. I understand that by signin and County Engineers throughout the e for all costs associated with this applicature	on, on the documents attached, and on other submittals that I am authorized to file this application; and that I he County and all conditions of the County Stormwater g this form, that the property in question may be visited permit and construction process. I also understand that I cation. Date 4-19-22

Kendall County Planning, Building, & Zoning Department

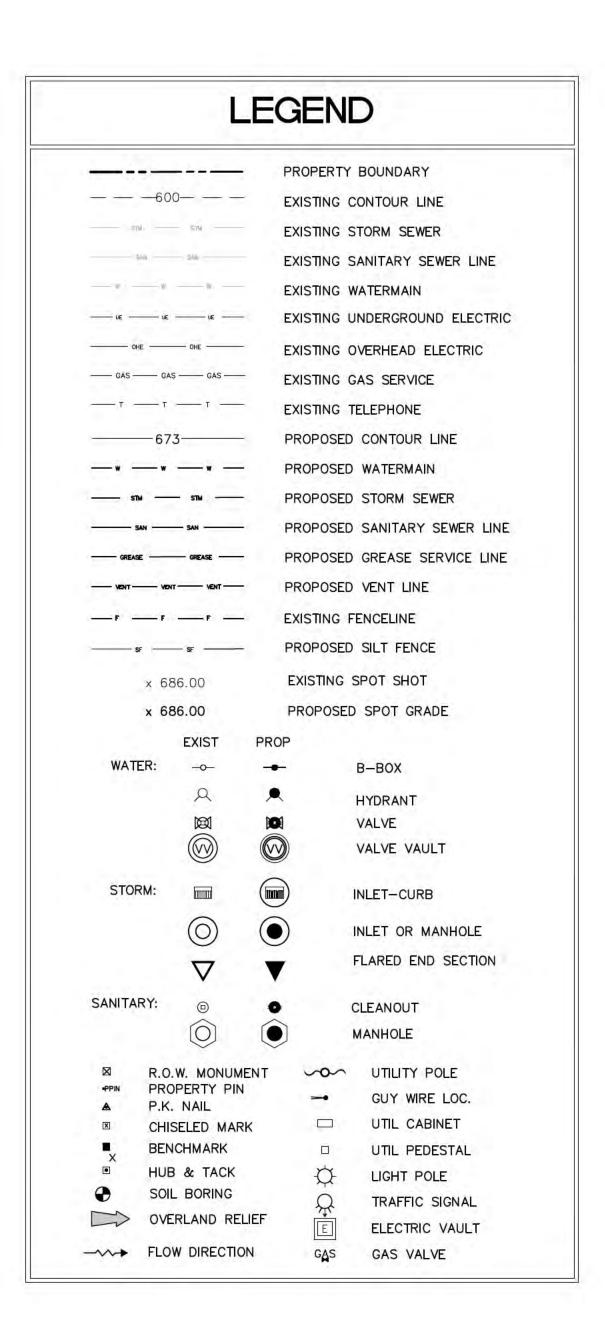
111 West Fox Street, Room 203 Yorkville, Illinois 60560

Phone: (630) 553-4139, Fax (630) 553-4179 www.co.lendall.il.us

ENGINEERING PLANS FOR

BEST BUDGET TREE SITE PLAN

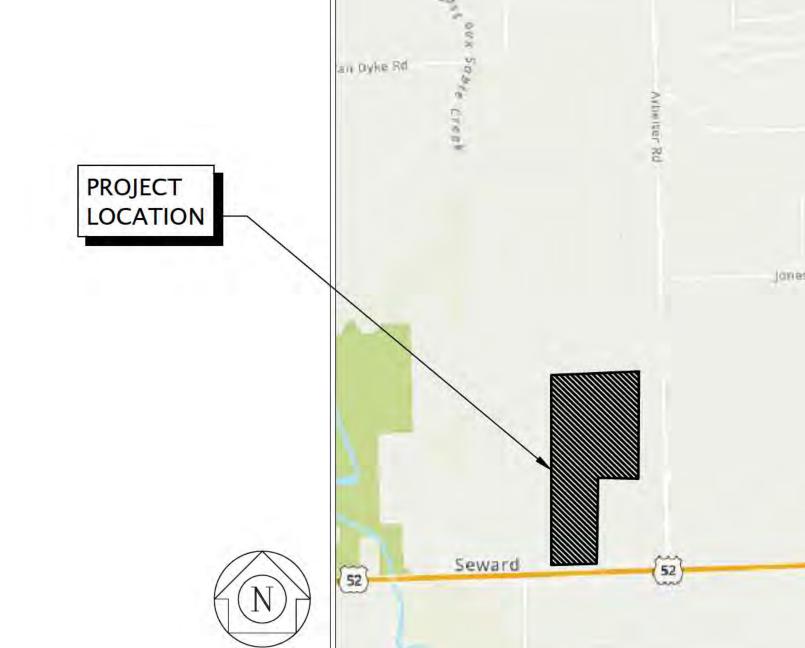
SECTION 15, TOWNSHIP 35 NORTH, RANGE 8 EAST



2195 US HIGHWAY 52 MINOOKA, IL 60447 KENDALL COUNTY APRIL, 2022

INDEX TO SHEETS

- 1. COVER SHEET
- 2. EXISTING CONDITIONS & DEMOLITION PLAN
- 3. STORMWATER POLLUTION & PREVENTION PLAN 1
- 4. STORMWATER POLLUTION & PREVENTION PLAN 2
- 5. OVERALL CIVIL SITE PLANS
- 6. CIVIL SITE PLAN I
- 7. CIVIL SITE PLAN II
- 8. GENERAL NOTES & DETAILS



Know what's below.
Call before you dig.

Contractor and or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.I.E. (Joint Utility Locating for Excavators) at 1-800-892-0123 or dial 811.

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

TOPOGRAPHY STATEMENT

EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY TEBRUGGE ENGINEERING.
CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

PRELIMINARY

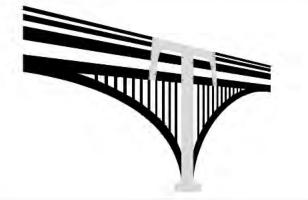
NOT FOR CONSTRUCTION

PLANS PREPARED FOR: BEST BUDGET TREE SERVICE 22419 W RENWICK RD PLAINFIELD, IL 60544

BENCHMARKS:

LOCATION MAP

22419 W RENWICK RD PLAINFIELD, IL 60544 PHONE: (815) 685-2444 EMAIL: BESTBUDGETTREE@YAHOO.COM



KENDALL COUNTY GIS 2' CONTOUR MAPS

CIVIL ENGINEER:

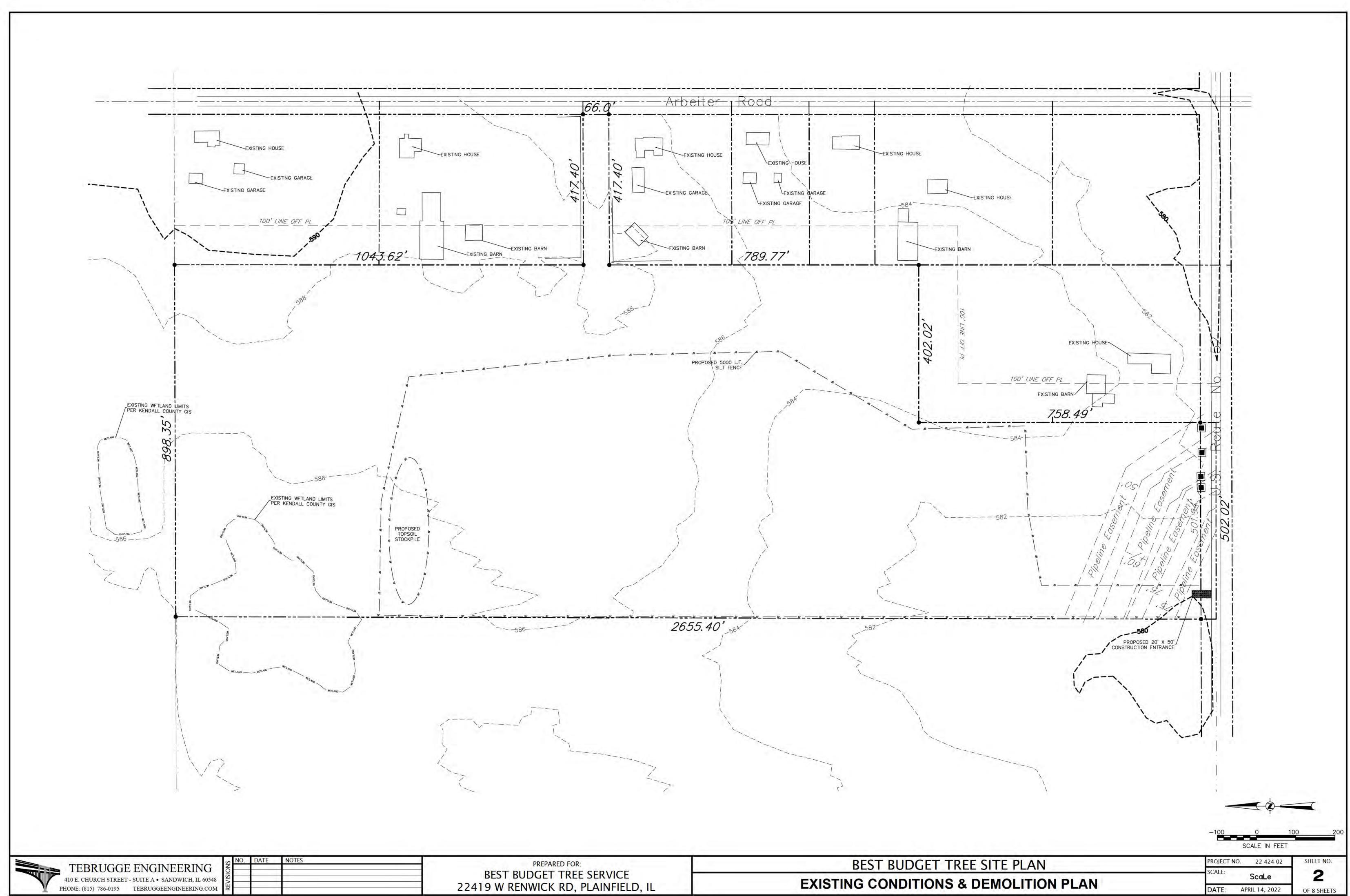
RIACK RO

(52) 11 (52)

TEBRUGGE ENGINEERING 410 E CHURCH ST - SUITE A SANDWICH, ILLINOIS 60548 (815) 786-0195

INFO@TEBRUGGEENGINEERING.COM WWW.TEBRUGGEENGINEERING.COM

NO. DATE NOTES



BEST MANAGEMENT PRACTICE NOTES

I. SEE STABILIZED CONSTRUCTION ENTRANCE DETAIL. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 14' IN WIDTH AND 50' IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXIT PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF

2. THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION RENDERS THE RESPECTIVE PORTION OF THE PERIMETER SILT FENCE UP STREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SWPPP SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.

3. NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES THAT WILL NOT RECEIVE A CASTING WITHIN 48 HOURS OF INSTALLATION SHALL RECEIVE IP6 PROTECTION, UPON INSTALLATION OF THE GRATE, IP3 OR IP5 PROTECTION SHALL BE INSTALLED RESPECTIVE TO THE TYPE OF GRATE. STRUCTURES WITH CLOSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF THE LID. THE CONTRACTOR SHALL NOTE THE TIME STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 3" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH

SHALL BE DE-WATERED PRIOR TO REMOVING THE BULKHEAD. 4. PERMANENT EROSION CONTROL FABRIC SHALL BE APPLIED TO ALL SLOPES 4:1 OR GREATER, FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION, THE CONTRACTOR SHALL NOTE ALL AREAS WHERE FABRIC HAS BEEN INSTALLED RELATIVE TO AS-BUILT GRADES AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST.

5, PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION.

6. STOCKPILE SHOULD BE LOCATED IN AREAS THAT DO NOT HAVE HIGH POTENTIAL FOR CONTRIBUTING SEDIMENTS TO STORMWATER FACILITIES.

PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

. STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES. STOCK PILES NOT ACTIVELY WORKED AND TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.

8. THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN IDLE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR

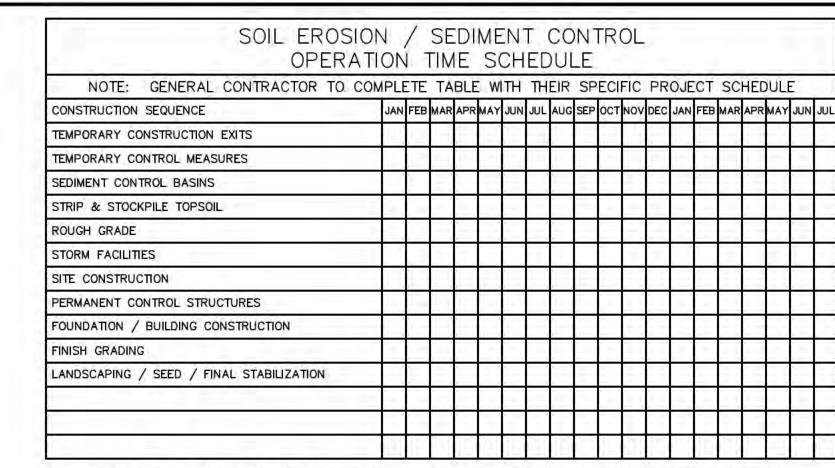
PROPOSED GRADE INFORMATION THAT IS PROVIDED ON THE SWPPP SITE MAP IS FOR THE PURPOSE OF INDICATING FINAL DRAINAGE PATTERNS ONLY. SEE GRADING PLAN FOR FINAL GRADING DETAILS.

THE CONTRACTOR SHALL MAINTAIN ALL EXISTING ROADWAYS, SIDEWALKS, DRIVES, ETC., TO BE FREE AND CLEAR OF ANY CONSTRUCTION DEBRIS AND/OR EXCAVATED AND HAULED MATERIAL TO ENSURE EASY AND SAFÉ PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM ADJACENT SITES.

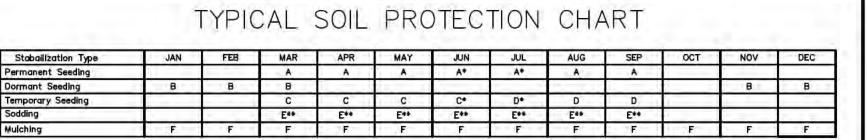
ILLINOIS URBAN MANUAL PROTECTIONS:
IP-1. BLOCK AND ROCK SOCK INLET PROTECTION FOR SUMP OR ON-GRADE INLETS IP-2. CURB (ROCK) SOCKS UPSTREAM OF INLET PROTECTION,

IP-3. ROCK SOCK INLET PROTECTION FOR SUMP/AREA INLET IP-4. SILT FENCE INLET PROTECTION FOR SUMP/AREA INLET IP-5. OVER-EXCAVATION INLET PROTECTION IP-6. STRAW BALE INLET PROTECTION FOR SUMP/AREA INLET

CIP-1. CULVERT INLET PROTECTION



1) CONTRACTOR SHALL UPDATE THE TABLE BY SHADING OR DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.



- A Kentucky Bluegrass 90 lbs/acre mixed with perennial ryegrass 30 lbs/acre
- B Kentucky Bluegrass 135 lbs/acre mixed with perennial ryegrass - 45 lbs/acre
- ₹ Watering needed in June and July

STORM WATER POLLUTION PREVENTION PLAN

C - Spring Oats - 100 lbs/acre D - Wheat or Cereal Rye - 150 lbs/acre

1" = 100'

DATE: APRIL 14, 2022

- E Sod
- F Straw Mulch 2 tons/acre ** Water for 2-3 weeks after sodding

2) TIME SCHEDULE MUST COINCIDE WITH SEQUENCE OF CONSTRUCTION. EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING. GENERAL CONTRACTOR / OWNER SHALL COORDINATE WHICH CONTRACTORS WILL BE PROVIDING SWPPP SERVICES AND HAVE THEM SIGN THE CONTRACTOR'S CERTIFICATION ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN A STORM WATER POLLUTION PREVENTION PLAN SHALL SIGN A COPY OF THE FOLLOWING CERTIFICATION STATEMENT BEFORE CONDUCTING ANY PROFESSIONAL SERVICES AT THE SITE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN CONTRACTOR'S CERTIFICATION "I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THE CERTIFICATION. CONTRACTOR NAME & TITLE: PHONE #: EXISTING HOUSE SIGNATURE -EXISTING HOUSE -EXISTING HOUSE LEXISTING HOUSE CONTRACTOR NAME & TITLE: -EXISTING GARAGE PHONE #: -EXISTING GARAGE -EXISTING GARAGE LEXISTING DARAGE -EXISTING HOUSE LEXISTING GARAGE SIGNATURE 100' LINE OFF PL 100' LINE OFF PL CONTRACTOR NAME & TITLE: ADDRESS: PHONE #: -EXISTING BARN EXISTING BARN SIGNATURE ACREAGE SUMMARY NOTICE OF INTENT (NOI) BEST BUDGET TREE 22419 W RENWICK RD LAINFIELD, IL 60544 AREA TO CONTINUE BEING FARMED AREA TO CONTINUE BEING FARMED EMAIL: BESTBUDGETTREE@YAHOO.COM EXISTING HOUSE ANDOWNER: JEREMY DIPPOLD PROPOSED IMPERMOUS AREA 10.75 AC± PROPOSED CN 80 AREA TO CONTINUE BEING FARMED STORMWATER OUTFLOW CONTRIBUTING/RECEIVING WATERS FROM SITE - DETENTION POND EXISTING WETLAND LIMITS
PER KENDALL COUNTY GIS TO RECEIVING WATERS - AUX SABLE CREEK AREA TO CONTINUE BEING FARMEL GRAVEL AREA PROPOSED TOPSOIL STOCKPILE PROPOSED SEPTIC PROPOSED 30' GRAVEL DRIVE 2655.40' BEST BUDGET TREE SITE PLAN SHEET NO. PREPARED FOR: TEBRUGGE ENGINEERING BEST BUDGET TREE SERVICE

22419 W RENWICK RD, PLAINFIELD, IL

1. GENERAL NOTES & DESCRIPTIONS

The Storm Water Pollution Prevention Plan (SWPPP) includes, but is not limited to the Erosion and Demolition Plan included in the Engineering Plans with the Detail Sheet, the Notice of Intent, Permit Authorization, General Permit, Notice of Termination. All records of inspection and activities which are created during the course of the project, and other documents as may be included by reference to this SWPPP. Changes, modifications, revisions, additions, o deletions shall become part of this SWPPP as they occur.

 All Contractors and sub-contractors that are responsible for implementing and measure of the SWPPP must
be identified and must certify this SWPPP by signing the SWPPP certification in accordance with Part VI.G (Signatory Requirements) of the ILR10 Permit.

All signed certifications must be kept with the SWPPP documents and be available for inspection.

The Contractor and all sub-contractors involved with construction activity that disturbs site soil or who implement pollutant control measure identified in the Storm Water Pollution Prevention Plan must comply with the following requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit, the NPDES Permit No. ILR10 for the State of Illinois and any local governing agency having jurisdiction concerning erosion and sediment

All construction sites that will result in the disturbance of one acre or more must be permitted under the Illinois General NPDES Permit. The Notice of Intent (NOI) has been submitted at the address below. The NOI is for the onsite and offsite improvements. The NPDES Permit will be issued 30 days after the postmark date of the submittal

Permit Information: The Owner has mailed the Owner-signed NOI form and the initial yearly fee of \$500 to the address listed below. The Contractor will be responsible for submitting each subsequent \$500 yearly fee, if applicable. A copy of the signed NOI form will be supplied to the Contractor.

Unless notified by the Illinois Environmental Protection Agency (IEPA) to the contrary, construction activities may begin in accordance with this SWPPP and the ILR10 in 30 days following the post mark date of the NOI.

Transfer Information: If a portion of the property is sold, that new Owner may obtain their own general permit by submitting a separate NOI. The original NOI may then be modified by re—submitting the NOI with update acreage and checking the box "change of information". Also include documentation explaining that a lot has been sold, the acreage difference and the date of sale. There is no fee involved with modifying the NOI.

There are no requirements for a pre-construction meeting from any of the reviewing agencies.

Phone: (217) 782-0610

Kendall County Planning, Building & Zoning Illinois Environmental Protection Agency Division of Water Pollution Control 1021 North Grand Avenue East Yorkville, Illinois 60560 Springfield, Illinois 62794-9276 Phone: (630) 553-4141

The following documents will be supplied to the contractor and must be posted on the Entrance Sign in a prominent place for public viewing until termination of permit coverage has been obtained by filling the Notice of

. Notice of Intent signed in accordance with ILR10. 2. Permit Authorization from the Illinois Environmental Agency (IEPA).

The location of the SWPPP must be clearly visible.

A complete copy of the SWPPP, including copies of all inspection reports, plan revisions, etc., must be retained at the project site at all times during the duration of the project (until NOT is filed) and kept in the permanent project records of the Contractor for at least three years following submittal of the Notice of Termination (NOT).

The Contractor must provide names and addresses of all sub-cntractors working on this project who will be involved with the major construction activities that disturb site soil. This information must be kept with the SWPPP.

E. CONTRACTOR/SUB-CONTRACTOR CERTIFICATION FORM

The Contractor and all sub-contractors involved with ground disturbing or installation and maintenance of any Best Management Practice (BMP) on site must sign a copy of the Contractor Certification that will be supplied to the Contractor. This information must be kept with the SWPPP.

At least once every seven calendar days and with 24 hours of a 0.5 in rainfall event, inspections by documented Contractor Compliance Officer must be made to determine the effectiveness of the SWPPP. If the State or Local agencies have a required inspection form, the both forms must be completed. The SWPPP, including the best management practices implemented on the jobsite, shall be modified as needed to reduce or prevent pollutants from

An example BMP Inspection Form will be supplied to the Contractor.

A delegation of authority letter authorizing the Contractor Compliance Officer to sign the inspection forms will also

The Inspector must be a person familiar with the site, the nature of major construction activities, and qualified to evaluate both overall system performance and individual component performance. The inspector must either be someone empowered to implement modifications to this SWPPP and the pollutant control devices. If needed in order to increase effectiveness to an acceptable level, or someone with the authority to cause such things to happen. Additionally, the inspector shall be properly authorized in accordance with the applicable General Permit to conduct

See Section VII on this sheet for further reporting requirements.

This SWPPP must be updated each time there are significant modifications to the pollution prevention system or a change of Contractors working on the project that disturb site solls. The SWPPP must be amended as necessary during the course of construction in order to keep it current with the pollutant control measures utilized on the site. Amending the SWPPP does not mean that it has to be reprinted. It is acceptable to add addenda, sketches, new ections, and/or revised drawings. The site map showing the locations of all storm water controls must be poste on the site and updated to reflect the progress of construction and changes to the SWPPP. Any control measure that has a hydrologic design component must be updated or amended by the Engineer. Substitution of sediment control BMPs beyond those specified in the SWPPP is considered a hydrologic design component.

H. DISCHARGE OF PETROLEUM PRODUCTS OR HAZARDOUS SUBSTANCES

Discharge of Petroleum products or other hazardous substances into storm water or the storm water (storm sewer) system is subject to reporting and clean up requirements. See section V.B.8 of this SWPPP for State and local information on reporting spills. Refer to the General Permit for additional information.

I. NOTICE OF TERMINATION Once the site reaches final stabilization as defined in the General Permit, with all permanent erosion and sedimentation controls installed and all temporary erosion and sedimentation controls removed, the Contractor and Owner's representative must complete a final inspection. Upon approval by the Owner's representative, the Owner and Contractor, as applicable, must complete and submit a NOT.

CONTRACTORS RESPONSIBILITY

This SWPPP intends to control water—bourne and liquid pollutant discharges by some combination of interception, sedimentation, filtration, and containment. The Contractor and sub—contractors implementing this SWPPP must remain alert to the need to periodically refine and update the SWPPP in order to accomplish the intended goals. The

K. LOG OF CONSTRUCTION ACTIVITY

A record of dates when major ground-disturbing activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated or completed must be maintained until the NOT is filed. A log for keeping such records is included. Controls must be in place down gradient of any ground-disturbing activities prior to the commencement of construction and noted on the Site Map and Record of Stabilization and Construction Activity Dates.

2. INTRODUCTION

This SWPPP includes the elements necessary to comply with the natural baseline general permit for construction activities administered by the US Environmental Protection Agency (EPA) under the National Pollutant Discharge Elimination System (NPDES) program, the NPDES Permit No. ILR10 for the State of Illinois, and all Local governing agency requirements. This SWPPP must be implemented at the start of construction.

Construction phase pollutant sources anticipated at the site are disturbed (bare) soil, vehicle fuels and lubricants, chemicals associated with building construction, and building materials. Without adequate control there is a potential for each type of pollutant to be transported by storm water. Project construction will consist primarily of site grading, utility service connections, and site paving to facilitate

A major goal of pollution prevention efforts during project construction is to control soil and pollutants that originate on the site and prevent them from flowing to surface waters. The purpose of this SWPPP is to provide guidelines for achieving that goal. A successful pollution prevention program also relies upon careful inspection and adjustments during the construction process in order to enhance its effectiveness.

This SWPPP must be implemented before construction begins on the site. It primarily addresses the impact of storm rainfall and runoff on areas of the ground surface disturbed during the construction process. In addition, there are recommendations for controlling other sources of pollution that could accompany the major construction activities. The SWPPP will terminate when disturbed areas are stabilized, permanent erosion and sedimentation controls are installed, temporary erosion and sedimentation controls are removed, construction activities covered herein have ceased, and a completed Notice of Termination (NOT) is transmitted to the governing agency.

Described below are the major construction activities that are subject of this SWPPP. Also included in the sequence are BMP installation activities that must take place prior to construction activities. NOTE: Down slope protective measures must always be in place before soil is disturbed. Activities are presented in the order (sequence) they are

All activities and time frames (beginning and ending dates) shall be noted on the Site Map. The sequence of

Upon implementation and installation of the following areas: trailers, parking, lay down, porta-poty, wheel wash, concrete washout, mason's area, fuel and material storage containers, solid waste containers, etc., Immediately denote them on the Site Maps and note any changes in location as they occur throughout the construction process. Typical Stage of Construction, items shall be added or deleted as needed for each individual project.

1. Install stabilized construction entrance and SWPPP Entrance Sign. 2. Install silt fence(s) on the site (clear only those areas necessary to install silt fence).

- 5. Prepare temporary parking and storage area. Install and stabilize hydraulic control structures (dikes, swales, check dams, etc.).
- 5. Begin grading the site.6. Start construction of building pad and structures.
- Temporarily seed, throughout construction, denuded areas that will be inactive for 14 days or more. Install utilities, underdrains, storm sewers, curbs and gutters.
- 3. Install inlet protection at all storm sewer structures as each inlet structure is installed. Permanently stabilize areas to be vegetated as they are brought to final grade. Prepare site for paving.
- Install appropriate inlet protection devises for paved areas as work progresses Complete grading and installation or permanent stabilization over all areas including outlots.
 Call Engineer after the site appears to be fully stabilized for inspection. . Remove all temporary erosion and sediment control devices after approval of the Engineer and stabilize any

NOTE: The Contractor may complete construction-related activities concurrently only if all preceding BMPs have been

The actual schedule for implementing pollutant control measures will be determined by project construction progress and recorded by the Contractor on the Soil Erosion/Sediment Control Operation Time Schedule on the Erosion and

2. Pave site.

Site construction activities consist of general site clearing construction of gravel access drive, building construction, gravel storage area, and wet bottom detention pond.

Sediment Control Plans. Down slope protective measures must always be in place before soil is disturbed.

- Total disturbed area on site = 22.79 acres
- 3. Estimated site runoff coefficient after construction activities are complete: CN=80.
- 4. Site map included indicating existing & proposed slopes across site is included in SWPPP. 5. Site drainage is received by Aux Sable Creek located west of the development.

5. STORM WATER POLLUTION PREVENTION MEASURES AND CONTROLS

A variety of storm water pollutant controls are recommended for this project. Some controls are intended for function temporarily and will be used as needed for pollutant control during the construction period. These include temporary sediment barriers and permanent storm retention ponds (which can also function as temporary sediment basins). Permanent stabilization will be accomplished in all disturbed areas by covering the soil with pavement. building foundation, vegetation, or other forms of soil stabilization.

A. EROSION AND SEDIMENT CONTROLS

The purpose of soil stabilization is to prevent soil from eroding and leaving the site. In the natural condition soil is stabilized by native vegetation. The primary technique to be used at this project for stabilizing site soils will be to provide a protective cover of grass, pavement, or building structure.

a) Temporary Seeding or Stabilization — All denuded areas that will be inactive for 14 days or more, must be stabilized temporarily with the use of fast—germinating annual grass/grain varieties, straw/hay mulch, wood cellulose

b) Permanent Seeding or Sodding - All areas at final grade must be seeded or sodded within 14 days after completion of work in any area. The entire site must have permanent vegetative cover established in all areas not covered by hardscape at the completion of all soil disturbing activities on site. Except for small level spots, seeded areas should generally be protected with mulch or a rolled erosion control product. All areas to be sealed will have topsoil and other soil amendments as specified on the Landscape Plan.

a) Silt Fence - Silt fence is a synthetic permeable woven or non-woven geotextile fabric incorporating metal support stakes at intervals sufficient to support the fence (5—feet maximum distance between posts), water, and sediment retained by the fence. The fence is designed to retain sediment—laden storm water and allow settlement of suspended soils before the storm water flows through the fabric and discharges off-site. Silt fence shall be located on the contour to capture overland, low—velocity sheet flows. The Contractor may utilize triangular silt dike and/or non—wire backed silt fence as intermediate BMPs. Install silt fence at a fairly level grade along the contour with the ends curved uphill to provide sufficient upstream storage volume for the anticipated runoff. Drainage areas shall not exceed $\frac{1}{2}$ acre per 100 feet of silt fence for slopes less than 2 percent.

b) Construction Exit - All access points from the public street into the construction site shall include a he rough texture of the stone helps to remove clumps of soil adhering to the construction vehicles tires through the action of vibration and jarring over the rough surface and the friction of the stone matrix against soils attached

In addition to the stone at the construction exit, it may be necessary to install devices such as pipes

cattle guard) to increase the vibration and jarring. It may also be necessary to install a wheel wash system. If this All site access must be confined to the Construction Exit(s). Barricade, sufficient to prevent use, any locations other than Construction Exit(s) where vehicles or equipment may access the site.

c) Storm Sewer Inlet Protection — Curb and grated inlets are protected from the intrusion of sediment hrough a variety of measures as shown on the details included in the Construction drawings. The primary mechanism is to place controls in the path of flow sufficient to slow the sediment—laden water to allow settlement of suspended soils before discharging into the storm sewer. It is possible that as construction progresses from storm sewer installation through paying that the inlet protection devices should change. All inlet protection devices create ponding of storm water. This should be taken into consideration when deciding on which device or devices

d) Inspection and any necessary cleaning of the underground storm system shall be included as part of this

TREE PROTECTION - FENCING

Final site stabilization is achieved when perennial vegetative cover provides permanent stabilization with a density greater than 70 percent over the entire area to be stabilized by vegetative cover. This is exclusive of areas paved,

B. OTHER POLLUTANT CONTROLS

Construction traffic must enter and exit the site at the stabilized construction exit. Water trucks or other dust control agents will be used as needed during construction to reduce dust generated on the site. Dust control must be provided by the Contractor to a degree that is in compliance with applicable Local and State dust control regulations.

No solid materials, including building materials, are allowed to be discharged from the site with storm water. All solid waste, including disposable materials incidental to the major construction activities, must be collected and placed in containers. The containers will be emptied as necessary by a contract trash disposal service and hauled away from the site. Covers for the containers will be provided as necessary to meet State and Local requirements. The location of solid

necessary in order to ensure that they do not discharge from the site. As an example, special care must be exercised during equipment fueling and servicing operations. If a spill occurs, it must be contained and disposed of so that it will not flow from the site or enter groundwater, even if this requires removal, treatment, and disposal of soil. In this regard, potentially polluting substances should be handled in a manner consistent with the impact they represent.

All personnel involved with construction activities must comply with State and Local sanitary or septic regulations.

Temporary sanitary facilities will be provided at the site throughout the construction phase. They must be utilized by all construction personnel and will be serviced by a commercial operator. The location of sanitary facilities shall be shown

4. Non-Storm Water Discharge Non-storm water components of site discharges are not permitted under ILR10 except as follows: discharges from fire fighting activities; fire hydrant flushings; water used to wash vehicles where detergents are not used; waters used to control dust; potable water sources including uncontaminated waterline flushings; irrigation drainage; routine external building washdown which does not use detergents; payement washdowns where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used; air conditioning condensate; springs, uncontaminated ground water; and foundation or footing drains where flows are not

5. Concrete Waste from Concrete Ready-Mix Trucks Discharge of excess or waste concrete and/or wash water from concrete trucks will be allowed on the construction site, but only in specifically designated diked areas prepared to prevent contact between the concrete and/or wash water and storm water that will be discharged from the site. Alternatively, waste concrete can be placed into forms to make rip rap or other useful concrete products. The cured residue from the concrete washout diked areas shall be disposed in accordance with applicable State and Federal regulations. The jobsite superintendent is responsible for assuring that these procedures are followed. The location of concrete washout areas shall be shown on the Site Maps.

Contractor shall identify mason's area on the site and indicate location on the Site Map. To the extent practical, all masonry tools, material, including sand and sacked cement or mortar materials, and equipment shall be located within the area identified. Runoff control, such as berms or diversion ditches, silt fence, straw wattles, or other means of containment shall be provided to prevent the migration of storm water pollutants in runoff from the mason's area. Receptacles for debris and trash disposal shall also be provided.

Temporary on-site fuel tanks for construction vehicles shall meet all State and Federal regulations. Tanks shall have approved spill containment with the capacity required by the applicable regulations. The tanks shall be in sound condition free of rust or other damage which might compromise containment. Fuel storage areas will meet all EPA, OSHA and other regulatory requirements for signage, fire extinguisher, etc. Hoses, valves, fittings, caps, filler nozzles and associated hardware shall be maintained in proper working condition at all times. The location of fuel tanks shall be

A Spill Prevention, Control and Countermeasure (SPCC) Plan must be developed if aboveground oil storage capacity at the construction site exceeds 1,320—gallons. Containers with storage capacity of 55—gallons or less are not included when calculating site storage capacity. The Contractor shall work with the Civil Engineering Consultant to develop and implement a SPCC Plan in accordance with the Oil Pollution Prevention regulation at Title 40 of the Code of Federal Regulations, Part 112, (40 CFR 112).

8. Hazardous Material Management and Spill Reporting Plan Any hazardous or potentially hazardous material that is bought onto the construction site will be handled properly in order to reduce the potential for storm water pollution. All materials used on this construction site will be proper stored, handled, dispensed and disposed of following all applicable label directions. Material Safety Data Sheets (MSDS) information will be kept on site for any and all applicable materials.

In the event of an accidental spill, immediate action will be undertaken by the Contractor to contain and remove the spilled material. All hazardous materials will be disposed of by the Contractor in the manner specified by Federal, State and Local regulations and by the manufacturer of such products. As soon as possible, the spill will be reported to the appropriate agencies. As required under the provisions of the Clean Water Act, any spill or discharge entering waters of the United States will be properly reported. The Contractor will prepare a written record of any spill of petroleum products or hazardous materials in excess of reportable quantities and will provide notice to Owner within 24-hours of

Any spills of petroleum products or hazardous materials in excess of Reportable Quantities as defined by EPA shall be immediately reported to the EPA National Response Center (1-800-424-8802). In addition, 35 III. Adm. Code 750.410 requires notification of IEMA (1-800-782-7860). Reportable chemical spill quantities are those listed for hazardous substances under Superfund, or as extremely hazardous substances under the Superfund Reauthorization and Amendments Act of 1986 (SARA), the emergency planning statute which also establishes threshold planning quantities (29 III. Admin. Code 430.30). Oil spills are reportable if they must be reported under the Federal Water Pollution Control Act. This generally includes spills that are in excess of 25 gallons and or "may be harmful to the public health or welfare" (40 CFR 110). Harmful discharges include those that (1) violate applicable water quality standards, or (2) leave a film on the water or adjoining shorelands or cause a sludge or emulsion to be deposited beneath the water's surface or on adjoining shorelands. The reportable quality for hazardous materials can be found in 40 CFR 302 or by contacting

In order to minimize the potential for a spill of petroleum product or hazardous materials to come in contact with storm water, the following steps will be implemented: a) All materials with hazardous properties (such as pesticides, petroleum products, fertilizers, detergents, onstruction chemicals, acids, paints, paint solvents, additives for soil stabilization, concrete, curing compounds and

additives, etc.) will be stored in a secure location, under cover, when not in use. b) The minimum practical quantity of all such materials will be kept on the job site and scheduled for delivery c)A spill control and containment kit (containing for example, absorbent material such as kitty litter or sawdust,

acid neutralizing agent, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be d) All of the products in a container will be used before the container is disposed of. All such containers will be triple rinsed, with water prior to disposal. The rinse water used in these containers will be disposed of in a manner in

compliance with State and Federal regulations and will not be allowed to mix with storm water discharges. e) All products will be stored in and used from the original container with the original product label.

 f) All products will be used in strict compliance with instructions on the product label. g) The disposal of excess or used products will be in strict compliance with instructions on the product label.

Storm water pollutant control measures installed during construction, that will also provide storm water management benefits after construction, include turf areas in sufficient quantity so as to provide a site impervious ratio

INLET PROTECTION - PAVED AREAS

DROP-IN PROTECTION

C. CONSTRUCTION PHASE "BEST MANAGEMENT PRACTICES" (BMPs) During the construction phase, the Contractor shall implement the following measures:

I. Materials resulting from the clearing and grubbing or excavation operations shall be stockpiled up slope from adequate sedimentation controls. Materials removed to an off-site location shall be protected with appropriate controls

This section includes the controls of pollutants other than sediment and additional requirements of the General Permit. 2. The Contractor shall designate areas on the Site Map for equipment cleaning, maintenance, and repair. The Contractor and sub-contractors shall utilize such designated areas. Cleaning, maintenance, and repair areas shall be protected by a temporary perimeter berm, shall not occur within 150 feet of any waterway, water body or wetland, and

3. Use of detergents for large scale washing is prohibited (i.e. vehicles, buildings, pavement, surfaces, etc.).

4. Chemicals, paints, solvents, fertilizers, and other toxic materials must be stored in waterproof containers. Except during application, the containers, the contents must be kept in trucks or within storage facilities. Runoff containing such material must be collected, removed from the site, treated, and disposed of at an approved solid waste and chemical disposal facility. D. OFF-SITE FACILITIES IN THE OPERATIONAL CONTROL OF THE CONTRACTOR

Whenever dirt, rock, or other materials are imported to the construction site or exported for placement in areas off Substances that have the potential for polluting surface and/or groundwater must be controlled by whatever means of the primary construction site, the Contractor is responsible for determining that all storm water permitting and taken. Prior to the disturbance of any such site, Contractor will confirm that the operators of the site they are importing to or exporting from have properly obtained all required permits, and will comply with all laws, regulations

> At a minimum, each off-site area that provides or receives material or is disturbed by project activities must implement erosion and sediment control measures consisting of perimeter controls on all down slope and side slope boundaries and must also provide for both temporary stabilization and for permanent re-vegetation after all disturbances

In addition to this SWPPP, construction activities associated with this project must comply with any guidelines set forth by Local regulatory agencies. The Contractor shall maintain documents evidencing such compliance in this SWPPF

5. INSPECTIONS AND SYSTEM MAINTENANCE

Between the time this SWPPP is implemented and final Notice of Termination has been submitted, all disturbed areas and pollutant controls must be inspected weekly and within 24 hours of the end of a storm event 0.5 inches or equivalent snowfall. The purpose of site inspections is to assess performance of pollutant controls. The inspections will be conducted by the Contractor's Site Superintendent. Based on these inspections, the Contractor will decide whether it is necessary to modify this SWPPP, add or relocate controls, or revise or implement additional Best Management Practices in order to prevent pollutants from leaving the site via storm water runoff. The Contractor has the duty to cause pollutant control measures to be repaired, modified, supplemented, or take additional steps as necessary in order

Examples of specific items to evaluate during site inspections are listed below. This list is not intended to be comprehensive. During each inspection, the inspector must evaluate overall pollutant control system performance as well as particular details of individual system components. Additional factors should be considered as appropriate to the

Locations where vehicles enter and exit the site must be inspected for evidence of off-site sediment tracking. A stabilized construction exit shall be constructed where vehicles enter and exit. Exits shall be maintained or supplemented with additional rock as necessary to prevent the release of sediment from vehicles leaving the site. Any sediment deposited on the roadway shall be swept as necessary throughout the day or at the end of everyday and disposed of

in an appropriate manner. Sediment shall NOT be washed into storm sewer systems. B. SEDIMENT CONTROL DEVICES Sediment barriers, traps and basins must be inspected and they must be cleaned out at such time as their original capacity has been reduced by 50 percent. All material excavated from behind sediment barriers or in traps and basins

shall be incorporated into on-site soils or spread out on an upland portion of the site and stabilized. Additional

Inspections shall evaluate disturbed areas and areas used for storing materials that are exposed to rainfall for

evidence of, or the potential for, pollutants entering the drainage system or discharging from the site. If necessary, the materials must be covered or original covers must be repaired or supplemented. Also, protective berms must be constructed, if needed, in order to contain runoff from material storage areas. All State and Local regulations pertaining to material storage areas will be adhered to.

Grassed areas shall be inspected to confirm that a healthy stand of grass is maintained. The site has achieved final tabilization once all areas are covered with building foundation or pavement, or have a stand of grass with a minimum of 70 percent density or greater over the entire vegetated area in accordance with the General Permit requirements. The vegetative density must be maintained to be considered stabilized. Area must be watered, fertilized, and

All discharge points must be inspected to determine whether erosion and sediment control measures are effective in preventing discharge of sediment from the site or impacts to receiving waters.

The Inspection Report Form must identify all deficiencies, any corrections, whether they are identified during the current inspection or have occurred since the previous inspection, and any additional comments. Based on inspection results, modification necessary to increase effectiveness of this SWPPP to an acceptable level must be made immediately but no longer than within 48 hours of inspection. The inspections reports must be complete and additional information should be included if needed to fully describe a situation. An important aspect of the inspection report is the description of additional measures that need to be taken to enhance plan effectiveness. The inspection report must identify whether the site was in compliance with the SWPPP at the time of inspection and specifically identify all incidents of

The Inspection Report Form must summarize the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of this SWPPP, and actions taken in accordance with section 4.b shall be made and retained as part of the plan for at least six years after the date of the inspection. The report shall be signed in accordance with Part VI.G of the General Permit.

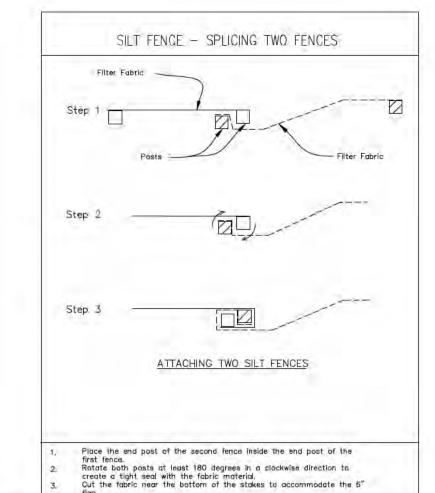
If any violation of the provisions of this plan is identified during the conduct of the construction work covered by this identified violation. The Contractor's Compliance Officer shall us forms provided by the IEPA and shall include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted in noncompliance. All reports of noncompliance shall be signed by a responsible authority in accordance with part VI.G of the General Permit. The report

Ilinois Environmental Protection Agency Division of Water Pollution Control Attn: Compliance Assurance Section 1021 North Grand East

Springfield, IL 62794-9276

Ultimately, it is the responsibility of the General Contractor to assure the adequacy of site pollutant discharge controls Actual physical site conditions or Contractor practices could make it necessary to install more structural controls than are shown on the plans. For example, Localized concentrations of runoff could make it necessary to install additional sediment barriers. Assessing the need for additional controls and implementing them or adjusting existing controls will be a continuing aspect of this SWPPP until the site achieves final stabilization. Any modifications, additions or deletions of sediment control devices must be approved by the Engineer through written communications.

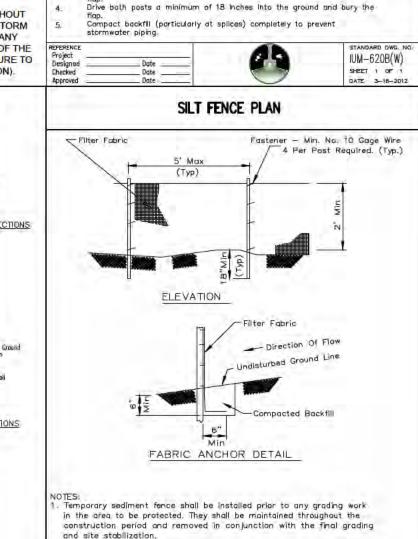
STABILIZED CONSTRUCTION ENTRANCE PLAN



CONCRETE WASH-OUT NOTE:
CONCRETE WASHOUT SHOULD BE CONTAINED AT ALL TIMES. WASHOUT MATERIAL SHOULD NOT BE ALLOWED TO ENTER WATER BODIES STORM SEWERS OR LEACH INTO THE SOIL UNDER ANY CIRCUMSTANCES, ANY WASTE SHOULD BE DISPOSED OF PROPERLY AND THE LOCATION OF THE WASHOUT SHOULD BE DESIGNATED WITH PROPER SIGNAGE. FAILURE TO COMPLY COULD RESULT IN AN INCIDENCE OF NONCOMPLIANCE (ION).

10' Min

0000000



(Optional) EARTHEN BERM ANCHOR SECTIONS WITH LIFT HANDLES 6" WRE STAPLE OR SANDBA BAG/FLIER Must Extend Full Width Of Ingress And Egress Operation. To Sediment PLAN VIEW SECTION A-A 6" Wre Stople or Sandbag-Cut Nativa Sail CONCRETE WASHOUT AREA SUBGRADE ANCHOR SECTIONS Existing Ground 4"x4"x6" Wood Post o SIDE ELEVATION 1 Filter fabric shall meet the requirements of material specification POST AND FENCE DETAIL 592 GEOTEXTILE, Table I or 2, Class I, II or IV and shall be placed over the cleared area prior to the placing of rock. SECTION B-B 2.Rock or reclaimed concrete shall meet one of the following IDOT coarse 1 .The fence shall be located a minimum of 1 foot outside the drip line and site stabilization. Maintaining temporary concrete washout facilities shall include removing and disposing of hardend concrete and/or skurry and returning the facilities to a functional condition. aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according of the tree to be saved and in no case claser than 5 feet to the . Filter fabric shall meet the requirements of material specification to construction specification 25 ROCKFILL using placement Method 1 592 Geotextile Table 1 or 2. Class with equivalent opening size of and Class III compaction. 3.Any drainage facilities required because of washing shall be at least 30 for nonwoven and 40 for woven. 2. Fence posts shall be either standard steel posts or wood posts with a minumum pross sectional area of 3.0 sq. in.

3. The fence may be either 40" high snow fence, 40" plastic web fencing Fence posts shall be either standard steel post or wood post with a minimum cross—sectional area of 3.0 sq. in... constructed according to manufacturers specifications If wash racks are used they shall be installed according to the

STABILIZED CONSTRUCTION ENTRANCE PLAN



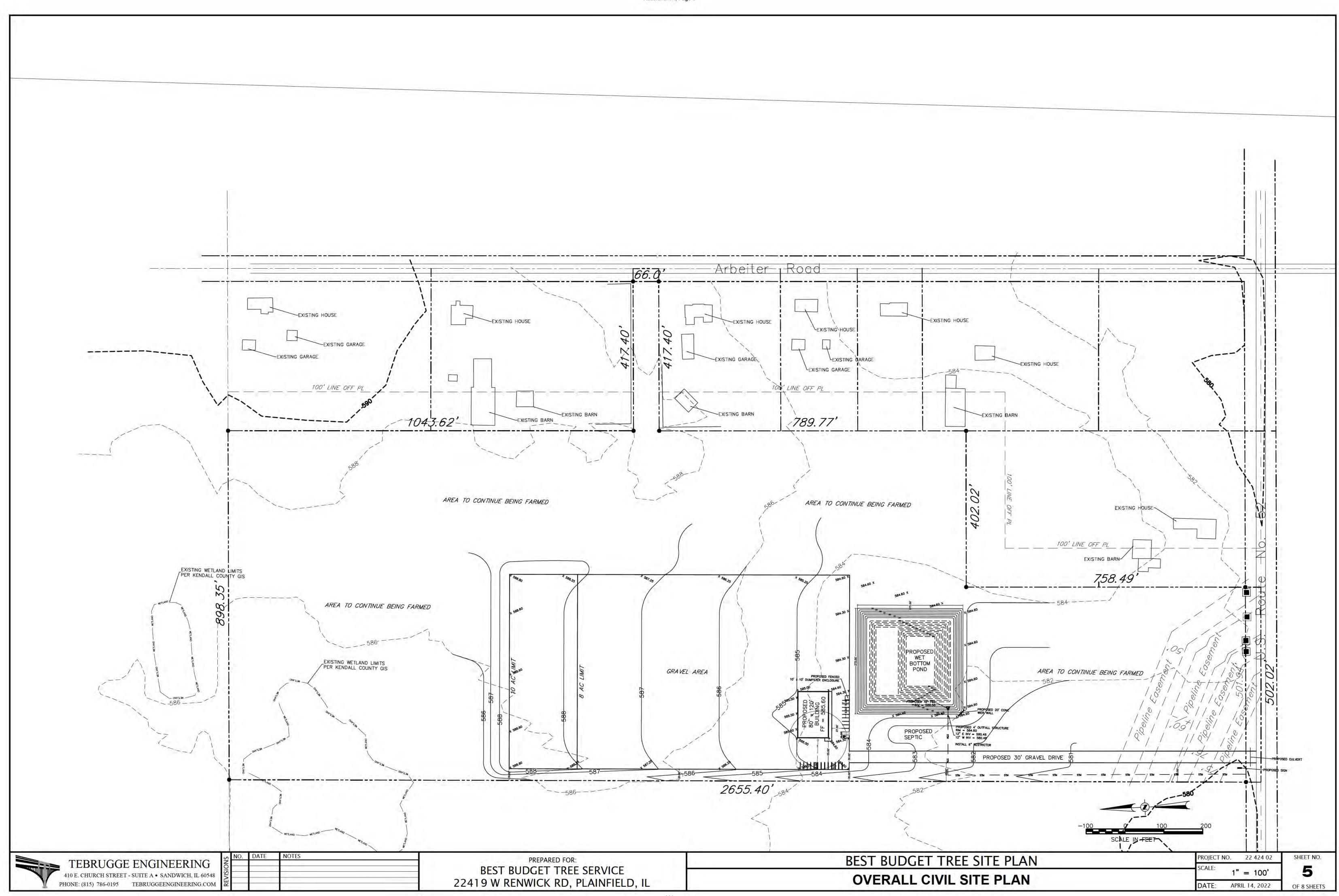
TEBRUGGE ENGINEERING 410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548 PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

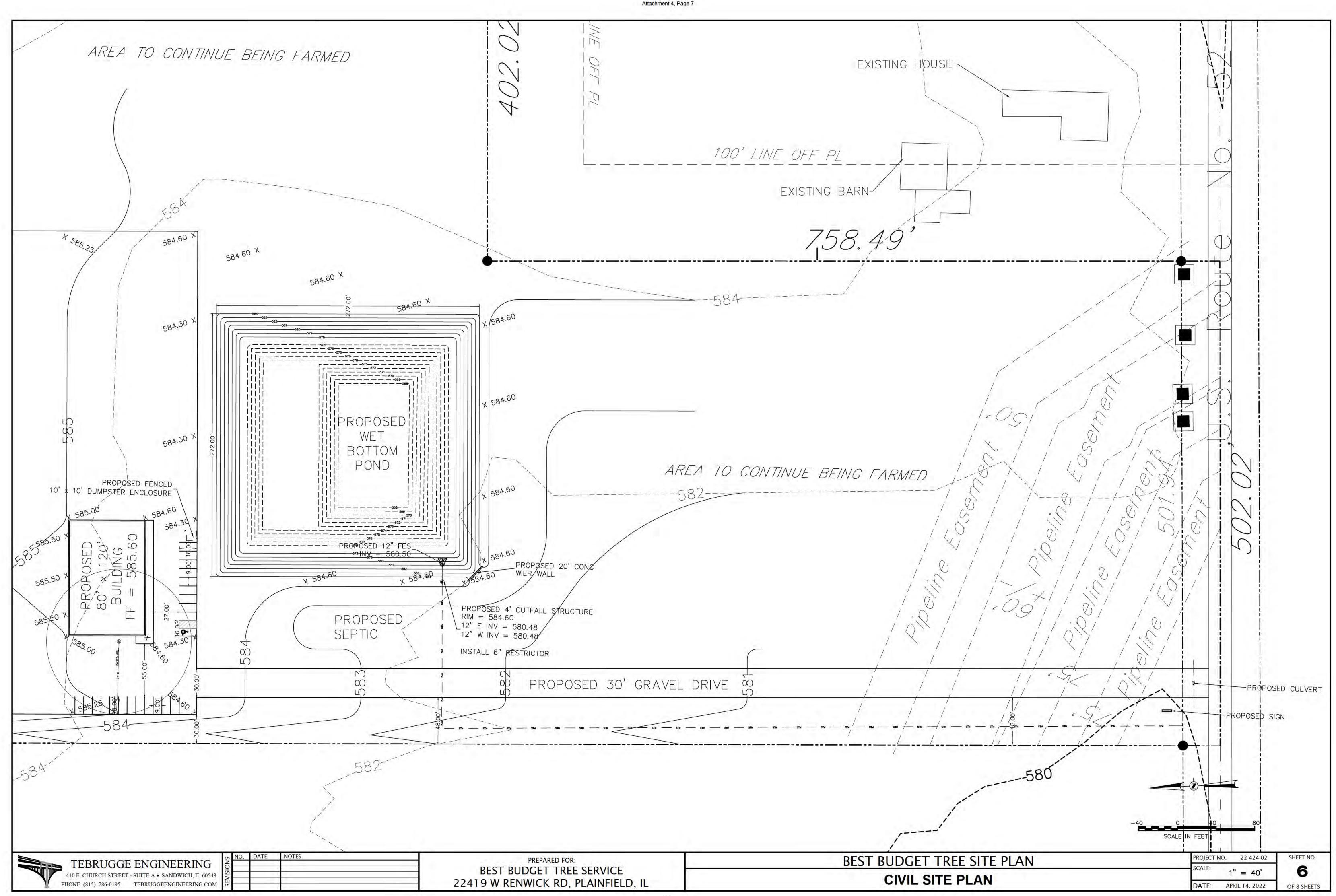
PREPARED FOR: BEST BUDGET TREE SERVICE 22419 W RENWICK RD, PLAINFIELD, IL

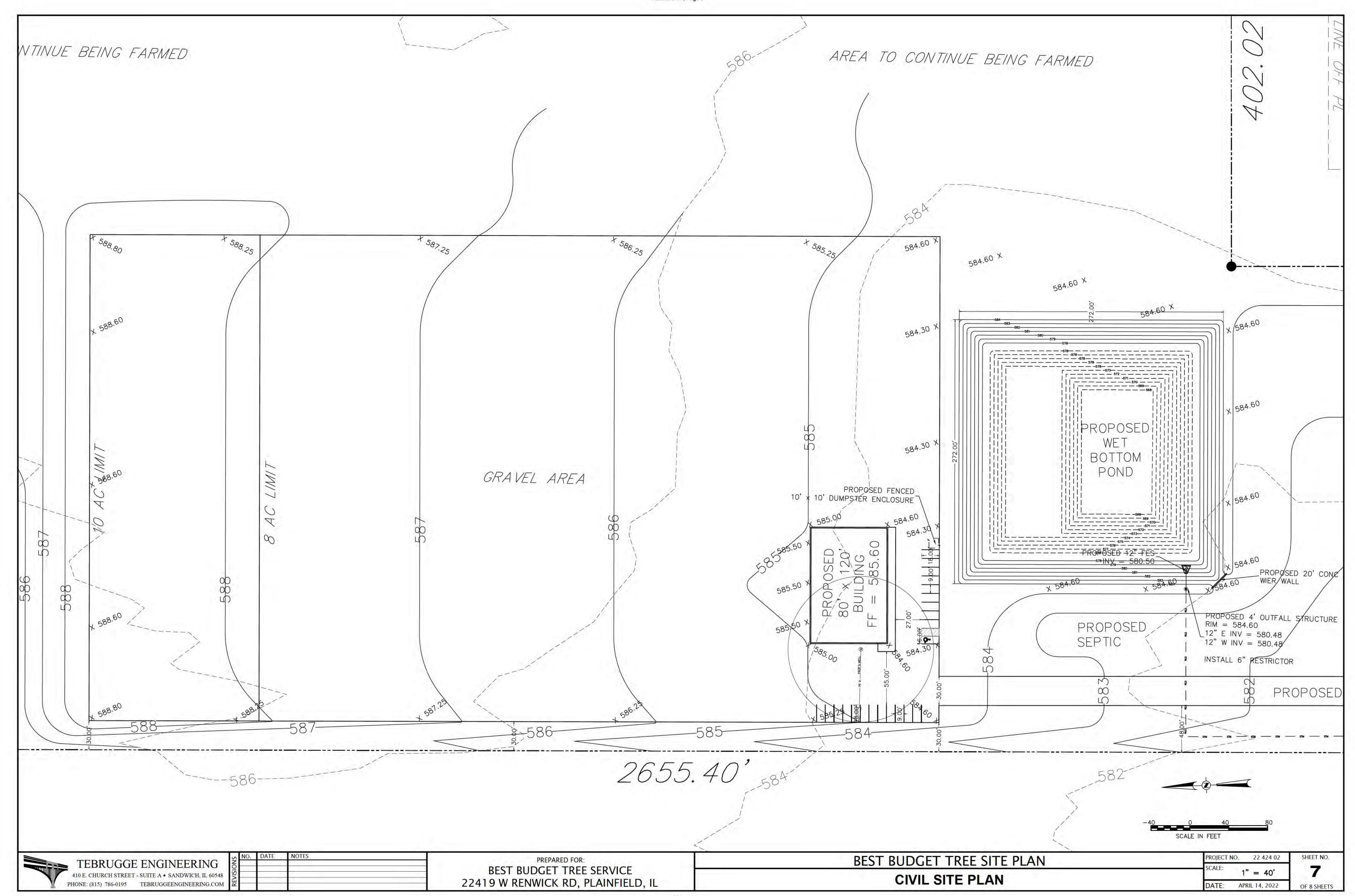
BEST BUDGET TREE SITE PLAN STORM WATER POLLUTION PREVENTION PLAN

22 424 02 APRIL 14, 2022

SHEET NO. OF 8 SHEETS







. ALL EARTHWORK, ROADWAY WORK, DRAINAGE WORK OR STORM SEWER WORK SHALL BE PERFORMED UTILIZING MATERIALS AND METHODS IN STRICT ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.

2. ALL SANITARY SEWER AND WATER MAIN WORK SHALL BE PERFORMED USING METHODS AND MATERIALS IN STRICT ACCORDANCE WITH THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.

3. ANY SPECIFICATIONS WHICH ARE SUPPLIED ALONG WITH THE PLANS SHALL TAKE PRECEDENCE IN THE CASE OF A CONFLICT WITH THE STANDARD SPECIFICATIONS NOTED IN ITEMS NO. 1 AND 2 ABOVE. THE ABOVE STANDARD SPECIFICATIONS & THE CONSTRUCTION PLANS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED A PART OF THE CONTRACT.

4. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

5. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE GOVERNING MUNICIPALITY, OTHER APPLICABLE GOVERNMENTAL AGENCIES, AND THE OWNER.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. HE SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING. SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS, ALONG WITH ADEQUATE TRAFFIC CONTROL MEASURES. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.

7. THE UTILITY LOCATIONS, AND THE DEPTHS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY, AND SHALL BE VERIFIED BY THE CONTRACTOR WITH ALL AFFECTED UTILITY COMPANIES PRIOR TO INITIATING CONSTRUCTION OPERATIONS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE ADEQUACY, SUFFICIENCY OR EXACTNESS OF THESE UTILITY REPRESENTATIONS.

8. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE OFFICE OF J.U.L.I.E. AT 1-800-892-0123 FOR EXACT FIELD LOCATION OF ALL UNDERGROUND UTILITIES IN THE PROXIMITY OF, AND ON, THE PROJECT SITE; IF THERE ARE ANY UTILITIES WHICH ARE NOT MEMBERS OF THE J.U.L.I.E. SYSTEM, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THIS AND MAKE ARRANGEMENTS TO HAVE THESE UTILITIES FIELD LOCATED.

9. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR RELOCATING THESE FACILITIES AT HIS EXPENSE TO ACCOMMODATE THE NEW CONSTRUCTION.

10. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINA LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ONSITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

11. IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THIS SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE

12. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OF FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

13. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND FEDERAL SAFETY REGULATIONS AS OUTLINED IN THE LATEST REVISIONS OF THE FEDERAL CONSTRUCTION SAFETY STANDARDS (SERIES 1926) AND WITH APPLICABLE PROVISIONS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS OF THE WILLIAMS STELGER OCCUPATIONAL HEALTH STATE SAFETY ACT OF 1970(REVISED). THE CONTRACTOR, ENGINEERS, AND OWNER SHALL EACH BE RESPONSIBLE FOR HIS OWN RESPECTIVE AGENTS AND EMPLOYEES.

14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND ALL GOVERNING AUTHORITIES, THEIR AGENTS SUCCESSORS AND ASSIGNS FROM ANY AND ALL LIABILITY WITH RESPECT TO THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK REQUIRED ON THIS PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THE WORK OF THIS CONTRACT IN A MANNER WHICH STRICTLY COMPLIES WITH ANY AND ALL PERTINENT LOCAL, STATE OR NATIONAL CONSTRUCTION AND SAFETY CODES; THE ENGINEER, OWNER, AND GOVERNING AUTHORITIES ARE NOT RESPONSIBLE FOR ENSURING COMPLIANCE BY THE CONTRACTOR WITH SAID CODES AND ASSUME NO LIABILITY FOR ACCIDENTS, INJURIES, OR DEATHS, OR CLAIMS RELATING THERETO WHICH MAY RESULT FROM LACK OF ADHERENCE TO SAID CODES.

UNDERGROUND UTILITIES

 ALL UTILITY TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PROPOSED OR EXISTING PAVEMENT. DRIVEWAYS, SIDEWALKS AND FOR A DISTANCE OF TWO FEET ON EITHER SIDE OF SAME, AND/OR WHEREVER ELSE SHOWN ON THE CONSTRUCTION PLANS SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-6 OR CA-7) AND THOROUGHLY COMPACTED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.

2. UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CULVERT PIPE OF THE CLASS AS INDICATED ON THE PLANS, AND CONFORMING TO ASTM C-76. JOINTS SHALL TYPICALLY BE A "TROWEL APPLIED" BITUMINOUS MASTIC COMPOUND IN ACCORDANCE WITH ASTM C-76 (OR C-14 AS MAY BE APPLICABLE OR RUBBER "O"-RING GASKET JOINTS CONFORMING TO ASTM C-443). LOCATIONS WHERE THE STORM SEWER CROSSES WATERMAINS AN "O"-RING JOINT IN ACCORDANCE WITH ASTM C-361 SHALL BE USED.

3. STORM SEWER MANHOLES SHALL BE PRECAST STRUCTURES, WITH THE DIAMETER DEPENDENT ON THE PIPE SIZE AND WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION STANDARDS). LIDS SHALL BE IMPRINTED "STORM SEWER". ALL FLARED END SECTIONS SHALL HAVE A FRAME & GRATE INSTALLED.

4. THESE FRAME AND GRATES FOR STORM STRUCTURES SHALL BE USED UNLESS OTHERWISE INDICATED ON THE PLAN SET. USE NEENAH R-1712 OPEN LID (OR EQUAL) IN PAVEMENT AREAS, USE NEENAH R-1772-B OPEN OR CLOSED LID (OR EQUAL) IN GRASS AREAS, USE NEENAH R-3015 (OR EQUAL) FOR B6.12 CURB AREAS, AND NEENAH R-3509 (OR EQUAL) FOR DEPRESSED CURB AREAS.

5. STRUCTURES FOR SANITARY AND STORM SEWERS AND VALVE VAULTS FOR WATER SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.

6. ALL STORM SEWERS AND WATERMAINS SHALL HAVE COMPACTED CA-7 GRANULAR BEDDING, A MINIMUM OF 4" BELOW THE BOTTOM OF THE PIPE FOR THE FULL LENGTH. BEDDING SHALL EXTEND TO THE SPRING LINE OF THE

PIPE. COST FOR THE BEDDING SHALL BE INCLUDED WITH THE UNIT PRICE BID FOR THE PIPE. 7. THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION FOR THE INSTALLATION OF THE SEWER OR WATER SYSTEMS. ANY DEWATERING ENCOUNTERED SHALL BE INCIDENTAL TO THE

8. ALL STRUCTURES SHALL HAVE A MAXIMUM OF 8" OF ADJUSTING RINGS, UNLESS OTHERWISE NOTED.

9. ALL TOP FRAMES FOR STORM AND VALVE VAULT COVERS AND B-BOXES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE UPON COMPLETION OF FINISHED GRADING AND FINAL INSPECTIONS. THIS ADJUSTMENT IS TO BE MADE BY THE UNDERGROUND CONTRACTOR AND THE COST IS TO BE INCIDENTAL. THE UNDERGROUND CONTRACTOR SHALL INSURE THAT ALL ROAD AND PAVEMENT INLETS OR STRUCTURES ARE AT FINISHED GRADE. ANY ADJUSTMENTS NECESSITATED BY THE CURB OR PAVING CONTRACTOR TO ACHIEVE FINAL RIM GRADE, RESULTING IN AN EXTRA FOR SAID ADJUSTMENTS, WILL BE CHARGED TO THE UNDERGROUND CONTRACTOR.

10. ALL FLOOR DRAINS AND FLOOR DRAIN SUMP PUMPS SHALL DISCHARGE INTO THE SANITARY SEWER.

11. ALL DOWNSPOUTS, FOOTING DRAINS AND SUBSURFACE STORM WATERS SHALL DISCHARGE INTO THE STORM SEWER OR ONTO THE GROUND AND BE DIRECTED TOWARDS A STORM SEWER STRUCTURE.

12. ANY ANTICIPATED COST OF SHEETING SHALL BE REFLECTED IN THE CONTRACT AMOUNTS. NO ADDITIONAL COST WILL BE ALLOWED FOR SHEETING OR BRACING.

13. THE CONTRACTOR SHALL INSTALL A 2"x4"x8' POST ADJACENT TO THE TERMINUS OF THE SANITARY SERVICE WATERMAIN SERVICE, SANITARY MANHOLES, STORM STRUCTURES, AND WATER VAULTS. THE POST SHALL EXTEND A MINIMUM OF 4 FT. ABOVE THE GROUND. SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY-GREEN,

14. IT SHALL BE THE RESPONSIBILITY OF THE UNDERGROUND CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO

1. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE I.D.O.T. SPECIFICATIONS. 2. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS AND SURVEY MONUMENTS AND SHALL RESTORE ANY

WHICH ARE DISTURBED BY HIS OPERATIONS AT NO ADDITIONAL COST TO THE CONTRACT. 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN

4. PRIOR TO ONSET OF MASS GRADING OPERATIONS THE EARTHWORK CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL EROSION CONTROL SPECIFICATIONS. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT FENCING, ETC. TO PROTECT ADJACENT PROPERTY SHALL OCCUR BEFORE MASS GRADING BEGINS, AND IN ACCORDANCE WITH THE SOIL EROSION CONTROL CONSTRUCTION

5. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE

6. THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.

7. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED.

8. THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"); IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT A GREATER THICKNESS, THEN A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER

SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.

9. EMBANKMENT MATERIAL WITHIN ROADWAY, PARKING LOT, AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED

10. EMBANKMENT MATERIAL (RANDOM FILL) WITHIN NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-157 (MODIFIED PROCTOR METHOD).

11. THE SUB GRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR AND ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY

12. SOIL BORING REPORTS, IF AVAILABLE, ARE SOLELY FOR THE INFORMATION AND GUIDANCE OF THE CONTRACTORS. THE OWNER AND ENGINEER MAKE NO REPRESENTATION OR WARRANTY REGARDING THE INFORMATION CONTAINED IN THE BORING LOGS. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATIONS AND SHALL PLAN HIS WORK ACCORDINGLY. ARRANGEMENTS TO ENTER THE PROPERTY DURING THE BIDDING PHASE MAY BE MADE UPON REQUEST OF THE OWNER. THERE WILL BE NO ADDITIONAL PAYMENT FOR EXPENSES INCURRED BY THE CONTRACTOR RESULTING FROM ADVERSE SOIL OR GROUND WATER CONDITIONS.

13. IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE

PAVING & WALKS

1. WORK UNDER THIS SECTION SHALL INCLUDE FINAL SUBGRADE SHAPING AND PREPARATION: FORMING, JOINTING, PLACEMENT OF ROADWAY AND PAVEMENT BASE COURSE MATERIALS AND SUBSEQUENT BINDER AND/OR SURFACE COURSES; PLACEMENT, FINISHING AND CURING OF CONCRETE; FINAL CLEAN-UP; AND ALL RELATED

2. ALL PAVING AND SIDEWALK WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS (I.D.O.T.) AND PER LOCAL REGULATIONS.

SUBGRADE FOR PROPOSED PAVEMENT SHALL BE FINISHED BY THE EXCAVATION CONTRACTOR TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF THE PLAN ELEVATION. THE PAVING CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE PAVING CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE. PRIOR TO PLACEMENT OF PAVEMENT BASE MATERIALS, THE PAVING CONTRACTOR SHALL FINE GRADE THE SUBGRADE SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.

4. THE PROPOSED PAVEMENT SHALL CONSIST OF THE SUB-BASE COURSE, BITUMINOUS AGGREGATE BASE COURSE, BITUMINOUS BINDER COURSE, AND BITUMINOUS SURFACE COURSE, OF THE THICKNESS AND MATERIALS AS SPECIFIED ON THE CONSTRUCTION PLANS, PRIME COAT SHALL BE APPLIED TO THE SUB-BASE COURSE AT A RATE OF 0.5 GALLONS PER SQUARE YARD. UNLESS SHOWN AS A BID ITEM, PRIME COAT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT. ALL PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," CURRENT EDITION.

5. AFTER THE INSTALLATION OF THE BASE COURSE, ALL TRAFFIC SHALL BE KEPT OFF THE BASE UNTIL THE BINDER COURSE IS LAID. AFTER INSTALLATION OF THE BINDER COURSE AND UPON INSPECTION AND APPROVAL BY GOVERNING AUTHORITY. THE PAVEMENT SHALL BE CLEANED, PRIMED AND THE SURFACE COURSE LAID. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB AND GUTTER SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE PAVING CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER IS NECESSARY, INCLUDING THE USE OF POWER BROOMS TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. EQUIPMENT AND MANPOWER TO CLEAN PAVEMENT SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE CONTRACT. PRIME COAT ON THE BINDER COARSE SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT AND SHALL BE APPLIED TO THE BINDER AT A RATE OF 0.5 GALLONS PER SQUARE YARD.

6. CURING AND PROTECTION OF ALL EXPOSED CONCRETE SURFACES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.

7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. ALL SIDEWALK CONCRETE SHALL DEVELOP A MINIMUM OF 3,500-PSI COMPRESSIVE STRENGTH AT 28 DAYS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS, AND 3/4" PRE-MOLDED FIBER EXPANSION JOINTS SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR ANOTHER SIDEWALK, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSTRUCTED OVER UTILITY TRENCHES SHALL BE REINFORCED WITH THREE NO. 5 REINFORCING BARS (10' MINIMUM LENGTH). ALL SIDEWALKS CROSSING DRIVEWAYS SHALL BE A MINIMUM OF 6" THICK AND REINFORCED WITH 6X6 #6 WELDED WIRE MESH. ALL SIDEWALKS SHALL BE BROOM FINISHED. IF A MANHOLE FRAME FALLS WITHIN THE LIMITS OF A SIDEWALK, A BOX-OUT SECTION SHALL BE PLACED AROUND THE MANHOLE FRAME WITH A 3/4" EXPANSION JOINT.

8. BACKFILLING ALONG PAVEMENT SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR. 9. IT SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIAL AND DEBRIS, WHICH RESULTS FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO

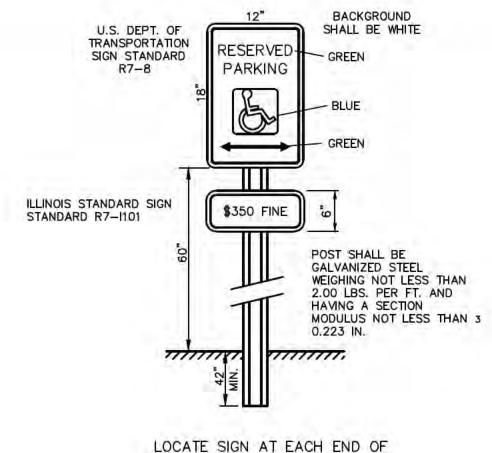
10. TESTING OF THE SUB-BASE, BASE COURSE, BINDER COURSE, SURFACE COURSE AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" CURRENT EDITION, AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE GOVERNING MUNICIPALITY. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED BY THE OWNER TO PERFORM THE REQUIRED

11. PAINTED PAVEMENT MARKINGS AND SYMBOLS, OF THE TYPE AND COLOR AS NOTED ON THE CONSTRUCTION PLANS, SHALL BE INSTALLED IN ACCORDANCE WITH SECTION T-502 OF SAME SPECIFICATIONS.

12. PAINTED PAVEMENT MARKINGS AND SYMBOLS SHALL BE INSTALLED ONLY WHEN THE AMBIENT AIR TEMPERATURE IS 40 DEGREES FAHRENHEIT AND THE FORECAST CALL FOR RISING TEMPERATURES.

13. ALL EXISTING CURB AND PAVEMENT SHALL BE PROTECT DURING CONSTRUCTION. ANY DAMAGE TO THE CURB OR PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.

14. ANY SIDEWALK THAT IS DAMAGED OR NOT ADA COMPLIANT, INCLUDING SIDEWALK RAMPS, MUST BE REPLACED PRIOR TO FINAL INSPECTION APPROVAL.



HANDICAP PARKING AREA, 2 FT. FROM EDGE OF PAVEMENT

2-YEAR

9" CENTERS INTO MIN. 3" INTO PRECAST WALL BOTH SIDES

\$@

FLOW /

FLDW

1. RESTRICTOR ORIFICES SHALL BE CAST INTO THE CONCRETE WEIR WALL

WATERTIGHT CONNECTIONS REQUIRED BETWEEN STRUCTURE AND PIPE AND STRUCTURE WALLS/BASE AND WEIR WALL CONFORMING TO ASTM C-923

3. COATED CAST IRON MANHOLE STEPS SHALL BE PROVIDED IN EACH CHAMBER

4. EXTERIOR JOINTS SHALL BE WRAPPED WITH MACWRAP OR APPROVED EQUAL

580.48

UPSTREAM INVERT ELEV

2-YEAR ORIFICE SIZE (IN) 2-YEAR DRIFICE ELEV

100-YEAR DRIFICE SIZE (IN)

100-YEAR ORIFICE ELEV

TOP OF WEIR ELEV

STRUCTURE RIM ELEY

DOWNSTREAM INVERT ELEV

LIPSTREAM PIPE DIAMETER (IN)

DOWNSTREAM PIPE DIAMETER IINI

a a G FLOW

HANDICAP PARKING SIGN

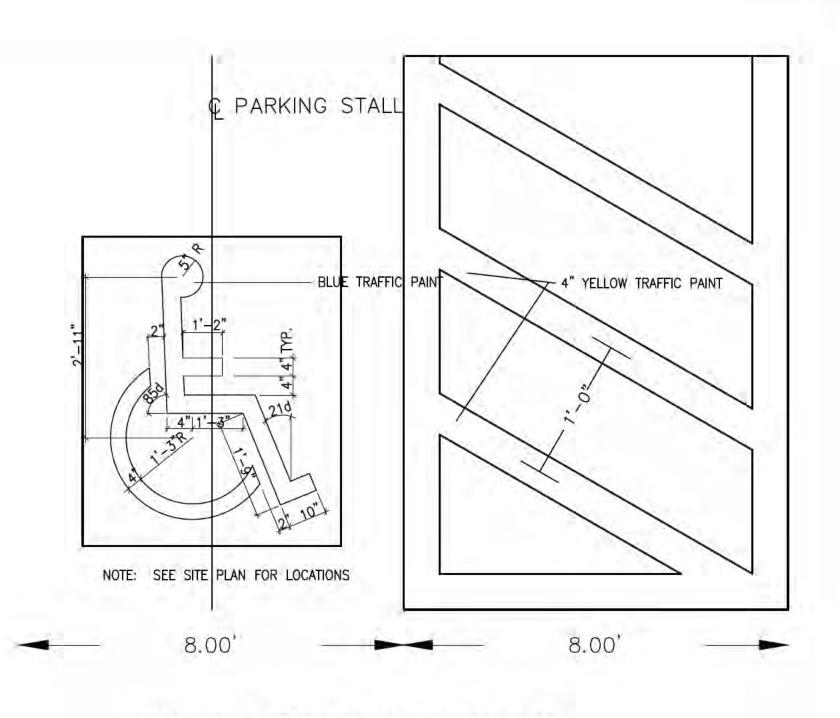
STM-9

-6 e 9" EACH WAY

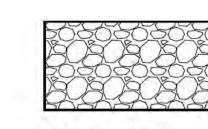
SIDE VIEW

- MANHOLE STEPS (SEE NOTE 3)

FLOW

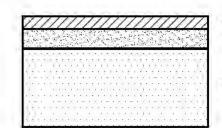


HANDICAPPED PARKING DETAIL



12" AGGREGATE COURSE, CA-6 CRUSHED LIMESTONE OR ASPHALT GRINDINGS

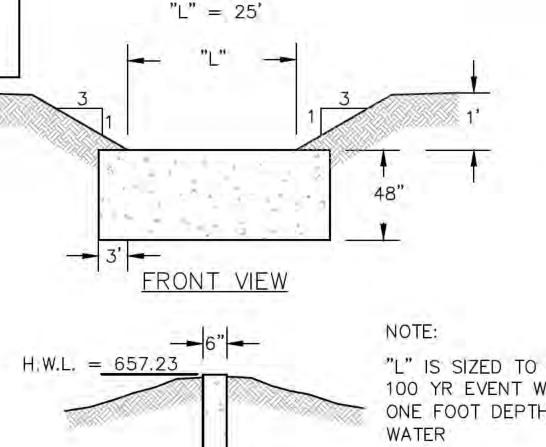
GRAVEL STORAGE LOT DETAIL



1 1/2" HMA IL-9.5, N-50 SURFACE COURSE 2 1/2" HMA IL-19, N-50 BINDER COURSE

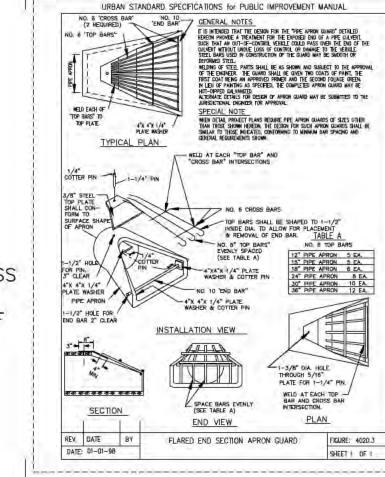
10" AGGREGATE COURSE, TYPE A, CA-6

TYPICAL PAVEMENT DETAIL



"L" IS SIZED TO PASS 100 YR EVENT WITH ONE FOOT DEPTH OF

CONCRETE OVERFLOW DETAIL N.T.S.



PROJECT NO.

SHEET NO.

OF 8 SHEETS

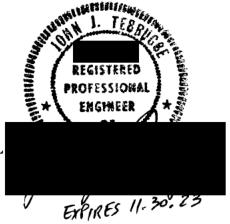
BEST BUDGET TREE SITE PLAN 22 424 02 **GENERAL NOTES & DETAILS** APRIL 14, 2022

TEBRUGGE ENGINEERING 410 E. CHURCH STREET - SUITE Å • SANDWICH, IL 60548 PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

PREPARED FOR: BEST BUDGET TREE SERVICE 22419 W RENWICK RD, PLAINFIELD, IL

STORMWATER MANAGEMENT DETENTION DESIGN COMPUTATIONS FOR BEST BUDGET TREE SERVICE LOCATED AT 2195 US HIGHWAY 52 IN MINOOKA, IL BY

TEBRUGGE ENGINEERING 410 E. CHURCH ST. SUITE A SANDWICH, IL



BEST BUDGET TREE SERVICE IS PROPOSING TO RELOCATE THEIR TREE SERVICE BUSINEES TO A 48 ACRE PARCEL ON US HIGHWAT 52 WEST OF ARBEITER ROAD IN MINOOKA, IL. THE TREE BUSINESS WILL OCCUPY THE CENTER PORTION OF THE SITE TAKING UP 10 ACRES OF THE SITE. THE REMAINING 38 ACRES WILL REMAIN FARM LAND. THE 10 ACRE PORTION OF THE SITE WILL BE COVERED IN GRAVEL AND REGRADED TO PROVIDE OVERLAND FLOW NORTH TO SOUTH. A STORM WATER WET DETENTION POND WILL BE CONSTRUCTED SOUTH OF THE PROPOSED BUILDING AND GRAVEL STORAGE AREA. OWNER WILL BE STORING CUT FIREWOOD AND MULCH FOR WHOLESALE DISTRIBUTION. NO RETAIL IS PROPOSED.

SUMMARY OF AREAS WITHIN THE TRIBUTARY AREA OF THE POND

TRIBUTARY AREA OF THE LOT TO THE DETENTION POND = 13.0 AC. PROPOSED GRAVEL AREA = 424,960 SF = 9.76 AC LANDSCAPE/WET DETENTION POND AREA = 3.0 AC BUILDING = 80X120 +8X130= 10,640 SF = 0.24 AC

CALCULATION OF PROPOSED SITE CURVE NUMBER (CN)

IMPERVIOUS	$96 \times 0.24 \text{ AC} = 23.04$
GRAVEL:	$80 \times 9.76 \text{ AC} = 780.80$
WET POND	$90 \times 1.7 \text{ AC} = 153.00$
LANDSCAPE	$65 \times 1.3 \text{ AC} = 84.5$

TOTAL:

13.0 AC = 1041.34

CN (WEIGHTED) = 1041.34/13.0 AC. = 80.1 USE CN = 80

RESTRICTOR SIZING: Q = CA (2GII) 1/2 100 yr Q allow = 0.15 * 13.0 AC. = 1.95cfs 2 yr Q allow = 0.04 x 13.3 ac = 0.52 cf

See detention pond computations for restrictor sizing: USING 6" DIA RESTRICTOR @ EL 580.50

DETENTION POND STORAGE VOLUME REQUIRED = 5.22 AC-FT. @ ELEV. = 583.51 DETENTION POND STORAGE VOLUME PROVIDED = 5.37 AC-FT. W/ HWL @ 583.60 100 YEAR RELEASE RATE = 1.57 CFS @ HWL = 583.51 2 YEAR RELEASE RATE = 0.42 CFS @ HWL = 580.95

OVERFLOW WEIR LENGTH: $Q = CL(H^1.5)$ C = 3.2 H = 1.0 Q = 54.83 cfs L = Q/C $II^1.5$ L = 54.83/3.2 X 1.0 - 17.13 FT USE 20 FEET ACTUAL H = 0.90 FT.

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

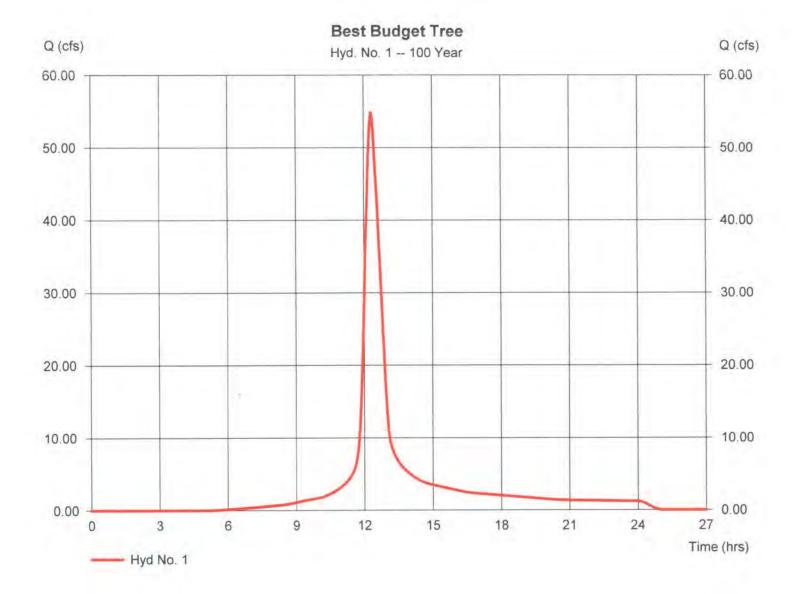
Tuesday, 04 / 12 / 2022

Hyd. No. 1

Best Budget Tree

Hydrograph type = SCS Runoff Storm frequency = 100 yrsTime interval = 3 min = 13.000 ac Drainage area Basin Slope = 0.5 %Tc method = LAG Total precip. = 8.57 inStorm duration = 24 hrs

Peak discharge = 54.83 cfsTime to peak = 12.30 hrs Hyd. volume = 290,751 cuft Curve number = 80 Hydraulic length = 1000 ftTime of conc. (Tc) = 45.03 min Distribution = Type II = 484 Shape factor



Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

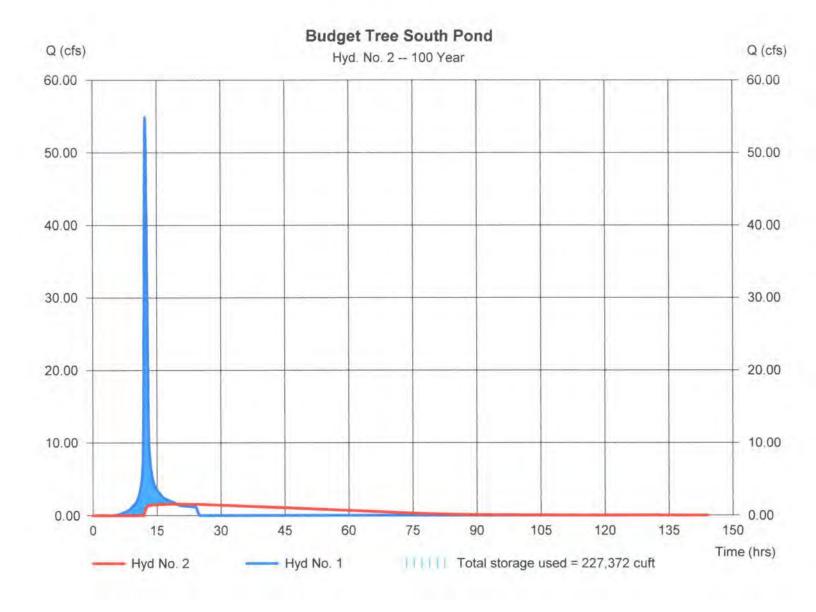
Tuesday, 04 / 12 / 2022

Hyd. No. 2

Budget Tree South Pond

Hydrograph type = Reservoir Peak discharge = 1.571 cfsStorm frequency Time to peak $= 19.75 \, hrs$ = 100 yrs Time interval = 3 min Hyd. volume = 257,456 cuft = 1 - Best Budget Tree Inflow hyd. No. Max. Elevation = 583.51 ft Reservoir name = South Pond Max. Storage = 227,372 cuft

Storage Indication method used.



Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

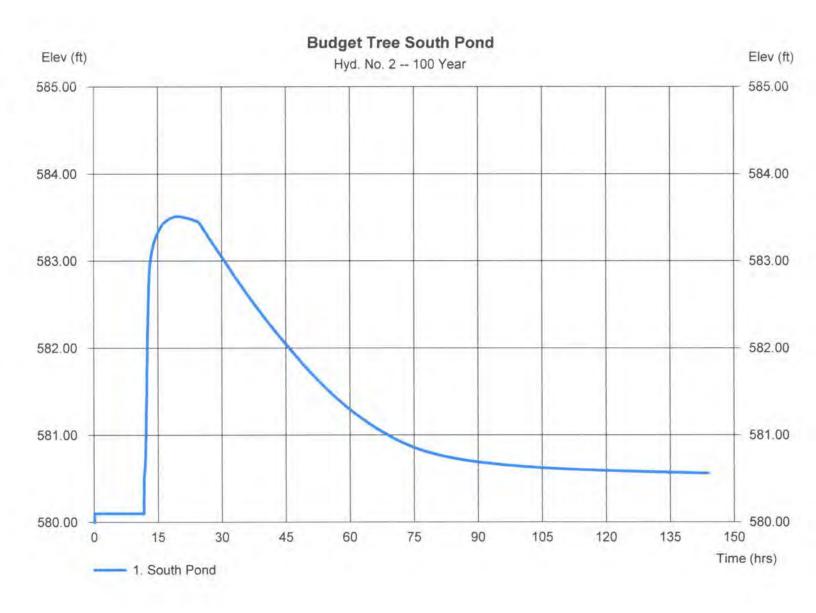
Tuesday, 04 / 12 / 2022

Hyd. No. 2

Budget Tree South Pond

Peak discharge Hydrograph type = Reservoir = 1.571 cfsStorm frequency = 100 yrs Time to peak $= 19.75 \, hrs$ Time interval = 3 min Hyd. volume = 257.456 cuft Max. Elevation = 1 - Best Budget Tree = 583.51 ft Inflow hyd. No. Reservoir name = South Pond Max. Storage = 227,372 cuft

Storage Indication method used.



Pond Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Tuesday, 04 / 12 / 2022

Pond No. 1 - South Pond

Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 580.00 ft

Stage / Storage Table

Stage (ft) Elevation (f		Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)		
0.00	580.00	57,600	0	0		
1.00	581.00	61,504	59,535	59,535		
2.00	582.00	65,536	63,503	123,038		
3.00	583.00	69,696	67,599	190,637		
4.00	584.00	73,984	71,822	262,459		

Culvert / Orifice Structures Weir Structures [A] [R] [C] [PrfPer] [A]

	[A]	[B]	[C]	[PrfRsr]		[A]	[B]	[C]	[D]
Rise (in)	= 6.00	0.00	0.00	0.00	Crest Len (ft)	= 0.00	0.00	0.00	0.00
Span (in)	= 6.00	0.00	0.00	0.00	Crest El. (ft)	= 0.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0	Weir Coeff.	= 3.33	3.33	3.33	3.33
Invert El. (ft)	= 580.50	0.00	0.00	0.00	Weir Type	=			
Length (ft)	= 0.00	0.00	0.00	0.00	Multi-Stage	= No	No	No	No
Slope (%)	= 0.00	0.00	0.00	n/a					
N-Value	= .013	.013	.013	n/a					
Orifice Coeff.	= 0.60	0.60	0.60	0.60	Exfil.(in/hr)	= 0.000 (b)	y Contour)		
Multi-Stage	= n/a	No	No	No	TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

Stage /	Storage /	Disc	harge	Table
---------	-----------	------	-------	-------

Stage ft	Storage cuft	Elevation ft	CIV A cfs	CIv B cfs	CIv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	580.00	0.00										0.000
0.10	5,954	580.10	0.00										0.000
0.20	11,907	580.20	0.00										0.000
0.30	17,861	580.30	0.00										0.000
0.40	23,814	580.40	0.00										0.000
0.50	29,768	580.50	0.00										0.000
0.60	35,721	580.60	0.03 ic										0.030
0.70	41,675	580.70	0.11 ic										0.112
0.80	47,628	580.80	0.23 ic										0.229
0.90	53,582	580.90	0.36 ic										0.362
1.00	5 9,5 3 5	581. 0 0	0.47 ic										0.473
1.10	65,886	581.10	0.56 ic										0.559
1.20	72,236	581.20	0.63 ic										0.634
1.30	78,586	581.30	0.70 ic										0.701
1.40	84,937	581.40	0.76 ic										0.762
1.50	91,287	581.50	0.82 ic										0.819
1.60	97,637	581.60	0.87 ic										0.871
1.70	103,987	581.70	0.92 ic										0.921
1.80	110,338	581.80	0.97 ic										0.969
1.90	116,688	581.90	1.01 ic										1.014
2.00	123,038	582.00	1.06 ic										1.057
2.10	129,798	582.10	1.10 ic										1.098
2.20	136,558	582.20	1.14 ic										1.138
2.30	143,318	582.30	1.18 ic										1.177
2.40	150,078	582.40	1.21 ic										1.214
2.50	156,838	582.50	1.25 ic										1.250
2.60	163,598	582.60	1.29 ic										1.286
2.70	170,357	582.70	1.32 ic										1.320
2.80	177,117	582.80	1.35 ic										1.353
2.90	183,877	582.90	1.39 ic										1.386
3.00	190,637	583.00	1.42 ic										1.418
3.10	197,819	583.10	1.45 ic					***					1.449
3.20	205,001	583.20	1.48 ic										1.480
3.30	212,184	583.30	1.51 ic										1.510
3.40	219,366	583.40	1.54 ic										1.539
3.50	226,548	583.50	1.57 ic										1.568
3.60	233,730	583.60	1.60 ic										1.596
	-									(Continue	s on nex	t page

South Pond

Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	CIv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
3.70	240,912	583.70	1.62 ic										1.624
3.80	248,095	583.80	1.65 ic										1.651
3.90	255,277	583.90	1.68 ic										1.678
4.00	262,459	584.00	1.70 ic										1.704

...End

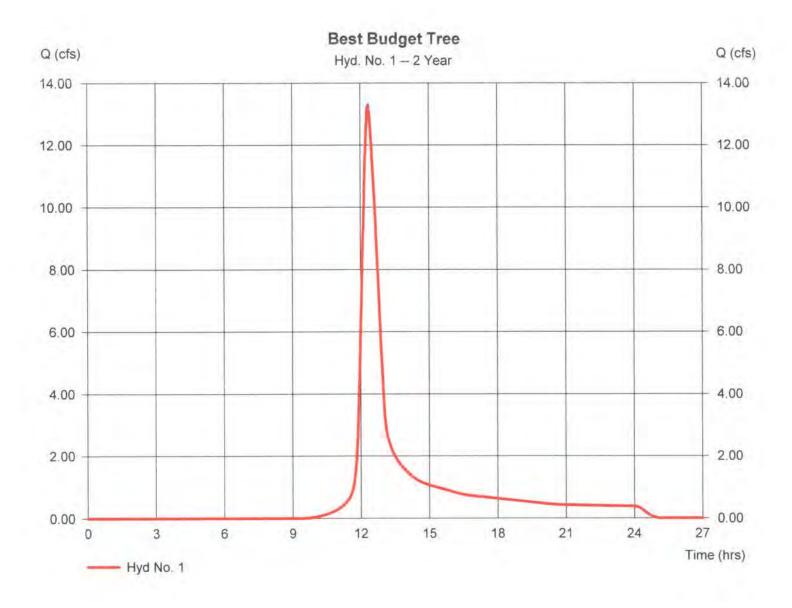
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Tuesday, 04 / 12 / 2022

Hyd. No. 1

Best Budget Tree

Hydrograph type = SCS Runoff Peak discharge = 13.31 cfsStorm frequency = 2 yrs Time to peak $= 12.35 \, hrs$ Hyd. volume = 71,276 cuft Time interval = 3 min = 13.000 ac Curve number = 80 Drainage area Hydraulic length Basin Slope = 0.5 % = 1000 ftTc method Time of conc. (Tc) = 45.03 min = LAG = 3.34 inDistribution = Type II Total precip. Storm duration = 24 hrs Shape factor = 484



Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

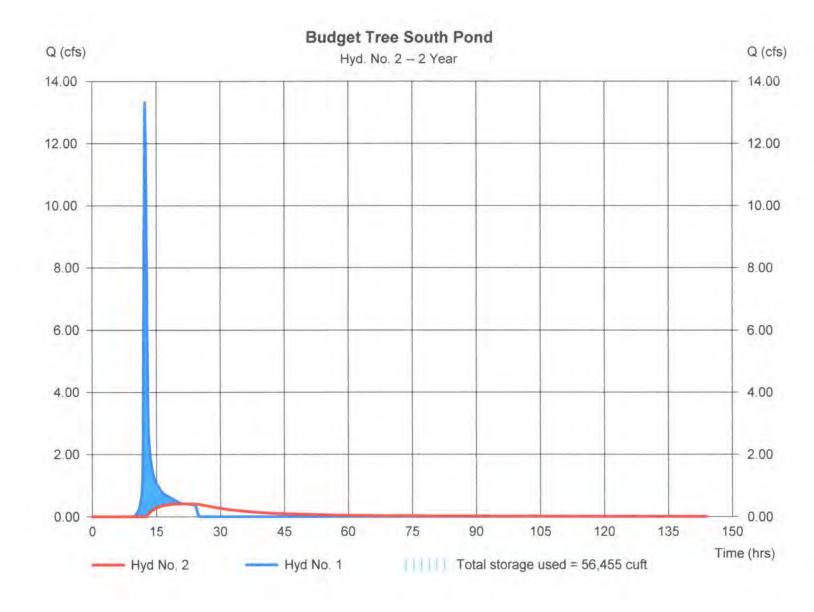
Tuesday, 04 / 12 / 2022

Hyd. No. 2

Budget Tree South Pond

Hydrograph type Peak discharge = 0.416 cfs= Reservoir Storm frequency = 2 yrs Time to peak $= 21.95 \, hrs$ Time interval = 3 min Hyd. volume = 39,988 cuft = 1 - Best Budget Tree Max. Elevation $= 580.95 \, \text{ft}$ Inflow hyd. No. = South Pond Max. Storage Reservoir name = 56,455 cuft

Storage Indication method used



Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Tuesday, 04 / 12 / 2022

Hyd. No. 2

Budget Tree South Pond

Hydrograph type = Reservoir Storm frequency = 2 yrs Time interval = 3 min Inflow hyd. No.

Reservoir name

= 1 - Best Budget Tree

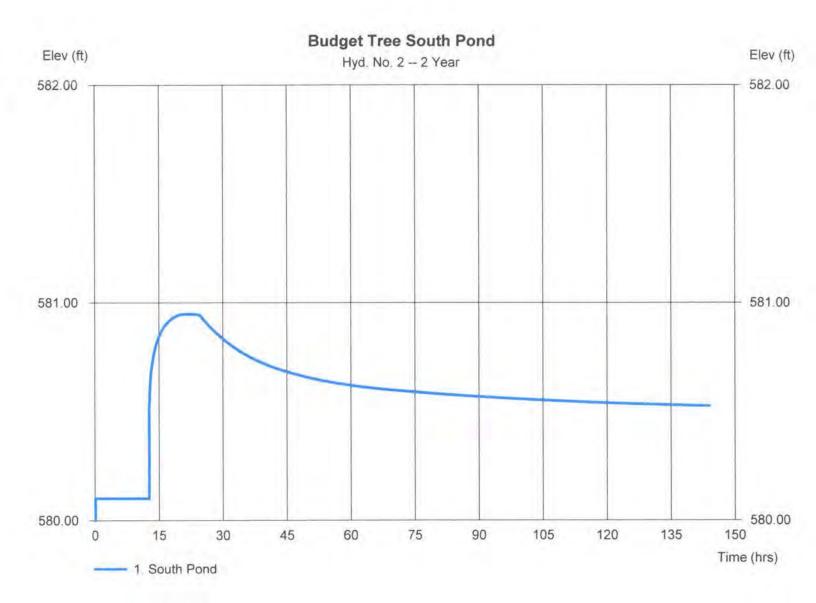
= South Pond

Peak discharge = 0.416 cfsTime to peak $= 21.95 \, hrs$

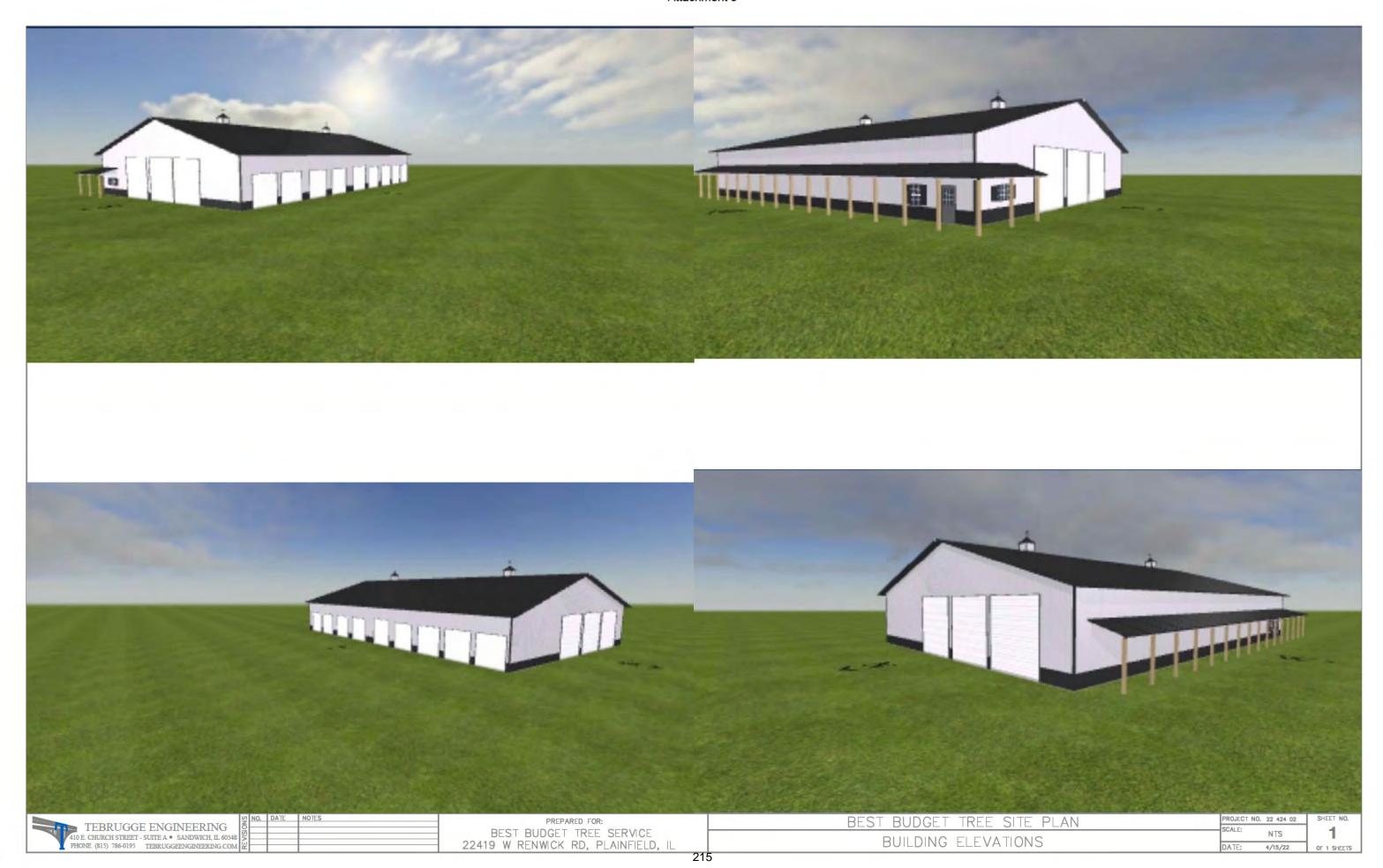
Hyd. volume = 39,988 cuft Max. Elevation $= 580.95 \, \text{ft}$

Max. Storage = 56,455 cuft

Storage Indication method used



Attachment 5



Attachment 6

Matt Asselmeier

From: Torri, James N <jtorri@joliet.gov>
Sent: Thursday, April 21, 2022 10:09 AM

To: Matt Asselmeier

Subject: [External]RE: 09-15-200-003 Question

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Matt,

Joliet would not require this.

Thanks,

James N. Torri City of Joliet Planning Director 150 W. Jefferson Street Joliet, IL 60432 (815) 724-4049 Fax: (815) 724-4056

www.joliet.gov

From: Matt Asselmeier < masselmeier@co.kendall.il.us>

Sent: Wednesday, April 20, 2022 9:47 AM

To: Torri, James N <jtorri@joliet.gov>; Engel_Natalie (nengel@vil.shorewood.il.us) <nengel@vil.shorewood.il.us>

Cc: Scott Koeppel <skoeppel@co.kendall.il.us>; Scott Gengler <sgengler@co.kendall.il.us>; Fran Klaas

<FKlaas@co.kendall.il.us>

Subject: 09-15-200-003 Question

[EXTERNAL EMAIL] This message originated outside of the organization.

Jim and Natalie:

Kendall County received an application for a special use permit for a landscaping business at this property.

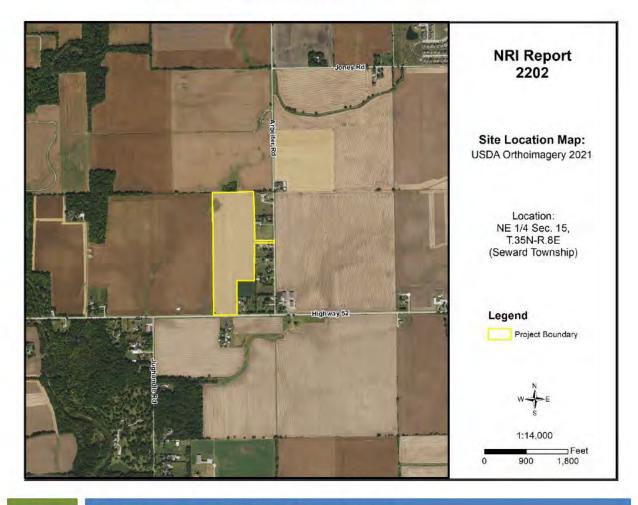
While this property is inside Shorewood's planning area, Joliet's plan calls for a bike path along Route 52 at this property. IDOT verbally told me that they do not want a ROW dedication.

Do either of your municipalities want a ROW dedication?

Thanks,

Matthew H. Asselmeier, AICP, CFM Senior Planner Kendall County Planning, Building & Zoning 111 West Fox Street Yorkville, IL 60560-1498

NATURAL RESOURCE INFORMATION (NRI) REPORT: #2202



May 2022 Petitioner: Best Budget Tree Service

Contact: Jeremy Dippold

Prepared By:



7775A Route 47 Yorkville, Illinois 60560 Phone: (630) 553-5821 x3 www.kendallswcd.org

KENDALL COUNTY SOIL AND WATER CONSERVATION DISTRICT NATURAL RESOURCE INFORMATION (NRI) REPORT

Natural Resource Information Report Number	2202	
Date District Board Reviews Application	May 2022	
Applicant's Name	Best Budget Tree Service	
Size of Parcel	48.59 acres	
Current Zoning & Use	A-1 Agricultural	
Proposed Zoning & Use	A-1 SU Agricultural with Special Use Permit; Tree Service Business	
Parcel Index Number(s)	09-15-200-003	
Contact Person	Jeremy Dippold	

Copies of this report or notification of the proposed land-use change was provided to:	Yes	No
The Applicant	X	
The Applicant's Legal Representation		X
The Local/Township Planning Commission	X	
The Village/City/ County Planning and Zoning Department or Appropriate Agency	х	
The Kendall County Soil and Water Conservation District Files	x	-

Report Prepared By: Alyse Olson Position: Resource Conservationist

PURPOSE AND INTENT

The purpose of this report is to provide officials of the local governing body and other decision-makers with natural resource information. This information may be useful when undertaking land use decisions concerning variations, amendments or relief of local zoning ordinances, proposed subdivision of vacant or agricultural lands and the subsequent development of these lands. This report is a requirement under Section 22.02a of the Illinois Soil and Water Conservation Districts Act.

The intent of this report is to present the most current natural resource information available in a readily understandable manner. It contains a description of the present site conditions, the present resources, and the potential impacts that the proposed change may have on the site and its resources. The natural resource information was gathered from standardized data, on-site investigations and information furnished by the petitioner. This report must be read in its entirety so that the relationship between the natural resource factors and the proposed land use change can be fully understood.

Due to the limitations of scale encountered with the various resource maps, the property boundaries depicted in the various exhibits in this report provide a generalized representation of the property location and may not precisely reflect the legal description of the PIQ (Parcel in Question).

This report, when used properly, will provide the basis for proper land use change decisions and development while protecting the natural resource base of the county. It should not be used in place of detailed environmental and/or engineering studies that are warranted under most circumstances, but in conjunction with those studies.

The conclusions of this report in no way indicate that a certain land use is not possible, but it should alert the reader to possible problems that may occur if the capabilities of the land are ignored. Any questions on the technical data supplied in this report or if anyone feels that they would like to see more additional specific information to make the report more effective, please contact:

> Kendall County Soil and Water Conservation District 7775A Route 47, Yorkville, IL 60560 Phone: (630) 553-5821 ext. 3

E-mail: Alyse.Olson@il.nacdnet.net

TABLE OF CONTENTS

EXECUTIVE SUMMARY	1
PARCEL LOCATION	7
ARCHAEOLOGIC/CULTURAL RESOURCES INFORMATION	9
ECOLOGICALLY SENSITIVE AREAS	10
SOILS INFORMATION	12
SOILS INTERPRETATIONS EXPLANATION	14
BUILDING LIMITATIONS	15
SOIL WATER FEATURES	21
SOIL EROSION AND SEDIMENT CONTROL	24
PRIME FARMLAND SOILS	25
LAND EVALUATION AND SITE ASSESSMENT (LESA)	26
LAND USE PLANS	28
DRAINAGE, RUNOFF, AND FLOOD INFORMATION	28
WATERSHED PLANS	32
WETLAND INFORMATION	33
HYDRIC SOILS	35
WETLAND AND FLOODPLAIN REGULATIONS	37
GLOSSARY	38
REFERENCES	41
LIST OF FIGURES	
FIGURE 1: Soil Map	2
FIGURE 2: Soil Limitations	4
FIGURE 3: 2021 Plat Map	
FIGURE 4: 2019 Aerial Map with NRI Site Boundary	
FIGURE 5: Soil Map	
FIGURE 6A-6D: Maps of Building Limitations	
TIGORE OF OD. Maps of building Lithitations	1/-20

FIGURE 7: Map of Prime Farmland Soils	25
FIGURE 8: FEMA Floodplain Map	30
FIGURE 9: USGS Topographic Map	31
FIGURE 10: Wetland Map – USFWS National Wetland Inventory	34
FIGURE 11: Hydric Soils Map	
LIST OF TABLES	
TABLE 1: Soils Information	2
TABLE 2: Soil Limitations	4
TABLE 3: Soil Map Unit Descriptions	
TABLE 4: Building Limitations	16
TABLE 5: Water Features	23
TABLE 6: Soil Erosion Potential	24
TABLE 7: Prime Farmland Soils	25
TABLE 8A: Land Evaluation Computation	26
TABLE 8B: Site Assessment Computation	27
TABLE 9: LESA Score Summary	27

EXECUTIVE SUMMARY

Natural Resource Information Report Number	#2202
Petitioner	Best Budget Tree Service
Contact Person	Jeremy Dippold
County or Municipality the Petition is Filed With	Kendall County
Location of Parcel	NE ¼ of Section 15, Township 35 North, Range 8 East (Seward Township) of the 3 rd Principal Meridian
Project or Subdivision Name	Best Budget Tree Service
Existing Zoning & Land Use	A-1 Agricultural
Proposed Zoning & Land Use	A-1 SU Agricultural with Special Use Permit; Tree Service Business
Proposed Water Source	Well
Proposed Type of Sewage Disposal System	Septic
Proposed Type of Storm Water Management	Wet Bottom Detention Pond
Size of Site	48.59 acres
Land Evaluation Site Assessment Score	210 (Land Evaluation: 85; Site Assessment: 125)

NATURAL RESOURCE CONSIDERATIONS

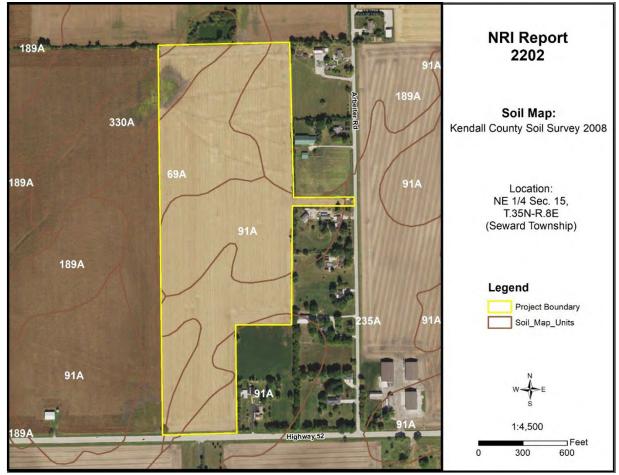


Figure 1: Soil Map

SOIL INFORMATION

Based on information from the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) 2008 Kendall County Soil Survey, this parcel is shown to contain the following soil types (please note this does not replace the need for or results of onsite soil testing; if completed, please refer to onsite soil test results for planning/engineering purposes):

Table 1: Soils Information

Map Unit	Soil Name	Drainage Class	Hydrologic Group	Hydric Designation	Farmland Designation
69A	Milford silty clay loam, 0-2% slopes	Poorly Drained	C/D	Hydric	Prime Farmland if drained
91A	Swygert silty clay loam, 0-2% slopes	Somewhat Poorly Drained	C/D	Non-Hydric	Prime Farmland
189A	Martinton silt loam, 0-2% slopes	Somewhat Poorly Drained	C/D	Non-Hydric	Prime Farmland
235A	Bryce silty clay, 0-2% slopes	Poorly Drained	C/D	Hydric	Prime Farmland if drained
330A	Peotone silty clay loam, 0-2% slopes	Very Poorly Drained	C/D	Hydric	Prime Farmland if drained

Hydrologic Soil Groups – Soils have been classified into four (A, B, C, D) hydrologic groups based on runoff characteristics due to rainfall. If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D), the first letter is for drained areas and the second letter is for undrained areas.

- Hydrologic group A: Soils have a high infiltration rate (low runoff potential) when thoroughly wet.
 These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.
- **Hydrologic group B:** Soils have a moderate infiltration rate when thoroughly wet, consist chiefly of moderately deep to deep, moderately well drained to well drained soils that have a moderately fine to moderately coarse texture. These soils have a moderate rate of water transmission.
- **Hydrologic group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.
- **Hydrologic group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

Hydric Soils – A hydric soil is one that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part of the soil profile that supports the growth or regeneration of hydrophytic vegetation. Soils with hydric inclusions have map units dominantly made up of non-hydric soils that may have inclusions of hydric soils in the lower positions on the landscape. Of the soils found onsite, three are classified as hydric soil (69A Milford silty clay loam, 235A Bryce silty clay, and 330A Peotone silty clay loam), and the remaining soils are classified as non-hydric soils with hydric inclusions likely (91A Swygert silty clay loam and 189A Martinton silt loam).

Prime Farmland – Prime farmland is land that has the best combination of physical and chemical characteristics for agricultural production. Prime farmland soils are an important resource to Kendall County and some of the most productive soils in the United States occur locally. Of the soils found onsite, all are designated as prime farmland.

Soil Limitations – The USDA-NRCS Web Soil Survey rates the limitations of soils for dwellings with basements, dwellings without basements, small commercial buildings, shallow excavations, lawns/landscaping, and local roads and streets. Soils have different properties which influence the development of building sites. The USDA-NRCS classifies soils as Not Limited, Somewhat Limited, and Very Limited. Soils that are Not Limited indicates that the soil has properties that are favorable for the specified use. They will perform well and will have low maintenance. Soils that are Somewhat Limited are moderately favorable, and their limitations can be overcome through special planning, design, or installation. Soils that are Very Limited have features that are unfavorable for the specified use, and their limitations cannot easily be overcome.

Table 2: Soil Limitations

Soil Type	Small Commercial Buildings	Shallow Excavations	Lawns/ Landscaping	Conventional Septic Systems
69A	Very Limited	Very Limited	Very Limited	Unsuitable / Very Limited
91A	Somewhat Limited	Very Limited	Somewhat Limited	Suitable / Not Limited
189A	Very Limited	Very Limited	Somewhat Limited	Suitable / Not Limited
235A	Very Limited	Very Limited	Very Limited	Unsuitable / Very Limited
330A	Very Limited	Very Limited	Very Limited	Unsuitable / Very Limited

Septic Systems – The factors considered for determining suitability are the characteristics and qualities of the soil that affect the limitations for absorbing waste from domestic sewage disposal systems. The major features considered are soil permeability, percolation rate, groundwater level, depth to bedrock, flooding hazards, and slope. Soils are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Installation of an on-site sewage disposal system in soils designated as unsuitable may necessitate the installation of a non-conventional onsite sewage disposal system. For more information please contact the Kendall County Health Department (811 W. John Street, Yorkville, IL; (630) 553-9100 ext. 8026).

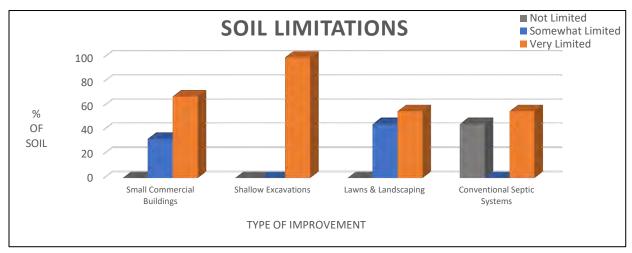


Figure 2: Soil Limitations

KENDALL COUNTY LAND EVALUATION AND SITE ASSESSMENT (LESA)

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

Land Evaluation (LE): The soils of a given area are rated and placed in groups ranging from the
best to worst suited for a stated agriculture use, cropland, or forestland. The best group is
assigned a value of 100 and all other groups are assigned lower values. The Land Evaluation is

based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.

- The Land Evaluation score for this site is 85, indicating that this site is well suited for agricultural uses.
- Site Assessment (SA): The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Site Assessment value is based on a 200-point scale and accounts for 2/3 of the total score. The Kendall County LESA Committee is responsible for this portion of the LESA system.
 - The Site Assessment score for this site is **125**.

The LESA Score for this site is 210 out of a possible 300, which indicates a medium level of protection for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County. If the project is agricultural in nature, however, a higher score may provide an indication of the suitability of the project as it relates to the compatibility with existing agricultural land use.

WETLANDS

The U.S. Fish & Wildlife Service's National Wetlands Inventory map **indicates the presence** of a wetland(s) on the proposed project site. To determine if a wetland is present, a wetland delineation specialist, who is recognized by the U.S. Army Corps of Engineers, should determine the exact boundaries and value of the wetlands.

FLOODPLAIN

The Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Map (FIRM) for Kendall County, Community Panel No. 17093C0145H (effective date January 8, 2014) was reviewed to determine the presence of floodplain and floodway areas within the project site. According to the map, the parcel is **not located within** the floodplain or floodway.

SEDIMENT AND EROSION CONTROL

Development on this site should include an erosion and sediment control plan in accordance with local, state, and federal regulations. Soil erosion on construction sites is a resource concern because suspended sediment from areas undergoing development is a primary nonpoint source of water pollution. Please consult the *Illinois Urban Manual* (https://illinoisurbanmanual.org/) for appropriate best management practices.

LAND USE FINDINGS:

The Kendall County Soil and Water Conservation District (SWCD) Board has reviewed the proposed development plans for Petitioner Best Budget Tree Service for the Special Use Permit request to construct and operate a tree service and landscaping business on one parcel (Parcel Index Number 09-15-200-003) within Seward Township of Kendall County located in the NE ¼ of Section 15, Township 35N, and Range 8E of the 3rd Principal Meridian. Based on the information provided by the petitioner, and a review of natural resource related data available to the Kendall County SWCD, the SWCD Board presents the following information.

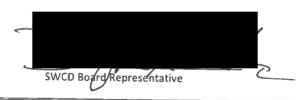
The Kendall County SWCD has always had the opinion that Prime Farmland should be preserved whenever feasible. Of the soils found onsite, 100% are classified as prime farmland. A land evaluation (LE), which is a part of the Land Evaluation and Site Assessment (LESA), was conducted on this parcel. The soils on this parcel scored an 85 out of a possible 100 points indicating that the soils are well suited for agricultural uses. The total LESA Score for this site is 210 out of a possible 300, which indicates a medium level of protection for the proposed project site. Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County. If the project is agricultural in nature, however, a higher score may provide an indication of the suitability of the project as it relates to the compatibility with existing agricultural land use.

Soils found on the project site are rated for specific uses and can have potential limitations for development. Soil types with severe limitations do not preclude the ability to develop the site for the proposed use, but it is important to note that the limitation may require soil reclamation, special design/engineering, or maintenance to obtain suitable soil conditions to support development with significant limitations. This report indicates that for soils located on the parcel, 100% are very limited for shallow excavations, 68% are very limited for small commercial buildings, and 55% are very limited for lawns/landscaping. The remaining land is considered somewhat limited for these types of developments/uses. Additionally, 55% of the soils are considered unsuitable for conventional septic systems. This information is based on the soil in an undisturbed state. If the scope of the project may include the use of onsite septic systems, please consult with the Kendall County Health Department.

This site is located within the Upper Illinois River watershed and the Minooka Branch Aux Sable Creek sub watershed. This development should include a soil erosion and sediment control plan to be implemented during construction. Sediment may become a primary non-point source of pollution; eroded soils during the construction phase can create unsafe conditions on roadways, degrade water quality and destroy aquatic ecosystems lower in the watershed.

For intense use, it is recommended that a drainage tile survey be completed on the parcel to locate the subsurface drainage tile and should be taken into consideration during the land use planning process. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. Impaired tile may affect a few acres or hundreds of acres of drainage.

The information that is included in this Natural Resources Information Report is to assure that the Land Developers take into full consideration the limitations of that land that they wish to develop. Guidelines and recommendations are also a part of this report and should be considered in the planning process. The Natural Resource Information Report is required by the Illinois Soil and Water Conservation District Act (III. Complied Statues, Ch. 70, Par 405/22.02a).



5/2/2022 Date

PARCEL LOCATION

Location Map for Natural Resources Information Report #2202

NE ¼ of Section 15, Township 35 North, Range 8 East (Seward Township) on 48.59 acres. This parcel is located south of Van Dyke Road, north of U.S. Route 52, east of McKanna Road, and west of Arbeiter Road in Minooka, IL. The parcel is part of unincorporated Kendall County.

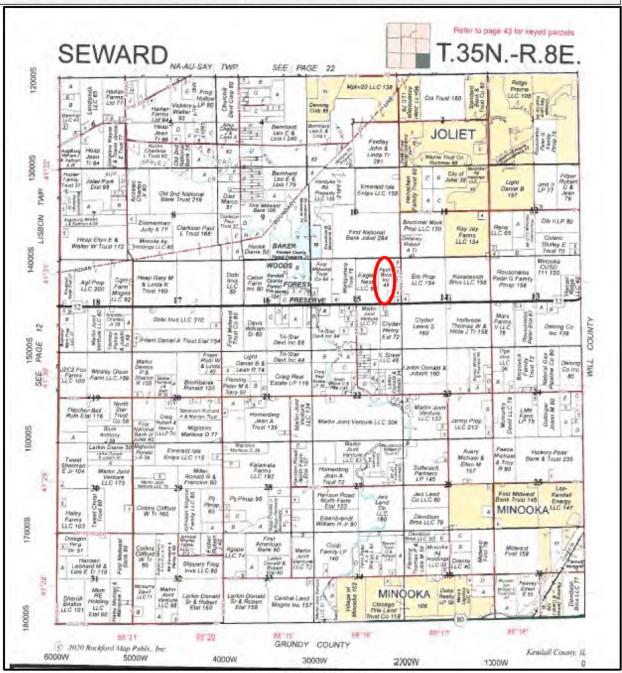


Figure 3: 2021 Plat Map

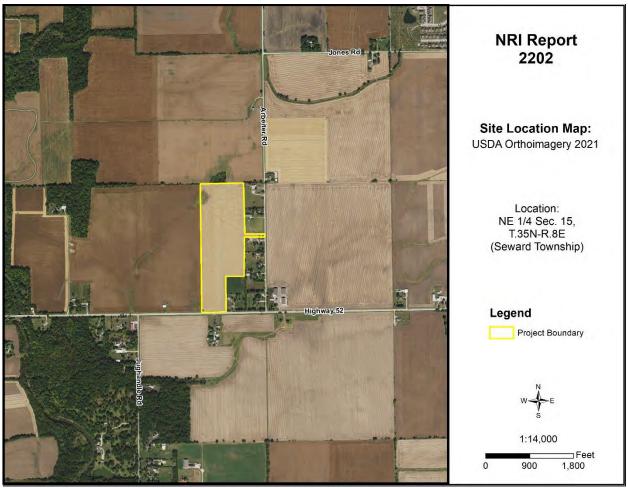


Figure 4: 2021 Aerial Map with NRI Site Boundary

NRI 2202

ARCHAEOLOGIC/CULTURAL RESOURCES INFORMATION

Simply stated, cultural resources are all the past activities and accomplishments of people. They include the following: buildings; objects made or used by people; locations; and less tangible resources, such as stories, dance forms, and holiday traditions.

The Soil and Water Conservation District most often encounters cultural resources as historical properties. These may be prehistoric or historical sites, buildings, structures, features, or objects. The most common type of historical property that the Soil and Water Conservation District may encounter is non-structural archaeological sites. These sites often extend below the soil surface and must be protected against disruption by development or other earth moving activity if possible. Cultural resources are *non-renewable* because there is no way to "grow" a site to replace a disrupted site.

Landowners with historical properties on their land have ownership of that historical property. However, the State of Illinois owns all the following: human remains, grave markers, burial mounds, and artifacts associated with graves and human remains.

Non-grave artifacts from archaeological sites and historical buildings are the property of the landowner. The landowner may choose to disturb a historical property but may not receive federal or state assistance to do so. If an earth moving activity disturbs human remains, the landowner must contact the county coroner within 48 hours.

The Illinois Historic Preservation Agency has not been notified of the proposed land use change by the Kendall County SWCD. The applicant may need to contact the IHPA according to current Illinois law.

ECOLOGICALLY SENSITIVE AREAS

WHAT IS BIOLOGICAL DIVERSITY AND WHY SHOULD IT BE CONSERVED? 1

Biological diversity, or biodiversity, is the range of life on our planet. A more thorough definition is presented by botanist Peter H. Raven: "At the simplest level, biodiversity is the sum total of all the plants, animals, fungi and microorganisms in the world, or in a particular area; all of their individual variation; and all of the interactions between them. It is the set of living organisms that make up the fabric of the planet Earth and allow it to function as it does, by capturing energy from the sun and using it to drive all of life's processes; by forming communities of organisms that have, through the several billion years of life's history on Earth, altered the nature of the atmosphere, the soil and the water of our Planet; and by making possible the sustainability of our planet through their life activities now" (Raven 1994).

It is not known how many species occur on our planet. Presently, about 1.4 million species have been named. It has been estimated that there are perhaps 9 million more that have not been identified. What is known is that they are vanishing at an unprecedented rate. Reliable estimates show extinction occurring at a rate several orders of magnitude above "background" in some ecological systems (Wilson 1992, Hoose 1981).

The reasons for protecting biological diversity are complex, but they fall into four major categories. First, loss of diversity generally weakens entire natural systems. Healthy ecosystems tend to have many natural checks and balances. Every species plays a role in maintaining this system. When simplified by the loss of diversity, the system becomes more susceptible to natural and artificial perturbations. The chances of a system-wide collapse increase. In parts of the midwestern United States, for example, it was only the remnant areas of natural prairies that kept soil intact during the dust bowl years of the 1930s (Roush 1982).

Simplified ecosystems are almost always expensive to maintain. For example, when synthetic chemicals are relied upon to control pests, the target species are not the only ones affected. Their predators are almost always killed or driven away, exasperating the pest problem. In the meantime, people are unintentionally breeding pesticide-resistant pests. A process has begun where people become perpetual guardians of the affected area, which requires the expenditure of financial resources and human ingenuity to keep the system going.

A second reason for protecting biological diversity is that it represents one of our greatest untapped resources. Great benefits can be reaped from a single species. About 20 species provide 90% of the world's food. Of these 20, just three, wheat, maize, and rice-supply over one half of that food. American wheat farmers need new varieties every five to 15 years to compete with pests and diseases. Wild strains of wheat are critical genetic reservoirs for these new varieties.

Further, every species is a potential source of human medicine. In 1980, a published report identified the market value of prescription drugs from higher plants at over \$3 billion. Organic alkaloids, a class of

chemical compounds used in medicines, are found in an estimated 20% of plant species. Yet only 2% of plant species have been screened for these compounds (Hoose 1981).

The third reason for protecting diversity is that humans benefit from natural areas and depend on healthy ecosystems. The natural world supplies our air, our water, our food and supports human economic activity. Further, humans are creatures that evolved in a diverse natural environment between forest and grasslands. People need to be reassured that such places remain. When people speak of "going to the country," they generally mean more than getting out of town. For reasons of their own sanity and wellbeing, they need a holistic, organic experience. Prolonged exposure to urban monotony produces neuroses, for which cultural and natural diversity cure.

Historically, the lack of attention to biological diversity, and the ecological processes it supports, has resulted in economic hardships for segments of the basin's human population.

The final reason for protecting biological diversity is that species and natural systems are intrinsically valuable. The above reasons have focused on the benefits of the natural world to humans. All things possess intrinsic value simply because they exist.

BIOLOGICAL RESOURCES CONCERNING THE SUBJECT PARCEL

As part of the Natural Resources Information Report, staff checks office maps to determine if any nature preserves or ecologically sensitive areas are in the general vicinity of the parcel in question. If there is a nature preserve in the area, then that resource will be identified as part of the report. The SWCD recommends that every effort be made to protect that resource. Such efforts should include, but are not limited to erosion control, sediment control, stormwater management, and groundwater monitoring.

Office maps indicate that ecologically sensitive area(s) are located on or near the parcel in question (PIQ). There is a freshwater emergent wetland located in the northwest corner of the PIQ. There is also the Aux Sable Creek and Baker Woods Forest Preserve within a mile of the PIQ to the west.

11

¹Taken from <u>The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities</u>, prepared by the Nature Conservancy Great Lakes Program 79W. Monroe Street, Suite 1309, Chicago, IL 60603, January 1994.

SOILS INFORMATION

IMPORTANCE OF SOILS INFORMATION

Soils information comes from the Natural Resources Conservation Service Soil Maps and Descriptions for Kendall County. This information is important to all parties involved in determining the suitability of the proposed land use change.

Each soil polygon is given a number, which represents its soil type. The letter found after the soil type number indicates the soils slope class.

Each soil map unit has limitations for a variety of land uses such as septic systems, buildings with basements, and buildings without basements. It is important to remember that soils do not function independently of each other. The behavior of a soil depends upon the physical properties of adjacent soil types, the presence of artificial drainage, soil compaction, and its position in the local landscape.

The limitation categories (not limited, somewhat limited, or very limited) indicate the potential for difficulty in using that soil unit for the proposed activity and, thus, the degree of need for thorough soil borings and engineering studies. A limitation does not necessarily mean that the proposed activity cannot be done on that soil type. It does mean that the reasons for the limitation need to be thoroughly understood and dealt with to complete the proposed activity successfully. Very limited indicates that the proposed activity will be more difficult and costly to do on that soil type than on a soil type with a somewhat limited or not limited rating.

Soil survey interpretations are predictions of soil behavior for specified land uses and specified management practices. They are based on the soil properties that directly influence the specified use of the soil. Soil survey interpretations allow users of soil surveys to plan reasonable alternatives for the use and management of soils.

Soil interpretations do not eliminate the need for on-site study and testing of specific sites for the design and construction for specific uses. They can be used as a guide for planning more detailed investigations and for avoiding undesirable sites for an intended use. The scale of the maps and the range of error limit the use of the soil delineation.

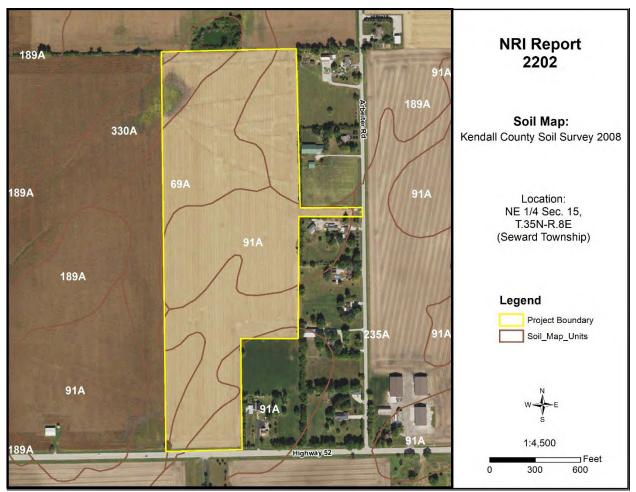


Figure 5: Soil Map

 Table 3: Soil Map Unit Descriptions

Symbol	Descriptions	Acres	Percent
69A	Milford silty clay loam, 0-2% slopes	14.1	29.0%
91A	Swygert silty clay loam, 0-2% slopes	15.8	32.4%
189A	Martinton silt loam, 0-2% slopes	6.0	12.3%
235A	Bryce silty clay, 0-2% slopes	10.1	20.8%
330A	Peotone silty clay loam, 0-2% slopes	2.7	5.5%

Source: National Cooperative Soil Survey - USDA-NRCS

SOILS INTERPRETATIONS EXPLANATION

GENERAL – NONAGRICULTURAL

These interpretative ratings help engineers, planners, and others to understand how soil properties influence behavior when used for nonagricultural uses such as building site development or construction materials. This report gives ratings for proposed uses in terms of limitations and restrictive features. The tables list only the most restrictive features.

Other features may need treatment to overcome soil limitations for a specific purpose. Ratings come from the soil's "natural" state, that is, no unusual modification occurs other than that which is considered normal practice for the rated use. Even though soils may have limitations, an engineer may alter soil features or adjust building plans for a structure to compensate for most degrees of limitations. Most of these practices, however, are costly. The final decision in selecting a site for a particular use generally involves weighing the costs for site preparation and maintenance. Soil properties influence development of building sites, including the selection of the site, the design of the structure, construction, performance after construction, and maintenance. Soil limitation ratings of not limited, somewhat limited, and very limited are given for the types of proposed improvements that are listed or inferred by the petitioner as entered on the report application and/or zoning petition. The most common types of building limitation that this report gives limitations ratings for is septic systems. It is understood that engineering practices can overcome most limitations for buildings with and without basements, and small commercial buildings. Limitation ratings for these types of buildings are not commonly provided. Organic soils, when present on the parcel, are referenced in the hydric soils section of the report. This type of soil is considered unsuitable for all types of construction.

LIMIATIONS RATINGS

- **Not Limited:** This soil has favorable properties for the use. The degree of limitation is minor. The people involved can expect good performance and low maintenance.
- Somewhat Limited: This soil has moderately favorable properties for the use. Special planning, design, or maintenance can overcome this degree of limitation. During some part of the year, the expected performance is less desirable than for soils rated slight.
- Very Limited: This soil has one or more properties that are unfavorable for the rated use. These
 may include the following: steep slopes, bedrock near the surface, flooding, high shrink-swell
 potential, a seasonal high water table, or low strength. This degree of limitation generally requires
 major soil reclamation, special design, or intensive maintenance, which in most situations is
 difficult and costly.

BUILDING LIMITATIONS

BUILDING ON POORLY SUITED OR UNSUITABLE SOILS

Building on poorly suited or unsuitable soils can present problems to future property owners such as cracked foundations, wet basements, lowered structural integrity and high maintenance costs associated with these problems. The staff of the Kendall County SWCD strongly urges scrutiny by the plat reviewers when granting parcels with these soils exclusively.

Small Commercial Buildings – Ratings are for structures that are less than three stories high and do not have basements. The foundation is assumed to be spread footings of reinforced concrete built on disturbed soil at a depth of 2 feet or at the depth of maximum frost penetration, whichever is deeper. The ratings are based on soil properties that affect the capacity of the soil to support a load without movement and on the properties that affect excavation and construction costs.

Shallow Excavations – Trenches or holes dug to a maximum depth of 5 or 6 feet for utility lines, open ditches, or other purposes. Ratings are based on soil properties that influence the ease of digging and the resistance to sloughing.

Lawns and Landscaping – Require soils on which turf and ornamental trees and shrubs can be established and maintained (irrigation is not considered in the ratings). The ratings are based on the soil properties that affect plant growth and trafficability after vegetation is established.

Onsite Sewage Disposal – The factors considered are the characteristics and qualities of the soil that affect the limitations for absorbing waste from domestic sewage disposal systems. The major features considered are soil permeability, percolation rate, groundwater level, depth to bedrock, flooding hazards, and slope. The table below indicates soils that are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Installation of an on-site sewage disposal system in soils designated as unsuitable may necessitate the installation of a non-conventional onsite sewage disposal system. For more information please contact the Kendall County Health Department – Environmental Health at (630) 553-9100 x8026.

Table 4: Building Limitations

Soil Type	Small Commercial Buildings	Shallow Excavations	Lawns & Landscaping	Onsite Conventional Sewage Systems	Acres	%
69A	Very Limited: Ponding Depth to saturated zone Shrink-swell	Very Limited: Ponding Depth to saturated zone Unstable excavation walls Dusty Too clayey	Very Limited: Ponding Depth to saturated zone Dusty	Unsuitable/Very Limited: Wet	14.1	29.0%
91A	Somewhat Limited: Depth to saturated zone Shrink-swell	Very Limited: Depth to saturated zone Too clayey Dusty Unstable excavation walls	Somewhat Limited: Depth to saturated zone Dusty	Suitable/Not Limited	15.8	32.4%
189A	Very Limited: Shrink-swell Depth to saturated zone	Very Limited: Depth to saturated zone Dusty Unstable excavation walls	Somewhat Limited: Depth to saturated zone Dusty	Suitable/Not Limited	6.0	12.3%
235A	Very Limited: Ponding Depth to saturated zone Shrink-swell	Very Limited: Ponding Depth to saturated zone Too clayey Unstable excavation walls Dusty	Very Limited: Ponding Depth to saturated zone Too clayey Dusty	Unsuitable/Very Limited: Wet	10.1	20.8%
330A	Very Limited: Ponding Depth to saturated zone Shrink-swell	Very Limited: Ponding Depth to saturated zone Unstable excavation walls Dusty Too clayey	Very Limited: Ponding Depth to saturated zone Dusty	Unsuitable/Very Limited: Wet	2.7	5.5%
% Very Limited	67.6%	100%	55.3%	55.3%		

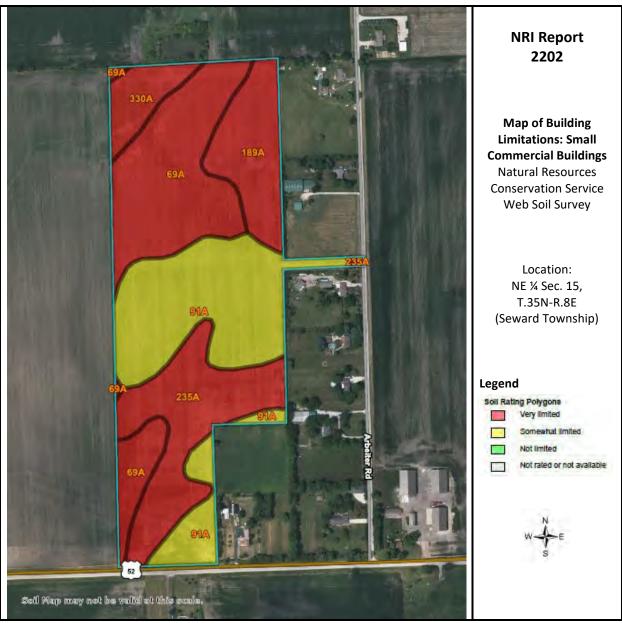


Figure 6A: Map of Building Limitations – Small Commercial Buildings

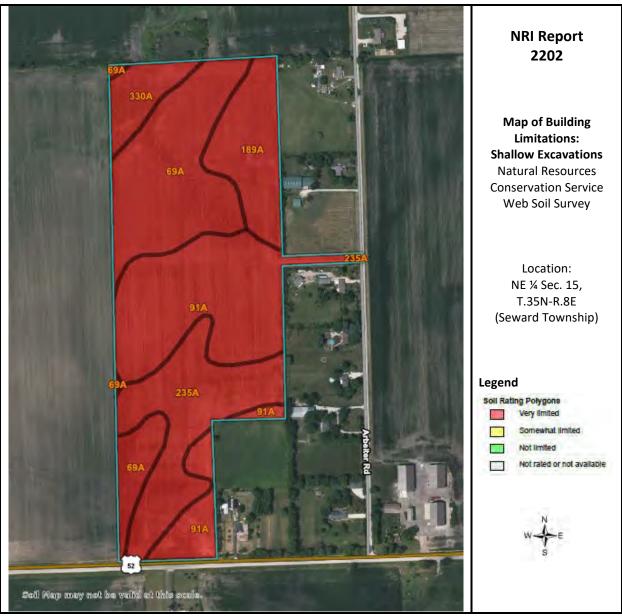


Figure 6B: Map of Building Limitations – Shallow Excavations



Figure 6C: Map of Building Limitations – Lawns/Landscaping

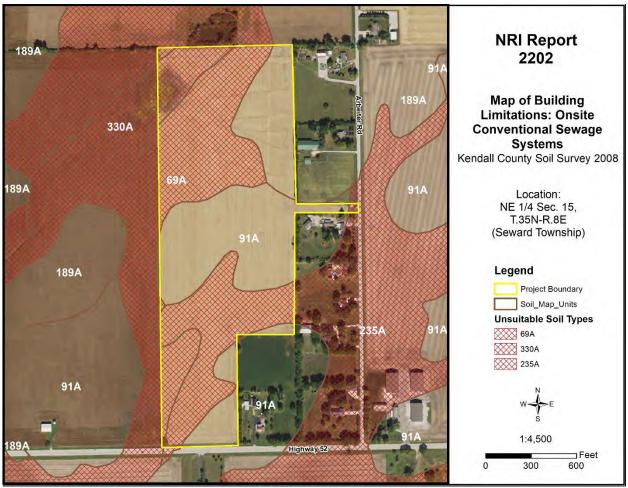


Figure 6D: Map of Building Limitations – Onsite Conventional Sewage System

SOIL WATER FEATURES

Table 5, below, gives estimates of various soil water features that should be taken into consideration when reviewing engineering for a land use project.

HYDROLOGIC SOIL GROUPS (HSGs) — The groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

- **Group A:** Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.
- Group B: Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of
 moderately deep or deep, moderately well drained, or well drained soils that have moderately
 fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.
- **Group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.
- **Group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

Note: If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D) the first letter is for drained areas and the second is for undrained areas.

SURFACE RUNOFF – Surface runoff refers to the loss of water from an area by flow over the land surface. Surface runoff classes are based upon slope, climate and vegetative cover and indicates relative runoff for very specific conditions (it is assumed that the surface of the soil is bare and that the retention of surface water resulting from irregularities in the ground surface is minimal). The classes are negligible, very low, low, medium, high, and very high.

MONTHS – The portion of the year in which a water table, ponding, and/or flooding is most likely to be a concern.

WATER TABLE – Water table refers to a saturated zone in the soil and the data indicates, by month, depth to the top (upper limit) and base (lower limit) of the saturated zone in most years. These estimates are based upon observations of the water table at selected sites and on evidence of a saturated zone (grayish colors or mottles (redoximorphic features)) in the soil. Note: A saturated zone that lasts for less than a month is not considered a water table.

PONDING – Ponding refers to standing water in a closed depression, and the data indicates surface water depth, duration, and frequency of ponding.

- **Duration:** Expressed as *very brief* if less than 2 days, *brief* if 2 to 7 days, *long* if 7 to 30 days and *very long* if more than 30 days.
- **Frequency:** Expressed as: *none* meaning ponding is not possible; *rare* means unlikely but possible under unusual weather conditions (chance of ponding is 0-5% in any year); *occasional* means that it occurs, on the average, once or less in 2 years (chance of ponding is 5 to 50% in any year); and frequent means that it occurs, on the average, more than once in 2 years (chance of ponding is more than 50% in any year).

FLOODING – The temporary inundation of an area caused by overflowing streams, by runoff from adjacent slopes, or by tides. Water standing for short periods after rainfall or snowmelt is not considered flooding, and water standing in swamps and marshes is considered ponding rather than flooding.

- **Duration:** Expressed as: *extremely brief* if 0.1 hour to 4 hours; *very brief* if 4 hours to 2 days; *brief* if 2 to 7 days; *long* if 7 to 30 days; and *very long* if more than 30 days.
- Frequency: Expressed as: none means flooding is not probable; very rare means that it is very unlikely but possible under extremely unusual weather conditions (chance of flooding is less than 1% in any year); rare means that it is unlikely but possible under unusual weather conditions (chance of flooding is 1 to 5% in any year); occasional means that it occurs infrequently under normal weather conditions (chance of flooding is 5 to 50% in any year but is less than 50% in all months in any year); and very frequent means that it is likely to occur very often under normal weather conditions (chance of flooding is more than 50% in all months of any year).

Note: The information is based on evidence in the soil profile. In addition, consideration is also given to local information about the extent and levels of flooding and the relation of each soil on the landscape to historic floods. Information on the extent of flooding based on soil data is less specific than that provided by detailed engineering surveys that delineate flood-prone areas at specific flood frequency levels.

Table 5: Water Features

Мар	Hydrologic	Surface)4/-4 T- - -	Donatha -	Floradia -
Unit	Group	Runoff	Water Table	Ponding	Flooding
69A	C/D	Negligible	January – May	January – May	January – December
			Upper Limit : 0.0'-1.0'	Surface Water Depth: 0.0'-0.5'	Duration:
			Lower Limit: 6.0'	Duration : Brief (2 to 7 days)	Frequency: None
			June – December	Frequency: Frequent	
			Upper Limit:	<u>June – December</u>	
			Lower Limit:	Surface Water Depth:	
				Duration:	
				Frequency:	
91A	C/D	Medium	January – May	<u> January – December</u>	January – December
			Upper Limit: 1.0'-2.0'	Surface Water Depth:	Duration:
			Lower Limit: 2.9'-4.8'	Duration:	Frequency: None
			June – December	Frequency: None	
			Upper Limit:		
			Lower Limit:		
189A	C/D	Low	January – May	January – December	January – December
			Upper Limit: 1.0'-2.0'	Surface Water Depth:	Duration:
			Lower Limit: 6.0'	Duration:	Frequency: None
			June – December	Frequency: None	
			Upper Limit:		
			Lower Limit:		
235A	C/D	Negligible	January – May	January – May	January – December
			Upper Limit: 0.0'-1.0'	Surface Water Depth: 0.0'-0.5'	Duration:
			Lower Limit: 6.0'	Duration : Brief (2 to 7 days)	Frequency: None
			June – December	Frequency: Frequent	
			Upper Limit:	<u>June – December</u>	
			Lower Limit:	Surface Water Depth:	
				Duration:	
				Frequency:	
330A	C/D		January – June	January – May	January – December
			Upper Limit: 0.0'-1.0'	Surface Water Depth: 0.0'-0.5'	Duration:
			Lower Limit: 6.0'	Duration : Brief (2 to 7 days)	Frequency: None
			July – December	Frequency: Frequent	
			Upper Limit:	June – December	
			Lower Limit:	Surface Water Depth:	
				Duration:	
				Frequency:	

SOIL EROSION AND SEDIMENT CONTROL

Erosion is the wearing away of the soil by water, wind, and other forces. Soil erosion threatens the Nation's soil productivity and contributes the most pollutants in our waterways. Water causes about two thirds of erosion on agricultural land. Four properties, mainly, determine a soil's erodibility: texture, slope, structure, and organic matter content.

Slope has the most influence on soil erosion potential when the site is under construction. Erosivity and runoff increase as slope grade increases. The runoff then exerts more force on the particles, breaking their bonds more readily and carrying them farther before deposition. The longer water flows along a slope before reaching a major waterway, the greater the potential for erosion.

Soil erosion during and after this proposed construction can be a primary non-point source of water pollution. Eroded soil during the construction phase can create unsafe conditions on roadways, decrease the storage capacity of lakes, clog streams and drainage channels, cause deterioration of aquatic habitats, and increase water treatment costs. Soil erosion also increases the risk of flooding by choking culverts, ditches, and storm sewers and by reducing the capacity of natural and man-made detention facilities.

The general principles of erosion and sedimentation control measures include:

- Reducing or diverting flow from exposed areas, storing flows, or limiting runoff from exposed areas
- Staging construction to keep disturbed areas to a minimum
- Establishing or maintaining temporary or permanent groundcover
- Retaining sediment on site
- Properly installing, inspecting, and maintaining control measures

Erosion control practices are useful controls only if they are properly located, installed, inspected, and maintained.

The SWCD recommends an erosion and sediment control plan for all building sites, especially if there is a wetland or stream nearby.

Table 6: Soil Erosion Potential

Soil Type	Slope	Rating	Acreage	Percent of Parcel
69A	0-2%	Slight	14.1	29.0%
91A	0-2%	Slight	15.8	32.4%
189A	0-2%	Slight	6.0	12.3%
235A	0-2%	Slight	10.1	20.8%
330A	0-2%	Slight	2.7	5.5%

PRIME FARMLAND SOILS

Prime farmland soils are an important resource to Kendall County. Some of the most productive soils in the United States occur locally. Each soil map unit in the United States is assigned a prime or non-prime rating. Prime agricultural land does not need to be in the production of food & fiber.

Section 310 of the NRCS general manual states that urban or built-up land on prime farmland soils is <u>not</u> prime farmland. The percentages of soils map units on the parcel reflect the determination that urban or built up land on prime farmland soils is not prime farmland.

Table 7: Prime Farmland Soils

Soil Types	Prime Designation Acreage		Percent
69A	Prime Farmland if drained	14.1	29.0%
91A	Prime Farmland	15.8	32.4%
189A	Prime Farmland	6.0	12.3%
235A	Prime Farmland if drained 10.1 20.89		20.8%
330A	Prime Farmland if drained 2.7 5.5%		5.5%
% Prime Farmland	100%		

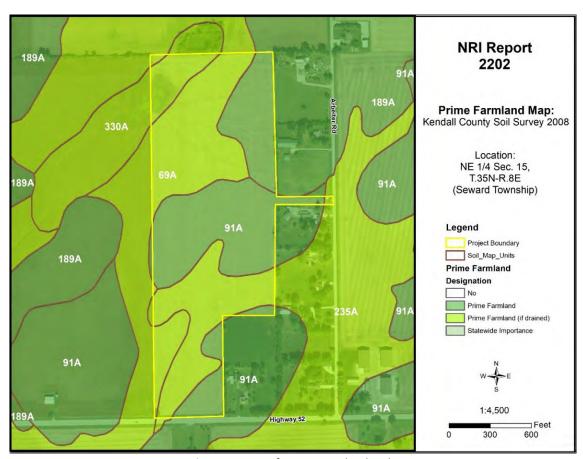


Figure 7: Map of Prime Farmland Soils

LAND EVALUATION AND SITE ASSESSMENT (LESA)

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

LAND EVALUATION (LE)

The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland, or forestland. The best group is assigned a value of 100, and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The LE score is calculated by multiplying the relative value of each soil type by the number of acres of that soil. The sum of the products is then divided by the total number of acres; the answer is the Land Evaluation score on this site. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.

SITE ASSESSMENT (SA)

The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The value group is a predetermined value based upon prime farmland designation. The Kendall County LESA Committee is responsible for this portion of the LESA system.

Please Note: A land evaluation (LE) score will be compiled for every project parcel. However, when a parcel is located within municipal planning boundaries, a site assessment (SA) score is not compiled as the scoring factors are not applicable. As a result, only the LE score is available, and a full LESA score is unavailable for the parcel.

Table 8A: Land Evaluation Computation

Soil Type	Value Group	Relative Value	Acres	Product (Relative Value x Acres)
69A	3	87	14.1	1,226.7
91A	4	79	15.8	1,248.2
189A	2	94	6.0	564
235A	3	87	10.1	878.7
330A	30	87	2.7	234.9
Totals			48.7	4,152.5
LE Calculation			(Product of relative value / Total Acres)	
LE Calculation			4,152.5 / 48.7 = 85.3	
LE Score	_		LE = 85	

The Land Evaluation score for this site is 85, indicating that this site is well suited for agricultural uses considering the Land Evaluation score is above 80.

Table 8B: Site Assessment Computation

A.	Agricultural Land Uses	Points		
	1. Percentage of area in agricultural uses within 1.5 miles of site. (20-10-5-0)	10		
	2. Current land use adjacent to site. (30-20-15-10-0)	20		
	3. Percentage of site in agricultural production in any of the last 5 years. (20-15-10-5-0)	20		
	4. Size of site. (30-15-10-0)	15		
В.	Compatibility / Impact on Uses			
	1. Distance from city or village limits. (20-10-0)	0		
	2. Consistency of proposed use with County Land Resource Management Concept Plan	20		
	and/or municipal comprehensive land use plan. (20-10-0)			
	3. Compatibility of agricultural and non-agricultural uses. (15-7-0)	7		
C.	Existence of Infrastructure			
	1. Availability of public sewage system. (10-8-6-0)	8		
	2. Availability of public water system. (10-8-6-0)	8		
	3. Transportation systems. (15-7-0)	7		
	4. Distance from fire protection service. (10-8-6-2-0)	10		
	Site Assessment Score:			

The Site Assessment score for this site is 125. The Land Evaluation value (85) is added to the Site Assessment value (125) to obtain a LESA Score of 210. The table below shows the level of protection for the proposed project site based on the LESA Score.

Table 9: LESA Score Summary

LESA SCORE	LEVEL OF PROTECTION
0-200	Low
<mark>201-225</mark>	Medium
226-250	High
251-300	Very High

Land Evaluation Value: 85 +Site Assessment Value: 125 =LESA Score: 210 -

The LESA Score for this site is 210 which indicates a medium level of protection for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County. If the project is agricultural in nature, however, a higher score may provide an indication of the suitability of the project as it relates to the compatibility with existing agricultural land use.

LAND USE PLANS

Many counties, municipalities, villages, and townships have developed land-use plans. These plans are intended to reflect the existing and future land-use needs of a given community. Please contact the Kendall County Planning, Building & Zoning for information regarding the County's comprehensive land use plan and map.

DRAINAGE, RUNOFF, AND FLOOD INFORMATION

U.S.G.S Topographic maps give information on elevations, which are important mostly to determine slopes, drainage directions, and watershed information.

Elevations determine the area of impact of floods of record. Slope information determines steepness and erosion potential. Drainage directions determine where water leaves the PIQ, possibly impacting surrounding natural resources.

Watershed information is given for changing land use to a subdivision type of development on parcels greater than 10 acres.

WHAT IS A WATERSHED?

Simply stated, a watershed is the area of land that contributes water to a certain point. The watershed boundary is important because the area of land in the watershed can now be calculated using an irregular shape area calculator such as a dot counter or planimeter.

Using regional storm event information, and site-specific soils and land use information, the peak stormwater flow through the point marked "O" for a specified storm event can be calculated. This value is called a "Q" value (for the given storm event) and is measured in cubic feet per second (CFS).

When construction occurs, the Q value naturally increases because of the increase in impermeable surfaces. This process decreases the ability of soils to accept and temporarily hold water. Therefore, more water runs off and increases the Q value.

Theoretically, if each development, no matter how large or small, maintains their preconstruction Q value after construction by the installation of stormwater management systems, the streams and wetlands and lakes will not suffer damage from excessive urban stormwater.

For this reason, the Kendall County SWCD recommends that the developer for intense uses such as a subdivision calculate the preconstruction Q value for the exit point(s). A stormwater management system

should be designed, installed, and maintained to limit the postconstruction Q value to be at or below the preconstruction value.

IMPORTANCE OF FLOOD INFORMATION

A floodplain is defined as land adjoining a watercourse (riverine) or an inland depression (non-riverine) that is subject to periodic inundation by high water. Floodplains are important areas demanding protection since they have water storage and conveyance functions which affect upstream and downstream flows, water quality and quantity, and suitability of the land for human activity. Since floodplains play distinct and vital roles in the hydrologic cycle, development that interferes with their hydrologic and biologic functions should be carefully considered.

Flooding is both dangerous to people and destructive to their properties. The following maps, when combined with wetland and topographic information, can help developers and future homeowners to "sidestep" potential flooding or ponding problems.

FIRM is the acronym for the Flood Insurance Rate Map, produced by the Federal Emergency Management Agency (FEMA). These maps define flood elevation adjacent to tributaries and major bodies of water and superimpose that onto a simplified USGS topographic map. The scale of the FIRM maps is generally dependent on the size and density of parcels in that area. (This is to correctly determine the parcel location and floodplain location.) The FIRM map has three (3) zones. Zone A includes the 100-year flood, Zone B or Zone X (shaded) is the 100 to 500-year flood, and Zone C or Zone X (unshaded) is outside the floodplain.

The Hydrologic Atlas (H.A.) Series of the Flood of Record Map is also used for the topographic information. This map is different from the FIRM map mainly because it will show isolated or pocketed flooded areas. Kendall County uses both these maps in conjunction with each other for flooded area determinations. The Flood of Record maps show the areas of flood for various years. Both maps <u>stress</u> that the recurrence of flooding is merely statistical. A 100-year flood may occur twice in one year, or twice in one week, for that matter.

It should be noted that greater floods than those shown on the two maps are possible. The flood boundaries indicated provide a historic record only until the map publication date. Additionally, these flood boundaries are a function of the watershed conditions existing when the maps were produced. Cumulative changes in runoff characteristics caused by urbanization can result in an increase in flood height of future flood episodes.

Floodplains play a vital role in reducing the flood damage potential associated with an urbanizing area and, when left in an undisturbed state, also provide valuable wildlife habitat benefits. If it is the petitioner's intent to conduct floodplain filling or modification activities, the petitioner, and the Unit of Government responsible need to consider the potentially adverse effects this type of action could have on adjacent properties. The change or loss of natural floodplain storage often increases the frequency and severity of flooding on adjacent property.

If the available maps indicate the presence of a floodplain on the PIQ, the petitioner should contact the IDOT-OWR and FEMA to delineate a floodplain elevation for the parcel. If a portion of the property is indeed floodplain, applicable state, county, and local regulations will need to be reflected in the site plans.

Another indication of flooding potential can be found in the soils information. Hydric soils indicate the presence of drainageways, areas subject to ponding, or a naturally occurring high water table. These need to be considered along with the floodplain information when developing the site plan and the stormwater management plan. Development on hydric soils can contribute to the loss of water storage within the soil and the potential for increased flooding in the area.

This parcel is located on minimal topography (slopes 0 to 2%) and an elevation range of approximately 582'-588' above sea level. According to the FEMA Floodplain Map, the parcel in question does not contain floodway or floodplain. The parcel drains predominantly to the south.

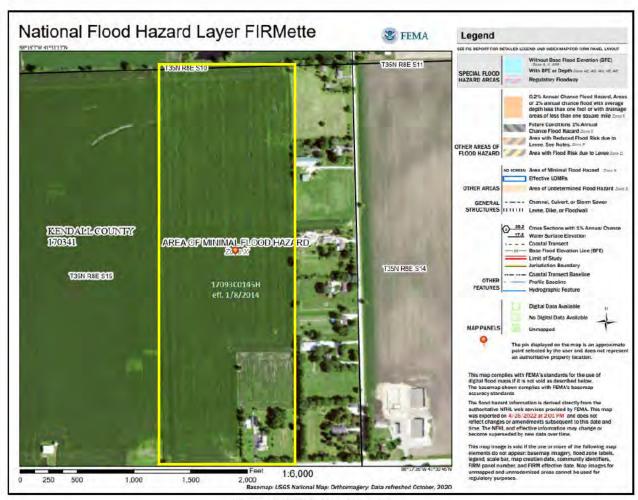


Figure 8: FEMA Floodplain Map

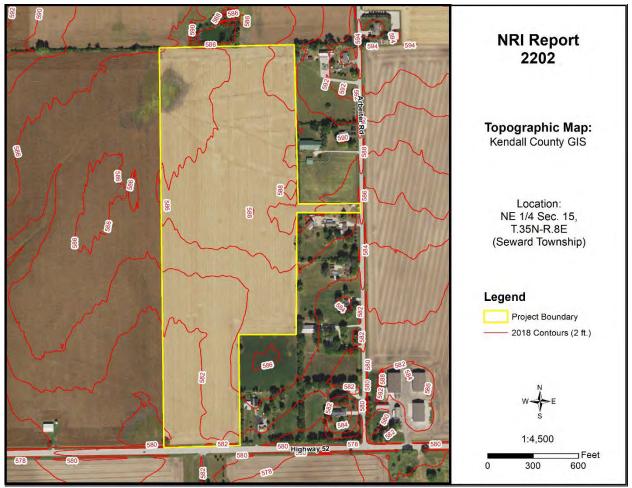


Figure 9: Topographic Map

WATERSHED PLANS

WATERSHED AND SUB WATERSHED INFORMATION

A watershed is the area of land that drains into a specific point including a stream, lake, or other body of water. High points on the Earth's surface, such as hills and ridges define watersheds. When rain falls in the watershed, it flows across the ground towards a stream or lake. Rainwater carries pollutants such as oils, pesticides, and soil.

Everyone lives in a watershed. Their actions can impact natural resources and people living downstream. Residents can minimize this impact by being aware of their environment and the implications of their activities, implementing practices recommended in watershed plans, and educating others about their watershed.

The following are recommendations to developers for protection of this watershed:

- Preserve open space
- Maintain wetlands as part of development
- Use natural water management
- Prevent soil from leaving a construction site
- Protect subsurface drainage
- Use native vegetation
- Retain natural features
- Mix housing styles and types
- Decrease impervious surfaces
- Reduce area disturbed by mass grading
- Shrink lot size and create more open space
- Maintain historical and cultural resources
- Treat water where it falls
- Preserve views
- Establish and link trails

This parcel is located within the Upper Illinois River watershed and the Minooka Branch Aux Sable Creek sub watershed.

WETLAND INFORMATION

IMPORTANCE OF WETLAND INFORMATION

Wetlands function in many ways to provide numerous benefits to society. They control flooding by offering a slow release of excess water downstream or through the soil. They cleanse water by filtering out sediment and some pollutants and can function as rechargers of our valuable groundwater. They also are essential breeding, rearing, and feeding grounds for many species of wildlife.

These benefits are particularly valuable in urbanizing areas as development activity typically adversely affects water quality, increases the volume of stormwater runoff, and increases the demand for groundwater. In an area where many individual homes rely on shallow groundwater wells for domestic water supplies, activities that threaten potential groundwater recharge areas are contrary to the public good. The conversion of wetlands, with their sediment trapping and nutrient absorbing vegetation, to biologically barren stormwater detention ponds can cause additional degradation of water quality in downstream or adjacent areas.

It has been estimated that over 95% of the wetlands that were historically present in Illinois have been destroyed while only recently has the true environmental significance of wetlands been fully recognized. America is losing 100,000 acres of wetland a year and has saved 5 million acres total (since 1934). One acre of wetland can filter 7.3 million gallons of water a year. These are reasons why our wetlands are high quality and important.

This section contains the NRCS (Natural Resources Conservation Service) Wetlands Inventory, which is the most comprehensive inventory to date. The NRCS Wetlands Inventory is reproduced from an aerial photo at a scale of 1" equals 660 feet. The NRCS developed these maps in cooperation with U.S. EPA (Environmental Protection Agency,) and the U.S. Fish and Wildlife Service, using the National Food Security Act Manual, 3rd Edition. The main purpose of these maps is to determine wetland areas on agricultural fields and areas that may be wetlands but are in a non-agriculture setting.

The NRCS Wetlands Inventory in no way gives an exact delineation of the wetlands, but merely an outline, or the determination that there is a wetland within the outline. For the final, most accurate wetland **determination** of a specific wetland, a wetland **delineation** must be certified by NRCS staff using the National Food Security Act Manual (on agricultural land.) On urban land, a certified wetland delineator must perform the delineation using the ACOE 1987 Manual. See the glossary section for the definitions of "delineation" and "determination.

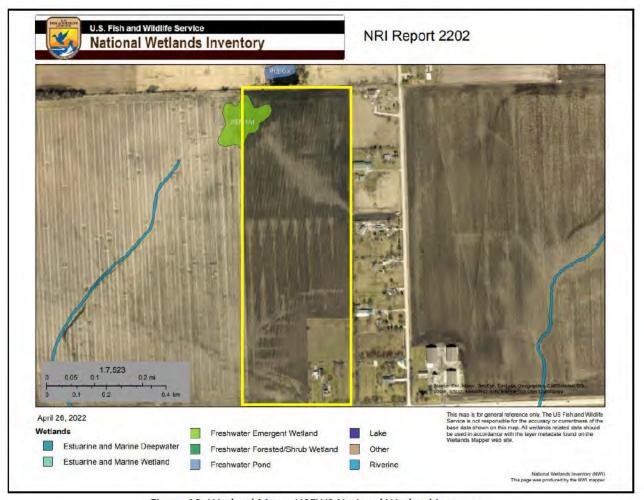


Figure 10: Wetland Map - USFWS National Wetland Inventory

Office maps indicate that a mapped freshwater emergent wetland is present near the northwest corner on the parcel in question (PIQ).

HYDRIC SOILS

Soils information gives another indication of flooding potential. The soils map on the following page indicates the soil(s) on the parcel that the Natural Resources Conservation Service indicates as hydric. Hydric soils, by definition, have seasonal high water at or near the soil surface and/or have potential flooding or ponding problems. All hydric soils range from poorly suited to unsuitable for building. One group of the hydric soils are the organic soils, which formed from dead organic material. Organic soils are unsuitable for building because of not only the high water table but also their subsidence problems.

It is important to add the possibility of hydric inclusions in a soil type. An inclusion is a soil polygon that is too small to appear on these maps. While relatively insignificant for agricultural use, hydric soil inclusions become more important to more intense uses such as a residential subdivision.

While considering hydric soils and hydric inclusions, it is noteworthy to mention that subsurface agriculture drainage tile occurs in almost all poorly drained and somewhat poorly drained soils. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. A damaged subsurface drainage tile may return original hydrologic conditions to all the areas that drained through the tile (ranging from less than one acre to many square miles.)

For an intense land use, such as a subdivision, the Kendall County SWCD recommends the following: a topographical survey with 1 foot contour intervals to accurately define the flood area on the parcel, an intensive soil survey to define most accurately the locations of the hydric soils and inclusions, and a drainage tile survey on the area to locate the tiles that must be preserved to maintain subsurface drainage.

Table 10: Hydric Soils

Soil Types	Drainage Class	Hydric Designation	Hydric Inclusions Likely	Acreage	Percent
69A	Poorly Drained	Hydric	No	14.1	29.0%
91A	Somewhat Poorly Drained	Non-Hydric	Yes	15.8	32.4%
189A	Somewhat Poorly Drained	Non-Hydric	Yes	6.0	12.3%
235A	Poorly Drained	Hydric	No	10.1	20.8%
330A	Very Poorly Drained	Hydric	No	2.7	5.5%

NRI 2202 May 2022

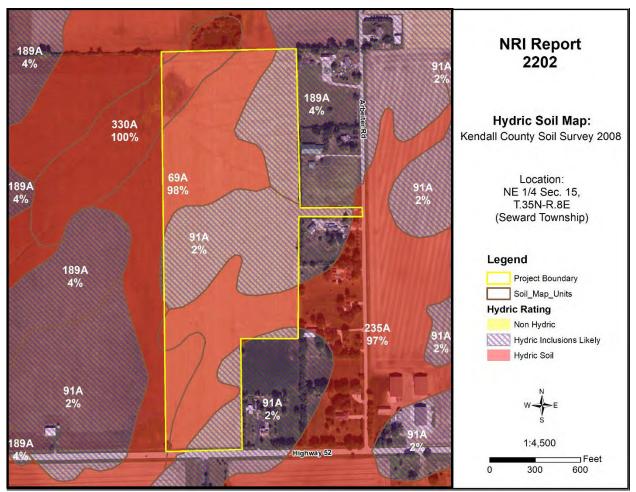


Figure 11: Hydric Soil Map

WETLAND AND FLOODPLAIN REGULATIONS

PLEASE READ THE FOLLOWING IF YOU ARE PLANNING TO DO ANY WORK NEAR A STREAM (THIS INCLUDES SMALL UNNAMED STREAMS), LAKE, WETLAND OR FLOODWAY.

The laws of the United States and the State of Illinois assign certain agencies specific and different regulatory roles to protect the waters within the State's boundaries. These roles, when considered together, include protection of navigation channels and harbors, protection against floodway encroachments, maintenance and enhancement of water quality, protection of fish and wildlife habitat and recreational resources, and, in general, the protection of total public interest. Unregulated use of the waters within the State of Illinois could permanently destroy or alter the character of these valuable resources and adversely impact the public. Therefore, please contact the proper regulatory authorities when planning any work associated with Illinois waters so that proper consideration and approval can be obtained.

WHO MUST APPLY?

Anyone proposing to dredge, fill, rip rap, or otherwise alter the banks or beds of, or construct, operate, or maintain any dock, pier, wharf, sluice, dam, piling, wall, fence, utility, floodplain or floodway subject to State or Federal regulatory jurisdiction should apply for agency approvals.

REGULATORY AGENCIES

- Wetland or U.S. Waters: U.S. Army Corps of Engineers, Rock Island District, Clock Tower Building, Rock Island, IL
- **Floodplains**: Illinois Department of Natural Resources/Office of Water Resources, One Natural Resources Way, Springfield, IL 62702-1270.
- Water Quality/Erosion Control: Illinois Environmental Protection Agency, Springfield, IL

COORDINATION

We recommend early coordination with the regulatory agencies <u>BEFORE</u> finalizing work plans. This allows the agencies to recommend measures to mitigate or compensate for adverse impacts. Also, the agency can make possible environmental enhancement provisions early in the project planning stages. This could reduce time required to process necessary approvals.

CAUTION: Contact with the United States Army Corps of Engineers is strongly advised before commencement of any work in or near a Waters of the United States. This could save considerable time and expense. Persons responsible for willful and direct violation of Section 10 of the River and Harbor Act of 1899 or Section 404 of the Federal Water Pollution Control Act are subject to fines ranging up to \$27,500 per day of violation and imprisonment for up to one year or both.

GLOSSARY

AGRICULTURAL PROTECTION AREAS (AG AREAS) - Allowed by P.A. 81-1173. An AG AREA consists of a minimum of 350 acres of farmland, as contiguous and compact as possible. Petitioned by landowners, AG AREAS protect for a period of ten years initially, then reviewed every eight years thereafter. AG AREA establishment exempts landowners from local nuisance ordinances directed at farming operations, and designated land cannot receive special tax assessments on public improvements that do not benefit the land, e.g. water and sewer lines.

AGRICULTURE - The growing, harvesting and storing of crops including legumes, hay, grain, fruit and truck or vegetable including dairying, poultry, swine, sheep, beef cattle, pony and horse production, fur farms, and fish and wildlife farms; farm buildings used for growing, harvesting and preparing crop products for market, or for use on the farm; roadside stands, farm buildings for storing and protecting farm machinery and equipment from the elements, for housing livestock or poultry and for preparing livestock or poultry products for market; farm dwellings occupied by farm owners, operators, tenants or seasonal or year around hired farm workers.

B.G. - Below Grade. Under the surface of the Earth.

BEDROCK - Indicates depth at which bedrock occurs. Also lists hardness as rippable or hard.

FLOODING - Indicates frequency, duration, and period during year when floods are likely to occur.

HIGH LEVEL MANAGEMENT - The application of effective practices adapted to different crops, soils, and climatic conditions. Such practices include providing for adequate soil drainage, protection from flooding, erosion and runoff control, near optimum tillage, and planting the correct kind and amount of high-quality seed. Weeds, diseases, and harmful insects are controlled. Favorable soil reaction and near optimum levels of available nitrogen, phosphorus, and potassium for individual crops are maintained. Efficient use is made of available crop residues, barnyard manure, and/or green manure crops. All operations, when combined efficiently and timely, can create favorable growing conditions and reduce harvesting losses --within limits imposed by weather.

HIGH WATER TABLE - A seasonal high water table is a zone of saturation at the highest average depth during the wettest part of the year. May be apparent, perched, or artesian kinds of water tables.

- Water table, Apparent: A thick zone of free water in the soil. An apparent water table is indicated
 by the level at which water stands in an uncased borehole after adequate time is allowed for
 adjustment in the surrounding soil.
- Water table, Artesian: A water table under hydrostatic head, generally beneath an impermeable layer. When this layer is penetrated, the water level rises in an uncased borehole.
- Water table, Perched: A water table standing above an unsaturated zone. In places an upper, or perched, water table is separated from a lower one by a dry zone.

NRI 2202 May 2022

DELINEATION - For Wetlands: A series of orange flags placed on the ground by a certified professional that outlines the wetland boundary on a parcel.

DETERMINATION - A polygon drawn on a map using map information that gives an outline of a wetland.

HYDRIC SOIL - This type of soil is saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions in the upper part (USDA Natural Resources Conservation Service 1987).

INTENSIVE SOIL MAPPING - Mapping done on a smaller more intensive scale than a modern soil survey to determine soil properties of a specific site, e.g. mapping for septic suitability.

LAND EVALUATION AND SITE ASSESSMENT (L.E.S.A.) - LESA is a systematic approach for evaluating a parcel of land and to determine a numerical value for the parcel for farmland preservation purposes.

MODERN SOIL SURVEY - A soil survey is a field investigation of the soils of a specific area, supported by information from other sources. The kinds of soil in the survey area are identified and their extent shown on a map, and an accompanying report describes, defines, classifies, and interprets the soils. Interpretations predict the behavior of the soils under different used and the soils' response to management. Predictions are made for areas of soil at specific places. Soils information collected in a soil survey is useful in developing land-use plans and alternatives involving soil management systems and in evaluating and predicting the effects of land use.

PALUSTRINE - Name given to inland freshwater wetlands.

PERMEABILITY - Values listed estimate the range (in rate and time) it takes for downward movement of water in the major soil layers when saturated but allowed to drain freely. The estimates are based on soil texture, soil structure, available data on permeability and infiltration tests, and observation of water movement through soils or other geologic materials.

PIQ - Parcel in question

POTENTIAL FROST ACTION - Damage that may occur to structures and roads due to ice lens formation causing upward and lateral soil movement. Based primarily on soil texture and wetness.

PRIME FARMLAND - Prime farmland soils are lands that are best suited to food, feed, forage, fiber and oilseed crops. It may be cropland, pasture, woodland, or other land, but it is not urban and built up land or water areas. It either is used for food or fiber or is available for those uses. The soil qualities, growing season, and moisture supply are those needed for a well-managed soil economically to produce a sustained high yield of crops. Prime farmland produces in highest yields with minimum inputs of energy and economic resources and farming the land results in the least damage to the environment. Prime farmland has an adequate and dependable supply of moisture from precipitation or irrigation. The temperature and growing season are favorable. The level of acidity or alkalinity is acceptable. Prime farmland has few or no rocks and is permeable to water and air. It is not excessively erodible or saturated

NRI 2202 May 2022

with water for long periods and is not frequently flooded during the growing season. The slope ranges mainly from 0 to 5 percent (USDA Natural Resources Conservation Service).

PRODUCTIVITY INDEXES - Productivity indexes for grain crops express the estimated yields of the major grain crops grown in Illinois as a single percentage of the average yields obtained under basic management from several of the more productive soils in the state. This group of soils is composed of the Muscatine, Ipava, Sable, Lisbon, Drummer, Flanagan, Littleton, Elburn and Joy soils. Each of the 425 soils found in Illinois are found in Circular 1156 from the Illinois Cooperative Extension Service.

SEASONAL - When used in reference to wetlands indicates that the area is flooded only during a portion of the year.

SHRINK-SWELL POTENTIAL - Indicates volume changes to be expected for the specific soil material with changes in moisture content.

SOIL MAPPING UNIT - A map unit is a collection of soil areas of miscellaneous areas delineated in mapping. A map unit is generally an aggregate of the delineations of many different bodies of a kind of soil or miscellaneous area but may consist of only one delineated body. Taxonomic class names and accompanying phase terms are used to name soil map units. They are described in terms of ranges of soil properties within the limits defined for taxa and in terms of ranges of taxadjuncts and inclusions.

SOIL SERIES - A group of soils, formed from a particular type of parent material, having horizons that, except for texture of the A or surface horizon, are similar in all profile characteristics and in arrangement in the soil profile. Among these characteristics are color, texture, structure, reaction, consistence, and mineralogical and chemical composition.

SUBSIDENCE - Applies mainly to organic soils after drainage. Soil material subsides due to shrinkage and oxidation.

TERRAIN - The area or surface over which a particular rock or group of rocks is prevalent.

TOPSOIL - That portion of the soil profile where higher concentrations of organic material, fertility, bacterial activity and plant growth take place. Depths of topsoil vary between soil types.

WATERSHED - An area of land that drains to an associated water resource such as a wetland, river or lake. Depending on the size and topography, watersheds can contain numerous tributaries, such as streams and ditches, and ponding areas such as detention structures, natural ponds and wetlands.

WETLAND - An area that has a predominance of hydric soils and that is inundated or saturated by surface or groundwater at a frequency and duration sufficient enough to support, and under normal circumstances does support, a prevalence of hydrophytic vegetation typically adapted for life in saturated soil conditions.

REFERENCES

Hydric Soils of the United States. USDA Natural Resources Conservation Service, 2007.

<u>DFIRM – Digital Flood Insurance Rate Maps for Kendall County.</u> Prepared by FEMA – Federal Emergency Management Agency.

<u>Hydrologic Unit Map for Kendall County.</u> Natural Resources Conservation Service, United States Department of Agriculture.

<u>Land Evaluation and Site Assessment System.</u> The Kendall County Department of Planning Building and Zoning, and The Kendall County Soil and Water Conservation District. In cooperation with: USDA, Natural Resources Conservation Service.

<u>Soil Survey of Kendall County</u>. United States Department of Agriculture 2008, Natural Resources Conservation Service.

Illinois Urban Manual. Association of Illinois Soil & Water Conservation Districts, 2020.

Kendall County Land Atlas and Plat Book. 21st Edition, 2021.

<u>Potential For Contamination of Shallow Aquifers from Land Burial of Municipal Wastes</u>. Illinois State Geological Survey.

<u>Natural Resources Conservation Service National Wetland Inventory Map.</u> United States Department of Agriculture.

<u>Geologic Road Map of Illinois.</u> Department of Natural Resources, Illinois State Geological Survey, Natural Resources Building, 615 East Peabody, Champaign IL 61820-6964.

Wetlands - The Corps of Engineers' Administration of the Section 404 Program (GAO/RCED-88-110).

<u>Soil Erosion by Water</u> - United States Department of Agriculture Natural Resources Conservation Service. Agriculture Information Bulletin 513.

<u>The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities</u>, prepared by the Nature Conservancy Great Lakes Program 79W. Monroe Street, Suite 1309, Chicago, IL 60603, January 1994.

Attachment 8

 From:
 Jillian Prodehl

 To:
 Matt Asselmeier

 Subject:
 [External]Petition 22-10

Date: Monday, May 9, 2022 12:57:47 PM

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Matt,

The Planning Commission for Seward Township did pass the below, but our remarks were seeing if there is a lighting plan for the security lights with their location being so close to residences. We did not see a photometric plan in their petition.

Petition 22-10- Mark Fecht on Behalf of Fecht Brothers, Inc. (property owner), and Jeremy and Samantha Dippold, on Behalf of Best Budget Tree, LLC

Thank you! Jillian Prodehl
 From:
 Lara Edgar

 To:
 Matt Asselmeier

 Cc:
 Engel Natalie

 Subject:
 [External]Re: 09-15-200-003 Question

 Date:
 Wednesday, May 4, 2022 10:34:23 AM

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning,

Thank you for reaching out. We have decided that we also do not want a ROW dedication however - we do expect that if there were ever to be a bike path at this location, that the developer would coordinate with IDOT to construct.

Thank you,

Edgar Lara

Village Planner



One Towne Center Blvd | Shorewood, IL 60404 (E): elara@vil.shorewood.il.us (P): 1-815-741-7708

Would you like to help with <u>Designing Shorewood</u>? Join the Comprehensive Planning efforts by sharing your thoughts and ideas about designing Shorewood's future.

From: Matt Asselmeier < masselmeier@co.kendall.il.us>

Sent: Wednesday, April 20, 2022 9:47 AM

To: Jim Torri <Jtorri@joliet.gov>; Engel Natalie <nengel@vil.shorewood.il.us>

Cc: Scott Koeppel <skoeppel@co.kendall.il.us>; Scott Gengler <sgengler@co.kendall.il.us>;

Fran Klaas <FKlaas@co.kendall.il.us> **Subject:** 09-15-200-003 Question

CAUTION: This email originated from outside of the organization. Do not click on links or open attachments unless you recognize the sender, can confirm their contact information, were expecting the communication, and know the content is safe.

Jim and Natalie:

Kendall County received an application for a special use permit for a landscaping business at this property.

While this property is inside Shorewood's planning area, Joliet's plan calls for a bike path along Route 52 at this property. IDOT verbally told me that they do not want a ROW dedication.

Do either of your municipalities want a ROW dedication?

Thanks,

Matthew H. Asselmeier, AICP, CFM Senior Planner Kendall County Planning, Building & Zoning 111 West Fox Street Yorkville, IL 60560-1498

PH: 630-553-4139 Fax: 630-553-4179



MINOOKA FIRE PROTECTION DISTRICT

"A Culture of Excellent Service"

P.O. Box 736 7901 E. Minooka Road Minooka, Illinois 60447

Ph: 815-467-5637 Fx: 815-467-5453 www.minookstire.com

May 5, 2022

Mr. Matthew H. Asselmeier, AICP, CFM Senior Planner Kendall County Planning, Building & Zoning 111 West Fox Street Yorkville, IL 60560-1498

Re: Kendall County Zoning Petition 22-10

PIN: 09-15-200-003

Dear Mr. Asselmeier:

A review of Petition 22-10 has been completed and the Fire District has the following stipulations:

- A fire alarm system that complies with the 2015 International Fire Code, NFPA 72 and Minooka
 Fire Protection District Ordinance's is required for the proposed building. Have the Petitioner's
 fire alarm contractor submit plans for review and approval prior to beginning installation of the
 fire alarm system.
- The proposed mulch pile will need to be monitored and maintained to prevent overheating and a fire. Please provide the Fire District with a plan to monitor and maintain the mulch pile. No smoking signs will need to be posted to prevent smoking near the mulch pile.
- Due to the distance from municipal water supply combined with the proposed mulch storage a dry fire hydrant that can utilize the pond as a water source is recommended.
- 4. The address for this property will need to be properly marked at the street.

No guarantee is rendered as to the completeness of the zoning change application review, and the responsibility for full compliance with both state and locally adopted codes, standards and regulations rests with the owner or his authorized agent or subcontractor. Subsequent discovery of errors or omissions shall not be construed as authority to violate, cancel or set aside any provision of any applicable codes.

Thank you for the opportunity to review and comment on your application. Should you have any questions or concerns, please feel free to contact me at 815-467-5637 ext. 113.

Respectfully,

Mary Ludemann, Fire Inspector Minooka Fire Protection District

Attachment 10, Page 2

From: Mary Ludemann
To: Matt Asselmeier

Subject: RE: [External]FW: Kendall County Zoning Petition 22-10

Date: Friday, May 6, 2022 9:10:07 AM

Hi,

Somewhere visible near the mulch pile area to prevent any smoking materials from accidentally reaching the mulch. Just something to remind employees to avoid smoking in that area.

Take care,

Mary Kay Ludemann, Fire Inspector Minooka Fire Protection District 7901 E. Minooka Road P.O. Box 736 Minooka, IL 60447 (815) 467-5637 ext. 113 www.minookafire.com

From: Matt Asselmeier < masselmeier@kendallcountyil.gov>

Sent: Thursday, May 5, 2022 2:15 PM

To: Mary Ludemann < ludemannm@MinookaFire.com>

Subject: RE: [External]FW: Kendall County Zoning Petition 22-10

Mary:

Regarding the no smoking signs, do you want those placed at a particular location in relation to the mulch pile?

Thanks,

Matthew H. Asselmeier, AICP, CFM Senior Planner Kendall County Planning, Building & Zoning 111 West Fox Street Yorkville, IL 60560-1498

PH: 630-553-4139 Fax: 630-553-4179

ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC) May 3, 2022 – Unapproved Meeting Minutes

PBZ Chairman Scott Gengler called the meeting to order at 9:01 a.m.

Present:

Matt Asselmeier – PBZ Department Scott Gengler – PBZ Committee Chair Brian Holdiman – PBZ Department Fran Klaas – Highway Department Alyse Olson – Soil and Water Conservation District Aaron Rybski – Health Department

Absent:

Meagan Briganti – GIS Department Greg Chismark – WBK Engineering, LLC David Guritz – Forest Preserve Commander Jason Langston – Sheriff's Department

Audience:

Jeremy Dippold, Samantha Dippold, and John Tebrugge

AGENDA

Mr. Klaas made a motion, seconded by Mr. Rybski, to approve the agenda as presented.

With a voice vote of six (6) ayes, the motion carried.

MINUTES

Mr. Rybski made a motion, seconded by Mr. Klaas, to approve the April 5, 2022, meeting minutes.

With a voice vote of five (5) ayes, the motion carried. Ms. Olson abstained.

PETITIONS

Petition 22-10 Mark Fecht on Behalf of Fecht Brothers, Inc. (Property Owner) and Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC (Contract Purchaser)

Mr. Asselmeier summarized the request.

Best Budget Tree, LLC would like to purchase the subject property from Fecht Brothers Inc. in order to operate a tree and landscaping business at the property.

Best Budget Tree, LLC has been in existence for over ten (10) years.

The application materials, site plan, landscaping plan, stormwater plans, and renderings of the proposed building were provided.

The property is on the north side of Route 52 across from 2190 and 2200 Route 52.

The property is approximately forty-eight (48) acres in size.

The property is zoned A-1 Agricultural.

The County's Future Land Use Map calls for the property to be Rural Residential (Max 0.65 Du/Acre). Shorewood's Future Land Use Map calls for the property to be Residential and Commercial.

Route 52 is a State maintained Arterial road.

Joliet has a trail planned along Route 52, but Joliet does not want a right-of-way dedication at this time; an email to that effect was provided.

There are no floodplains on the property. There is a wetland near the northwest corner of the property.

The adjacent land uses are Agricultural and Single-Family Residential.

The adjacent properties are zoned A-1 and R-3.

The County's Future Land Use Map calls for the area to be Commercial, Rural Residential, and Suburban Residential. Joliet's Future Land Use Map calls for the area to be Residential. Shorewood's Future Land Use Map calls for the area to be Residential and Commercial.

The nearby properties are zoned A-1, A-1 SU, and R-1, and R-3.

The A-1 special use permit to the west is for the sale of agricultural products not grown on the premises.

EcoCAT Report was submitted on April 15, 2022, and indicated the following protected resources:

Aux Sable Creek INAI Site Greater Redhorse (Moxostoma valenciennesi)

The Illinois Department of Conservation determined that negative impacts were unlikely and consultation was terminated on April 18, 2022.

The application for NRI was submitted April 21, 2022. The LESA Score was 210 indicating a medium level of protection.

Petition information was sent to Seward Township on April 25, 2022.

Petition information was sent to the Village of Shorewood on April 25, 2022.

Petition information was sent to the Minooka Fire Protection District on April 25, 2022.

Per Section 7:01.D.30 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

- 1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
- 2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least seventy-three thousand, two hundred eighty pounds (73,280 lbs.), unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.
- 3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials, the above conditions have been met.

According to the business plan, the business currently operates two (2) four (4) employee crews in April through October and one (1) four (4) employee crew in November through March. The Petitioners plan to hire four (4) additional employees, if business increases. Employees arrive at the property at approximately 7:30 a.m., go to work sites, and return to the property between 3:30 p.m. and 4:00 p.m. Employees unload equipment and materials and leave between 4:30 p.m. and 5:00 p.m. The business operates on Monday through Fridays with an occasional Saturday.

Business equipment presently consists of two (2) bucket trucks, two (2) wood chippers, two (2) one (1) ton pickup trucks, two (2) utility trailers, two (2) spare pick-up trucks, and one (1) wheel leader tractor. When not in operation, the Petitioners plan to house vehicles and equipment inside the proposed approximately nine thousand six hundred (9,600) square foot building. Mulch and firewood piles would be placed on the gravel area as shown on the site plan and landscaping plan and would be piled a maximum twelve feet (12') in height. The Petitioners do not plan to store stone, brick, or rock at the property. Per the site plan, the gravel area is approximately ten point five (10.5) acres in size. If there is a motor vehicle or equipment related leak, the impacted gravel will be removed and replaced with clean gravel.

No retail services will be available at the property and retail customers will not be invited onto the property.

If approved, the Petitioners plan to start operations as quickly as possible.

One (1) approximately nine thousand six hundred (9,600) square foot building is proposed for the site in the location depicted on the site plan and landscaping plan. The building will look substantially like the rendering provided. The walls will be approximately sixteen feet (16') feet tall and the doors will be fourteen feet (14') in height. The peak of the building will be a maximum twenty-four feet (24').

Any structures related to the landscaping business would be required to obtain applicable building permits.

No well or septic system presently exists on the property. No other utilities are located on the property.

One (1) ten foot by ten foot (10' X 10') dumpster enclosure was shown on the site plan and landscaping plan east of the vehicle parking area.

The property drains to the south.

There is one (1) wetland located near the northwest corner of the property.

The site plan and landscaping plan show a proposed seventy-three thousand, nine hundred eighty-four (73,984) square foot wet bottom pond. At the deepest point, the pond will be sixteen feet (16') deep. The stormwater plan information was provided.

Per the site plan and landscaping plan, the Petitioners plan to install one (1) thirty foot (30') wide gravel driveway. The driveway will be approximately forty-eight feet (48') from the western property line.

According to site plan and landscaping plan, the Petitioners plan to install two (2) parking areas. One (1) parking area is planned south of the building and the other parking area is planned west of the building. The total number of parking spaces is twenty-one (21) including one (1) handicapped accessible parking space.

Three (3) pipeline easements exist on the property.

No existing lighting is located on the property. The Petitioners plan to install security lighting. No information was provided regarding lighting type or location.

According to the site plan and landscaping plan, one (1) non-illuminated sign is proposed between the gravel driveway and the western property line. No information was provided regarding sign dimensions or height.

No security information was provided.

The landscaping plan shows one hundred fifty (150) white pines along the perimeter of the property. The white pines will be three (3') feet at the time of planting and will grow to between fifty feet (50') and eighty feet (80'). Ten (10) deciduous trees are planned along the perimeter of the pond. The trees will be one and one half inches (1.5") at the time of planting. The landscaping plan also calls for a seed mix of Kentucky blue grass and turf type perennial grass around the pond and along the gravel driveway. Vegetation will be installed after the gravel and pond are installed.

The portion of the property not used for storage, building, driveway, or the pond will remain farmed. Most of the property will be farmed in 2022, which will delay the installation of the landscaping until 2023.

No information was provided regarding noise control.

No new odors are foreseen by the proposed use.

If approved, this would be the nineteenth (19th) special use permit for a landscaping business in unincorporated Kendall County.

The proposed Findings of Fact were as follows:

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Provided the site is developed in accordance with the submitted site plan and landscaping plan, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. Conditions may be placed in the special use permit ordinance to address hours of operation.

That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. If a stormwater management permit is issued based on the submitted materials, drainage should not be an issue. If the Illinois Department of Transportation approves the access, ingress and egress should not be an issue. Utilities will need to be extended and/or installed on the property.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true. No variances are required.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 9-21 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents". Also, the Kendall County Future Land Use Map and the Village of Shorewood's Future Land Use Map call for commercial uses near the intersection of Route 52 and Arbeiter Road.

Staff recommends approval of the special use permit for a landscaping business subject to the following conditions and restrictions:

- 1. The site shall be developed substantially in accordance with the site plan and landscaping plan.
- 2. The gravel area shown on the site plan and landscaping plan shall not exceed ten point five (10.5) acres in size. The owners of the business allowed by this special use permit may reduce the amount of acreage covered by gravel.
- 3. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
- 4. One (1) approximately nine thousand six hundred (9,600) square foot building may be installed on the subject property in substantially the location shown on the site plan. The building shall look substantially like the building depicted in the rendering. The maximum height of the building shall be twenty-four feet (24').
- 5. Any new structures constructed or installed related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
- 6. No business operations may commence at the subject property until an occupancy permit is issued for the building shown on the site plan. No business operations may commence at the subject property until the parking stalls, dumpster enclosure, and wet bottom pond shown on the site plan are installed. Business operations may commence at the subject property prior to the installation of vegetation shown on the landscaping plan.
- 7. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property during the hours the business is open and shall be stored indoors during non-business hours.
- 8. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
- 9. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
- 10. All landscape related materials shall be stored indoors or on the gravel area depicted on the site plan. The maximum ZPAC Meeting Minutes 05.03.22

height of the piles of landscaping related material shall be twelve feet (12') in height, unless otherwise restricted by a stormwater management permit. Stone, brick, and rock shall not be stored outdoors.

- 11. The size and depth of the wet bottom pond shall be governed by the stormwater management permit issued for the subject property.
- 12. One (1) two (2) sided non-illuminated sign may be installed on the location depicted on the site plan.
- 13. One hundred fifty (150) white pines shall be installed in substantially the locations shown on the landscaping plan. The white pines shall be a minimum of three feet (3') in height at the time of planting. The white pines shall be installed by June 30, 2023. Damaged or dead white pines shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the white pines.
- 14. Ten (10) deciduous trees shall be installed in substantially the locations shown on the landscaping plan. The deciduous trees shall be a minimum one point five inches (1.5") in diameter at the time of planting. The deciduous trees shall be installed by June 30, 2023. Damaged or dead deciduous trees shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the deciduous trees.
- 15. The seed mix called for in the landscaping plan shall be installed by June 30, 2023. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the seed mix.
- 16. No landscape waste generated off the property can be burned on the subject property.
- 17. A maximum of twenty (20) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work. No employees shall engage in the sale of landscaping related materials on the property.
- 18. No retail customers of the business allowed by this special use permit shall be invited onto the property by anyone associated with the use allowed by this special use permit.
- 19. The hours of operation of the business allowed by this special use permit shall be Monday through Saturday from 7:30 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
- 20. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

- 21. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
- 22. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
- 23. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.

Attachment 11, Page 6

- 24. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
- 25. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
- 26. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

Mr. Gengler asked how long the business had been operating. Jeremy Dippold responded that he had been working in the area since the 1990s.

Mr. Klaas asked if the six inch (6") pipe went to Route 52. John Tebrugge, Petitioners' Engineer, said the pipe goes almost to Route 52.

Mr. Holdiman asked if the Petitioners had discussed access with the Illinois Department of Transportation. Mr. Dippold favored having a wider driveway. Samantha Dippold said final approval of the access would not occur until they (the Dippolds) own the property.

Mr. Holdiman discussed the applicable building code. He advised the Petitioners to tell their builders that the building would not be agricultural use.

Mr. Rybski asked about bathrooms and sinks. Based on current information, the well would not be a non-community well. He advised the Petitioners to design the septic system for maximum load.

Discussion occurred about the size of the gravel area. The stormwater calculations will be based on the ten point five (10.5) acre maximum, but the Petitioners do not have to construct a gravel area of that size.

The business is currently located at Interstate 55 and Renwick Road.

The Petitioners have not had any correspondence with Seward Township. They were advised to contact Seward Township.

The Petitioners had not talked to any neighbors. They were advised to talk to neighbors.

Discussion occurred about lighting. The Petitioners were advised to identify on the site plan where lights would be placed.

The Petitioners had no plans to use the access off of Arbeiter Road.

The land comes with building allocations.

Mr. Holdiman made a motion, seconded by Mr. Rybski, to recommend approval of the requested special use permit with the condition proposed by Staff.

With a voice vote of six (6) ayes, the motion carried.

The proposal goes to the Kendall County Regional Planning Commission on May 25, 2022.

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

Mr. Asselmeier reported that Petition 22-08 was approved by the County Board.

OLD BUSINESS/NEW BUSINESS

None

CORRESPONDENCE

None

PUBLIC COMMENT

None

Attachment 11, Page 7

ADJOURNMENT

Mr. Rybski made a motion, seconded by Mr. Klaas, to adjourn.

With a voice vote of six (6) ayes, the motion carried.

The ZPAC, at 9:29 a.m., adjourned.

Respectfully Submitted, Matthew H. Asselmeier, AICP, CFM Senior Planner



May 4, 2022

Mr. Matt Asselmeier Kendall County Planning, Building, & Zoning 111 West Fox Street Yorkville, IL 60560-1498

Subject: Best Budget Tree (WBK Project 19-102.AN)

Dear Mr. Asselmeier:

We have received and reviewed the following information for the subject project:

- Stormwater Management Detention Design Computations prepared by Tebrugge Engineering dated April 12, 2022 and received April 20, 2022.
- Engineering Plans for Best Budget Tree Site Plan prepared by Tebrugge Engineering dated April 2022 and received April 20, 2022.
- Landscape Plan for Best Budget Tree Site Plan prepared by Tebrugge Engineering dated April 2022 and received April 20, 2022.

The following comments require resolution prior to our recommendation for approval of a stormwater permit.

- Stormwater Report The area within the silt fence is over 23 acres compared to 13 acres identified in the stormwater report.
- Stormwater Report The curve number for impervious areas should be 98. Also, verify
 the curve number for gravel and "landscape" based on hydrologic soil group. Finally, the
 wet pond has a curve number of 100.
- Stormwater Report Areas of development are not being captured and bypass the stormwater basin. This includes a gravel driveway. Quantify these areas, flows and justify why this is acceptable.
- 4. Stormwater Report Provide an existing conditions exhibit and evaluation of the property identifying off-site tributary areas and existing outfall locations and existing 2 year and 100 year flows. Provide a corollary proposed conditions exhibit with outfall locations and proposed peak flow rates.
- 5. Stormwater Report Provide a field tile map.
- 6. Stormwater Report Provide a wetland delineation and determination of jurisdiction.
- Stormwater Report Determine the elevation and location to which the wetland area overtops and flows overland.
- 8. Storm sewer pipe is depicted as crossing several pipeline easements. Verify and document approval of utility crossings.

Part of the Mno-Bmadsen Family



- It appears discharge from the stormwater basin is to US 52. Please verify and provide approval of the discharge by IDOT. Also, provide sizing and approval of the driveway culvert within US 52 ROW.
- Engineering Plans All proposed gravel and impervious surfaces are not clearly routed to the stormwater basin.
- 11. Engineering Plans Depict all storm sewer pipe size, materials, manholes, slopes and outfall location. This includes the culvert depicted in US 52 ROW.
- 12. Engineering Plans The plans depict two foot contours. One foot contours are required.
- 13. Engineering Plans An asphalt pavement section is depicted but no area indicated on the plans. Remove the asphalt pavement detail or clearly depict the location of proposed pavement.
- 14. Engineering Plans Clearly depict the normal water elevation and high water elevation in the stormwater basin.

The applicant's design professionals are responsible for performing and checking all design computations, dimensions, details, and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve applicant's design professionals of their duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications. If you have any questions or comments, please contact us at (630) 443-7755.

Sincerely,

Greg Chismark PE

WBK Engineering, LLC

Luminaire Sch	nedule	- Part num	bers are provided by the	he manufacturer and are	only intended to be u	sed as a reference to	output and optics u	used.		
Symbol	Qty	Tag	Arrangement	Luminaire Lumens	Arr. Lum. Lumens	Luminaire Watts	Arr. Watts	LLF	Manufacturer	Description
	14	S1	Single	12010	12010	87.9	87.9	0.900	HUBBELL OUTDOOR	RAR1-160L-100-4K7-3-UNV-AX-X
*	6	W1	Single	7558	7558	82.8	82.8	0.900	HUBBELL OUTDOOR	LNC3-24L4K-105-4-U-X

Calculation Summary					27			
Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min	Description
SITE_Planar	Illuminance	Fc	0.34	4.5	0.0	N.A.	N.A.	READINGS @ GRADE
PARKING AREAS	Illuminance	Fc	1.73	4.4	0.1	44.00	17.30	READINGS @ GRADE

	4																																					
. 10 71							4			24			200						20	2						20	20				Z.		100	1	4			
00 00	0 00	00	00	00	00	00	00	00	00	00	00	00						00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	C
00 00	0.0	00	00	00	00	00	00	00	00	00						00		00	00	00	00	00	00	00	00	00	00	0.0	00	00	00	00	00	00	00	00	00	
00 00	0 00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	
00 00	0 0	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	
00 00	0 00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	
00 00	0 0	00	00	00	00	00	00	00	00	00	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	
00 00	0 0	00	00	00	00	00	00	00	00	0.1	0.1	0.1	02	0.1	0.1	0.1	02	0.1	0.1	0.1	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	
00 00	0 0	00	00	00	0.1	0.1	0.1	0.1	0.1	0.1	02	03	03	03	03	03	03	03	02	0.1	0.1	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	
00 00	0 0 0	00	00	0.1	0.1	02	02	0.1	0.1	0.1	03	06	08	0.7	06	0.7	08	0.7	0.4	02	0.1	0.1	0.1	00	00	00	00	00	00	00	00	00	00	00	00	00	00	
00 00	0 0	00	0.1	0.1	02	03	03	03	02	02	0.4	0.9	16	18	18	18	18	12	0.5	02	0.1	0.1	0.1	0.1	0.1	00	00	00	00	00	00	00	00	00	00	00	00	
00 00	0 00	0.1	0.1	02	03/	06	08	0.7	0.4	0.1	03	0.9	20	3.4	2.9	33	26	12	05	02	0.1	0.1	0.1	0.1	0.1	0.1	0.1	00	00	00	00	00	00	00	00	00	00	
00 00	0 00	0.1	0.1	02	0 5	10	16	16	0.9	0.1	02	06	16	2.4	38	2.9	1.9	0.9	03	0.1	0.1	02	03	03	02	02	0.1	00	00	00	00	00	00	00	00	00	00	
00 00	0 00	0.1	0.1	02	05	1.1	2.4	32	1 5					_	3 W1 MF	H: 15						05	0.7	0.7	Q 5	02	0.1	0.1	00	00	00	00	00	00	00	00	00	
00 00	0 0	0.1	0.1	02	0.5	1.1	26	32	3.4													1.4	1 .7	1.4	o .7	03	0.1	0.1	00	00	00	00	00	00	00	00	00	
00 00	0 00	0.1	0.1	03	06	13	28	35	3 0MH	l: 15												25	3.1	16	0.7	03	0.1	0.1	00	00	00	00	00	00	00	00	00	
00 00	0 00	0.1	02	0.4	08	1.7	33	3.9	2.												a a	36	30	16	• 6	03	0.1	0.1	00	00	00	00	00	00	00	00	00	
00 00	0 0	0.1	02	0.4	08	1.9	33	36	23												W M	1 н: 13 5 0	3 .1	16	0,6	03	0.1	0.1	00	00	00	00	00	00	00	00	00	
00 00	0 00	0.1	02	03	0.7	1.4	28	/ 4.1	22	-),			28															
00 00	0 00	0.1	0.1	03	0.5	10	25	3.1	4.46													12	1 5	13	06	03	0.1	0.1	00	00	00	•00	00	00	00	00	00	
00 00	0 0.1	0.1	0.1	03	0.5	10	23	36	22/	1 H: 15	-											05	0.7	-06	0.4	02	0.1	0.1	00	00	00	00	00	00	00	00	00	
00 0.1									1		20	2 4 w 1	23	18	1.1	12	20	30	1 W18-	23	15	0.7	0.4	03	02	02	0.1	00	•00	00	•00	00	00	•00	•00	00	•00	
0.1 0.1								/				MH	15		/																							
0.1 0.1								1								>=							5															
0.1 0.1								1)	\																							•00	
0.1 0.1										-	7	2.1	_										03													•00	•00	
		03														03											1,17											
		0.1						7 \$1																														
00 00																																						
00 00																																						
00 00			الإ																																			
00 00																																						
00 00																																						
00 00	0 0	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	00	
and the second s			0.0					0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	00	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	00	

LumNo	Label	Mtg Ht	Orient	Tilt
1	LNC3-24L4K-105-4	15	270	0
2	LNC3-24L4K-105-4	15	270	0
3	LNC3-24L4K-105-4	15	90	0
4	LNC3-24L4K-105-4	15	0	0
5	LNC3-24L4K-105-4	15	180	0
6	LNC3-24L4K-105-4	15	180	0
7	RAR1-160L-100-4K7-3	20	91	0

PARKING LOT DESIGN GUIDE	MAINTAINEE	HORIZONTAL	MAINTAINE	D VERTICAL	MAXI	MUM
APPLICATION AND TASK	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN	MAX:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARKING (UNCOVERED) ZONE 2 (SUBURBAN)	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2		-	FOR SECURI RAISE AVG.	

SIMPLIFIED RECOMMENDATIONS BASED ON IES 'THE LIGHTING HANDBOOK' 10TH EDITION AND IES RP-20-14.
INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A
MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES

NI	0	TE	ĺ
IN	U	TE.	

PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.

ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.

THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.

FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.

FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.

CALCULATION GRID VALUES 10'-0" O.C.

Date:5/11/2022

AINFIELD

RD,

Page 1 of 1

HUBBELL
Outdoor Lighting

Attachme	ent 13 Page 2	LOCATION:
	TYPE:	PROJECT:
	CATALOG #:	

SSS-H SERIES POLES

SQUARE STRAIGHT STEEL

RESET

APPLICATIONS

Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

CONSTRUCTION

- Shaft: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners;
 Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall;
 Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- · base cover: Two-piece square aluminum base cover included standard
- pole cap: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- hand hole: Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- anchor bolts: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554).
 Galvanized hardware with two washers and two nuts per bolt for leveling
- · Anchor bolt part numbers:

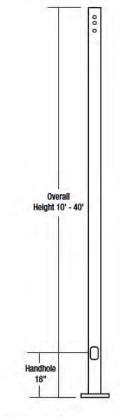
3/4 x 30 x 3 — TAB-30-M38 1 x 36 x 4 — TAB-36-M38

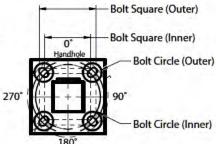
FINISH

- · Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- · Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- · Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

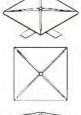
WAREHOUSE 'STOCKED' POLES:

- SSSH-20-40-STK and SSSH-25-40-STK
- · The above catalog numbers use a combination of the S2 and B3 drill pattern

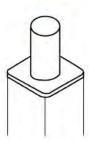




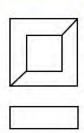
POLE CAP



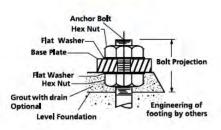
TENON



BASE COVER



BASE DETAIL



HUBBE	LL*
Outdoor	Lighting

SSS	S-H	S	ER	IES
PO	LES	5		

Attachment ₱\$, ₱age 3	LOCATION:
TYPE:	PROJECT:
CATALOG #	

RESET

SQUARE STRAIGHT STEEL

ORDERING GUIDE

Example: SSS-H-25-40-A/B/C-2L-S2-DBT-UL CATALOG #

Series	Height	Shaft	Thickness	Mou	ınting	Finish	i	Option	s
SSS-H Square Straight Steel Pole Hubbell Outdoor	Reference page 2	Reference page 2 Ordering matrix	Reference page 3 Ordering matrix	1 2 2L 3T 4 TA TB TC TR¹ OT	(2.38" × 4")	VGT	White Gloss Smooth	GFI ² EHH ² C05 ² C07 ² C20 ² MPB ² VM2 LAB UL	20 Amp GFCI Receptacle and Cover Extra Handhole .5" Coupling .75" Coupling Mid-pole Luminaire Bracket 2nd mode vibration damper Less Anchor Bolts UL Certified

MOUNTING ORIENTATION

- Denotes handhole location

ACCESSORIES- ORDER SEPARATELY

CATALOG NUMBER	DESCRIPTION		
VM1 ³	1st mode vibration damper		
VM2SXX*	2nd mode vibration damper		

^{*} XX = 08 for 8', 12 for 12', 15 for 16', 20 for 20', and 24' for 24'

2 bolt (2-1/2" spacing), Ratio 2 bolt (3-1/2" spacing)

| Notes: 1 Removable tenon used in conjunction with side arm mounting. First specify desired arm 2 Specify option location using logic found on page 1 (Option Orientation) 3 VM1 recommended on poles 20' and taller with EPA of less than 1.

HU	BBI	ELI	+	
Out	door	· Li	ghtir	ng

Attachment 13, Page 4	LOCATION:
TYPE:	PROJECT:
111.2.	TROJECT.

SS-H SERIES

SQUARE STRAIGHT STEEL

ORDERING GUIDE (CONTINUED)

Attachm	ent 13, Page 4	LOCATION:
	TYPE:	PROJECT:
	CATALOG #:	

RESET

	Height		Nominal	Wall	Bolt	Bolt Circle	Bolt	Base	Anchor	Bolt	Pole
Catalog Number	Feet	Meters	Shaft Dimensions	Thickness	Circle (suggested)	(range)	Square (range)	Plate Square	bolt size	Projection	weight
SSS-H-10-40-A-XX-XX	10	3.0	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	77
SSS-H-12-40-A-XX-XX	12	3.7	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	90
SSS-H-14-40-A-XX-XX	14	4.3	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	103
SSS-H-16-40-A-XX-XX	16	4.9	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	116
SSS-H-18-40-A-XX-XX	18	5.5	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	129
SSS-H-20-40-A-XX-XX	20	6.1	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	142
SSS-H-25-40-A-XX-XX	25	7.6	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	175
SSS-H-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	152
SSS-H-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	171
SSS-H-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	190
SSS-H-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	209
SSS-H-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	257
SSS-H-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	304
SSS-H-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	219
SSS-H-18-50-B-XX-XX	18	5.5	5" square	.188"	11	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	243
SSS-H-20-50-B-XX-XX	20	61	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	267
SSS-H-25-50-B-XX-XX	25	7.6	5" square	188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	327
SSS-H-30-50-B-XX-XX	30	91	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	387
SSS-H-25-50-C-XX-XX	25	76	5" square	.25"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	427
SSS-H-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	507
SSS-H-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	329
SSS-H-25-60-B-XX-XX	25	7.6	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	404
SSS-H-30-60-B-XX-XX	30	9.1	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	479
SSS-H-35-60-B-XX-XX	35	10.7	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	554
SSS-H-40-60-B-XX-XX	40	12.2	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	629

Tactory supplied template must be used when setting anchor bolts. Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

EHH EXTRA HANDHOLE



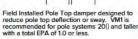
Provision for Grounding

C05 - C07 - C20 -COUPLING



DAMPER 1ST MODE

VM1 - VIBRATION



VM2 - VIBRATION **DAMPER 2ND MODE**



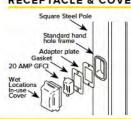
Factory installed, internal damper designed to after pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

VM2SXX - VIBRATION **DAMPER 2ND MODE**

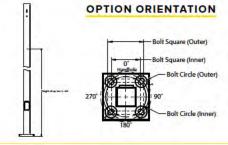


Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

GFI - 20 AMP GFCI RECEPTACLE & COVER



MPB - MID POLE BRACKET Arm, 3" Sq. x 13.5" long ships separately



Follow the logic below when order-ing location specific options. For each option, include its orientation each option, include its onentation (in degrees) and its height (in feet). Example: Option COT should be ordered as: SSS-H-20-40-A-TA-DBT-COT-0-15 (.5" coupling on the handhole/arm side of pole, 15 feet up from the pole base) It spacing required between option. Consult factory for other configurations.

Attachment	DATE	220	0	5
Allacinitetti	10, 1	au	C	0

age

TYPE:

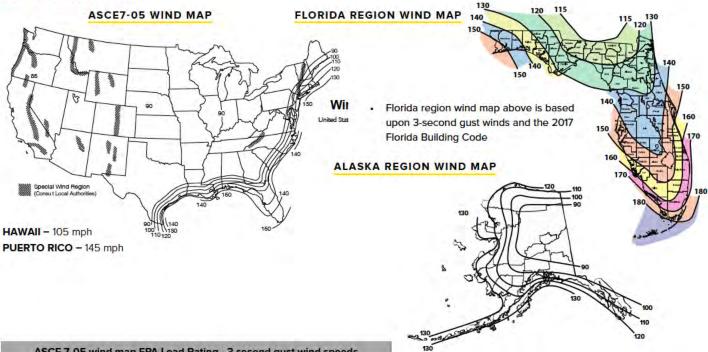
CATALOG #:

LOCATION: PROJECT:

SSS-H SERIES POLES

RESET

SQUARE STRAIGHT STEEL



Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-H-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-H-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-H-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-H-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-H-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-H-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-H-25-40-A	7.3	5.9	3.8	2.9	2.1	8.0	NR	NR	NR	NR
SSS-H-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-H-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-H-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-H-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-H-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-H-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2
SSS-H-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-H-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-H-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-H-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-H-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.9	6.0	5.1
SSS-H-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.5	2.8	2.1	1.4
SSS-H-20-60-B	25.0	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3
SSS-H-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-H-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-H-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-H-40-60-B	8.1	5.8	2.2	NR						

Catalog Number	ind sp	120	130	140	150	160	170	180
SSS-H-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9
SSS-H-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSS-H-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSS-H-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSS-H-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSS-H-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSS-H-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR
SSS-H-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSS-H-16-40-B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6
SSS-H-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6
SSS-H-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSS-H-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSS-H-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5
SSS-H-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSS-H-20-50-B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSS-H-25-50-B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-25-50-C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-C	13,7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSS-H-25-60-B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8
SSS-H-30-60-B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-H-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-H-40-60-B	1.8	NR						

HUBBE	LL°
Outdoor	Lighting

LOCATION:
PROJECT:

SSS-H	I SE	ERI	ES
POLE	S		

SQUARE STRAIGHT STEEL

RESET

- Notes:

 Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.

 The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the
- wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- standards Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. https://hubbellcdn.com/ohwassets/HLl/outdoor/resources/literature/files/Pole_Wind_Induced_Fiyer_HL0I0022.pdf
 Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

Due to our continued efforts to improve our products, product specifications are subject to change without notice.



TYPE:

PROJECT:

CATALOG #:

RATIO Series

AREA/SITE LIGHTER

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- · Visual comfort standard
- · Compact and lightweight design with low EPA
- · 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- · Best in class surge protection available



IP6









RELATED PRODUCTS

8 Airo

8 Cimarron LED

8 Ratio Family

CONTROL TECHNOLOGY





SPECIFICATIONS

CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- · Field rotatable optics

INSTALLATION

- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

ELECTRICAL

 Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

ELECTRICAL (CONTINUED)

- · Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10 V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- SiteSync™ wireless control system is available via 7-pin See ordering information and details at: www.hubbelllighting.com/sitesync
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

CERTIFICATIONS

- DLC[®] (DesignLights Consortium Qualified), with some Premium Qualified configurations.
 Please refer to the DLC website for specific product qualifications at www.designlights.org
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See <u>Buy American Solutions</u>

WARRANTY

- 5 year limited warranty
- See <u>HLI Standard Warranty</u> for additional information

KEY DATA		
Lumen Range	3,000-48,000	
Wattage Range	25–340	
Efficacy Range (LPW)	118–155	
Fixture Projected Life (Hours)	L70>60K	
Weights lbs. (kg)	13.5-24 (6.1-10.9)	

PHOTOMETRY

RATIO BROCHURE

RARI/RAR2 PSG PAGE



ATIO SEDIES

AREA/SITE LIGHTER

Attachment \$3, Page 8	LOCATION:
Attachment 10, 1 age 0	Take a Take

TYPE: PROJECT:

CATALOG #:

ORDERING GUIDE

Example: RAR1-80L-25-3K7-2-UNV-ASQ-BL-NXWE-BC

CATALOG #

ORDERING INFORMATION

Series		# LEDs - Wattage	CCT/CRI	Distribution	Optics Rotation	Voltage	
RAR1	Ratio Area Size 1	80L-25 25W - 3,000 80L-39 39W - 5,200 L 80L-50 50W - 6,000 160L-70 70W - 9,000 160L-100 100W - 12,000 160L-115 115W - 15,000 160L-135 135W - 18,000	mens 4K7 4000K, 70 CRI 5K7 5000K, 70 CRI umens Lumens umens	2 IES TYPE II 3 IES TYPE III 4W IES TYPE IV 5QW IES TYPE V	Blank for no rotation L Optic rotation left R Optic rotation right	UNV 120 208 240 277 347 480	Universal 120-277V 120V 208V 240V 277V 347V 480V
RAR2	Ratio Area Size 2	320L-110 110W - 15,000 320L-140 140W - 18,000 320L-165 165W - 21,000 480L-185 185W - 24,000 480L-210 210W - 27,000 480L-240 240W - 30,000 480L-255 255W - 36,000 480L-295 295W - 42,000 480L-340 340W - 48,000	Lumens Lumens Lumens Lumens) Lumens) Lumens) Lumens				

Mountir	ng
ASQ	Arm mount for square pole/flat surface
ASQU	Universal arm mount for square pole/flat surface
Mountin	ng Round Poles
A_	Arm mount for round pole ¹
A_U	Universal arm mount for round pole ¹
Mountin	ng Other
WB	Wall bracket
MAF	Mast arm fitter for 2-3/8" OD horizontal arm

Knuckle

Color	
BLT	Black Matte Textured
BLS	Black Gloss Smooth
DBT	Dark Bronze Matte Textured
DBS	Dark Brone Gloss Smooth
GTT	Graphite Matte Textured
LGS	Light Grey Gloss Smooth
PSS	Platinum Silver Smooth
WHT	White Matte Textured
WHS	White Gloss Smooth
VGT	Verde Green Textured
Color (Option
CC	Custom Color

NXWE	NX Wireless Enabled (module + radio)	
NXSPW_F	NX Wireless, PIR Occ. Sensor, Daylight Harvesting ⁴	
NXSP_F	NX, PIR Occ. Sensor, Daylight Harvesting ⁴	
Control Optio	ns Other	
SCP-40F	Programmable occupancy sensor ³	
7PR	7-Pin twist lock receptacle	
7PR-SC	7-Pin receptacle with shorting cap	
7PR-MD40F	Low voltage sensor for 7PR	
7PR-TL	7-Pin PCR with photocontrol	
Sensors		
BTS_F	Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens ⁴	
BTSO_F	Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360' lens, up to 12' mounting height ⁵	

BC	Backlight control
F	Fusing (must specify voltage)
TB	Terminal block
200	2

2PF 2 power feed with 2 drivers²

Notes:

- 1 Replace "_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole
- Not available with 25, 50, 255, 295 & 340W configurations
- 3 At least one SCPREMOTE required to program SCP motion sensor
- 4 Replace "_" with "14" for up to 14' mounting height,
 "40F" for 15-40' mounting height
- 5 Replace "_" with "12" for up to 12' mounting height

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Mounting	Finish
RAR1-100-4K-3	12,000	100W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-100-4K-4W	12,000	100W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR1-135-4K-3	18,000	135W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-135-4K-4W	18,000	135W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR2-165-4K-3	21,000	165W	320L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR2-165-4K-4W	21,000	165W	320L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze



RATIO SERIES

Attachment	Par Page 9
	TYPE:

LOCATION:

YPE: PROJECT:

CATALOG #:

ADEA/CITE LICHTED

OPTIONS AND ACCESSORIES - STOCK (ORDERED SEPARATELY)

Catalog Number	Description	
RARRPA3DB	Round pole adapter 3.5" to 4.13" for ASQ arm, 3.5" to 4.13" OD pole, dark bronze finish	- 1
RARASUDB	Universal mount for square pole or round pole 3.5" to 4.13", dark bronze finish	
RARBC80L	Ratio blacklight control 80L	
RARBC160L	Ratio blacklight control 160L	
RARBC320L	Ratio blacklight control 320L	
RARBC480L	Ratio blacklight control 480L	- 4

ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
RAR-ASQU-XX	Universal arm mount for square pole/flat surface ²
RAR-A_U-XX	Universal arm mount for round poles ¹²
RAR-RPAXX	Round pole adapter ^{1,2}
SETAVP-XX	4" square pole top tenon adapter, 2 3/8" OD slipfitter ²
RETAVP-XX	4° round pole top tenon adapter; 2 3/8" OD slipfitter for max. Four fixtures (90o); order 4" round pole adapters separately ²
BIRD-SPIKE-3	Ratio size 1 bird deterrent/spikes
BIRD-SPIKE-4	Ratio size 2 bird deterrent/spikes
RARWB-XX	Wall bracket - use with Mast Arm Fitter or Knuckle ²

Replace "_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole

Works with external networked photosensor wiSCAPE Gateway required for system programming

CONTROLS

Control Options	
Standalone	
SW7PR	SiteSync [™] on fixture module via 7PR
SWUSB	SiteSync™ Software on USB
SWTAB	SiteSync™ Windows Tablet
SWBRG	SiteSync* Wireless Bridge Node
SWFC	SiteSync* Field Commission Serve
SCPREMOTE	Order at least one per project location to program and control
Networked - Wireless	
WIR-RME-L	wiSCAPE External Fixture Module ^{1,2}
NX Networked - Wireless	
NXOFM-1R1D-UNV	NX Wireless, Daylight Harvesting, BLE, 7 pin twisted lock



² Replace "XX" with desired color/paint finish



Attachment 13, Page 10
Attachment 13, Page 10

LOCATION:

TYPE:

PROJECT:

CATALOG #:

RATIO SERIES

AREA/SITE LIGHTER

PERFORMANCE DATA

Describing	Nominal	System	Dist.	5K (500	OOK NO	MINA	L 70 C	RI)	4K (400	OK NO	MINA	L 70 C	RI)	3K (300	OK NO	MINA	80 0	CRI)
Description	Wattage	Watts	Type	Lumens	LPW	В	U	G	Lumens	LPW	В	U	G	Lumens	LPW	В	U	0
		2	3438	135	1	0	1	3445	136	1	0	1	3240	128	1	0	1	
	25	25.4	3	3460	136	1	0	1	3467	136	1	0	1	3260	128	1	0	3
		25.4	4W	3406	134	1	0	1	3412	134	1	0	1	3209	126	1	0	1
			5QW	3483	137	2	0	1	3490	137	2	0	1	3282	129	2	0	
	39 39		2	5263	139	1	0	2	5273	139	1	0	2	4960	131	1	0	3
		20	3	5297	139	1	0	2	5308	140	1	0	2	4991	131	1	0	3
		39	4W	5200	137	1	0	2	5210	137	1	0	2	4900	129	1	0	1
			5QW	5333	140	3	0	1	5344	141	3	0	1	5025	132	3	0	1
			2	6310	127	1	0	2	6323	127	1	0	2	5946	120	1	0	2
	FO	49.8	3	6349	128	1	0	2	6362	128	1	0	2	5983	120	1	0	1
	50	45.6	4W	6233	125	1	0	2	6245	126	1	0	2	5873	118	1	0	2
		5QW	6392	129	3	0	1	6405	129	3	0	1	6023	121	3	0		
	70		2	9486	139	1	0	2	9505	139	1	0	2	8938	131	1	0	1
RAR1		68.4	3	9544	140	1	0	2	9563	140	1	0	2	8993	131	1	0	12
RARI	70	68.4	4W	9395	137	1	0	2	9414	138	1	0	2	8853	129	1	0	2
			5QW	9608	140	4	0	2	9628	141	4	0	2	9054	132	4	0	1
			2	11976	133	2	0	2	12000	133	2	0	2	11285	125	2	0	- 5
	100	90.0	3	12050	134	2	0	2	12074	134	2	0	2	11354	126	2	0	1
	100	90.0	4W	11861	132	2	0	2	11885	132	2	0	2	11177	124	2	0	1
			5QW	12131	135	4	0	2	12155	135	4	0	2	11431	127	4	0	1.4
			2	15572	142	2	0	2	15494	141	2	0	2	14871	136	2	0	1
	115	109.7	3	15833	144	2	0	2	15754	144	2	0	2	15121	138	2	0	*3
	115	109.7	4W	15281	139	2	0	3	15205	139	2	0	3	14623	133	2	0	1.5
-			5QW	15732	143	4	0	2	15653	143	4	0	2	15024	137	4	0	1
	1		2	17971	135	3	0	3	17881	134	3	0	3	17163	129	3	0	1
	125	122.2	3	18272	137	2	0	2	18181	136	2	0	2	17450	131	2	0	3
	135	133.3	4W	17635	132	2	0	3	17547	132	2	0	3	16876	127	2	0	,
			5QW	18156	136	4	0	2	18065	136	4	0	2	17339	130	4	0	3

Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.





Attachment 1³, Page 11

LOCATION:

TYPE:

PROJECT:

CATALOG #:

RATIO SERIES

AREA/SITE LIGHTER

PERFORMANCE DATA

Donorintian	Nominal	System					4K (4000K NOMINAL 70 CRI)				3K (3000K NOMINAL 80 CRI)											
Description	Wattage	Watts	Туре	Lumens	LPW	В	U	G	Lumens	LPW	В	U	G	Lumens	LPW	В	U	1				
			2	15326	153	2	0	3	15357	153	2	0	3	14442	144	2	0					
	110	1002	3	15421	154	2	0	3	15452	154	2	0	3	14531	145	2	0					
	110	100.3	4W	15180	151	2	0	2	15210	152	2	0	2	14304	143	2	0					
			5QW	15525	155	4	0	2	15556	155	4	0	2	14629	146	4	0					
			2	19395	146	2	0	3	19434	146	2	0	3	18276	137	2	0					
	140	133.2	3	19515	147	2	0	3	19554	147	2	0	3	18389	138	2	0					
	140	133.2	4W	19210	144	2	0	3	19248	145	2	0	3	18101	136	2	0					
			5QW	19647	148	5	0	3	19686	148	5	0	3	18513	139	5	0					
			2	21651	141	3	0	3	21695	141	3	0	3	20402	133	3	0					
	165	153.6	3	21785	142	3	0	3	21828	142	3	0	3	20527	134	3	0					
	103	155,0	4W	21444	140	3	0	3	21487	140	3	0	3	20206	132	3	0					
			5QW	21932	143	5	0	3	21976	143	5	0	3	20666	135	5	0					
			2	26046	149	3	0	3	26098	150	3	0	3	24543	141	3	0					
	185 1	195	185	125	185	174.5	3	26207	150	3	0	3	26259	150	3	0	3	24694	142	3	0	
	100	174.5	4W	25797	148	3	0	4	25849	148	3	0	4	24308	139	3	0					
			5QW	26384	151	5	0	3	26437	152	5	0	3	24861	143	5	0					
			2	28848	145	3	0	4	28906	146	3	0	4	27184	137	3	0					
RAR2	210	198.2	3	29027	146	3	0	4	29085	147	3	0	4	27351	138	3	0					
RAR2	210	130.2	4W	28572	144	3	0	4	28630	144	3	0	4	26924	136	3	0					
			5QW	29222	147	5	0	4	29281	148	5	0	4	27536	139	5	0					
			2	32087	141	3	0	4	32151	142	3	0	4	30235	133	3	0					
	240	226.9	3	32285	142	3	0	4	32350	143	3	0	4	30422	134	3	0					
	240	220.9	4W	31780	140	3	0	4	31844	140	3	0	4	29946	132	3	0	ĺ				
			5QW	32503	143	5	0	4	32568	144	5	0	4	30627	135	5	0					
			2	37040	144	3	0	4	36854	143	3	0	4	35373	138	3	0					
	255	257.0	3	37660	147	3	0	4	37472	146	3	0	4	35966	140	3	0					
	233	237.0	4W	36347	141	3	0	5	36166	140	3	0	5	34782	135	3	0					
			5QW	37420	146	5	0	4	37233	145	5	0	4	35736	139	5	0					
205		2	41733	142	3	0	4	41524	141	3	0	4	39855	136	3	0						
	295	294.0	3	42432	144	3	0	4	42220	144	3	0	4	40523	138	3	0					
	293	254.0	4W	40953	139	3	0	5	40748	139	3	0	5	39190	133	3	0					
			5QW	42162	143	5	0	4	41951	143	5	0	4	40264	137	5	0					
			2	48392	139	4	0	5	48150	139	4	0	5	46215	133	4	0					
	340	347.1	3	49203	142	3	0	4	48957	141	3	0	4	46989	135	3	0					
	340	34/.1	4W	47488	137	4	0	5	47261	136	4	0	5	45443	131	4	0					
			5QW	48889	141	5	0	5	48645	140	5	0	5	46689	135	5	0	Ī				

Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.





Attachment 13, Page 12	Attachment	13 Page 1	2
------------------------	------------	-----------	---

LOCATION:

TYPE:

PROJECT:

CATALOG #:

RATIO SERIES

AREA/SITE LIGHTER

ELECTRICAL DATA

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)				
		120	0.21					
	0.5	208	0.12	05.				
	25	25 240 0.12		25.4				
		277 0.09						
		120	0.32					
		208	0.18					
	20	240	0.16	20.0				
	39	277	0.14	38.0				
		347	0.11					
		480	0.08					
		120	0.42					
		208	0.24	40.0				
	50	240	0.21	49.8				
		277	0.18					
		120	0.57					
	70	208						
DADA		240	0.29	68.4				
RAR1		277	0.25					
		120	0.75					
	100	208	0.43	90.0				
		240	0.38	90.0				
		277	0.32					
		120	0.91					
		208	0.53					
	115	240	0.46	109.7				
	IID	277	0.40	109.7				
+		347	0.32					
		480	0.23					
		120	1.11					
		208	0.64					
	135	240	0.56	122.2				
	135	277	0.48	133.3				
		347	0.38					
		480	0.28					

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Te	Ambient Temperature					
0° C	32° F	1.03				
10° C	50° F	1.01				
20° C	68° F	1.00				
25° C	77° F	1.00				
30°C	86° F	0.99				
40° C	104° F	0.98				
50° C	122° F	0.97				

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS									
	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)				
25°C / 77°F	1.00	0.97	0.95	0.93	0.86	238,000				
40°C / 104°F	0.99	0.96	0.95	0.93	0.85	225,000				

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)				
		120	0.84					
	110	208	0.48	100.3				
	IIO	240 0.42 277 0.36						
		120	1.11					
	140	208	0.64	422.2				
	140	240	0.56	133.2				
		277	0.48					
		120	1.28					
	455	208	0.74	450.0				
	165	240	0.64	153.6				
		277	0.55					
		120	1.45					
	105	208	0.84	4745				
	185	240	0.73	174.5				
	1	277	0.63					
		120	1.65					
	10000	208	0.95	1,000				
	210	240	0.83	198.3				
		277	0.72					
2000		120	1.89					
RAR2	240	208	1.09	333.0				
		240	0.95	226.9				
		277	0.82					
		120	2.14					
		208	1.24					
	1 July 200	240	1.07	100				
	255	277	0.93	257.0				
		347	0.74	1				
		480	0.54	1				
		120	2.45					
		208	1.41					
	200	240	1.23	Na.				
	295	277	1.06	294.0				
		347	0.85					
		480	0.61	57				
		120	2.89					
		208	1.67					
		240	1.45					
	340	277	1.25	347.1				
		347	1.00					
		480	0.72					



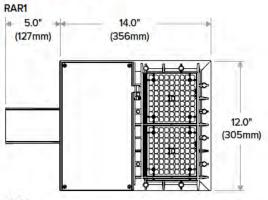
LOCATION: Attachment 13, Page 13

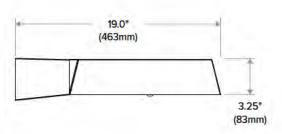
TYPE:

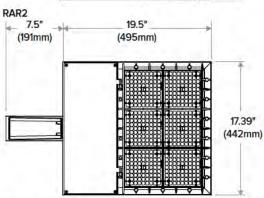
PROJECT:

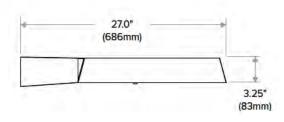
CATALOG#:

DIMENSIONS









ADDITIONAL INFORMATION

MOUNTING



Arm Mount – Fixture ships

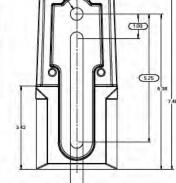
with integral arm for ease

of installation. Compatible with Hubbell Outdoor B3

drill pattern.

Knuckle - Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes.



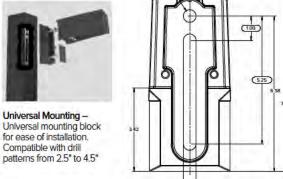




MAF - Fits 2-3/8" OD arms Roadway applications.



Wall Mount - Wall mount bracket designed for building mount applications.

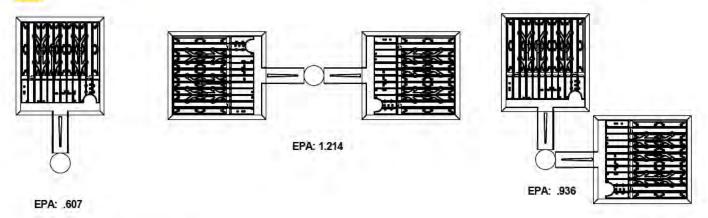


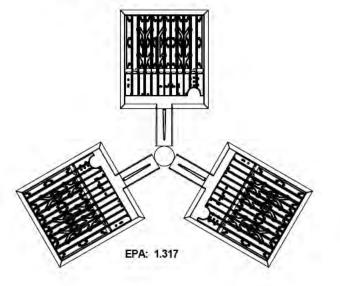


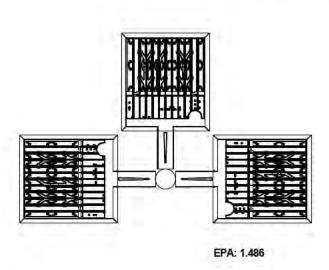
RATIO SERIES

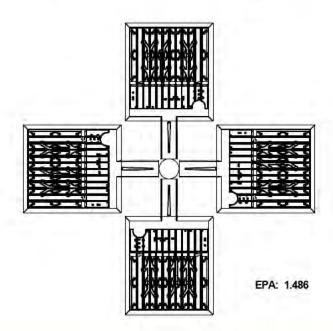
AREA/SITE LIGHTER

EPA











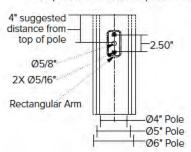
RATIO SERIES

AREA/SITE LIGHTER

Attachment 13, Page 15	LOCATION:	
TYPE:	PROJECT:	

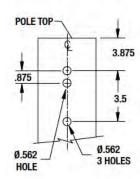
ADDITIONAL INFORMATION (CONT'D)

ARM MOUNT (ASQ) Compatible with Pole drill pattern B3



UNIVERSAL MOUNTING (ASQU) Compatible with pole drill pattern S2

CATALOG #:



SITESYNC 7-PIN MODULE



SW7PR



- · SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)

PROGRAMMED CONTROLS

ADD-AutoDim Timer Based Options

Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to
its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	Delay 0-9 Hours	R6

ADT-AutoDim Time of Day Based Option

Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire
to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	12-6 AM and 9-11P	R6



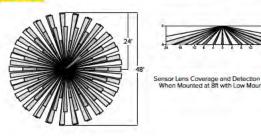
Attachment 13 Page 16	LOCATION:	
7.05	Longicor	

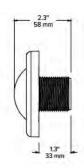
TYPE: PROJECT:

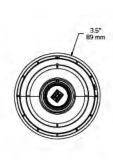
CATALOG #:

ADDITIONAL INFORMATION (CONT'D)

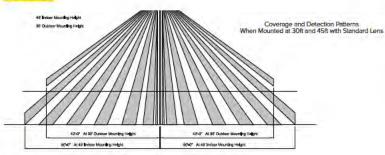
NXSP-14F

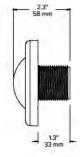


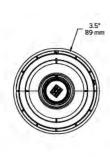




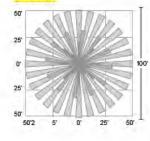
NXSP-30F

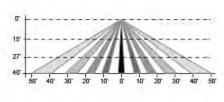


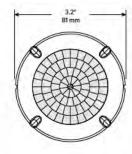


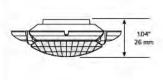


SCP-40F









RAR1 EPA

RA	AR-1
EPA at 0°	EPA at 30°
.45ft. ² .13m ²	.56ft. ² .17m ²

RAR2 EPA

RA	R-2
EPA at 0°	EPA at 30°
.55ft. ² .17m ²	1.48ft. ² .45m ²

SHIPPING

Catalog Number	CM//IVI	Carton Dimensions		
	G.W(kg)/ CTN	Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
RAR1	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)
RAR2	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)



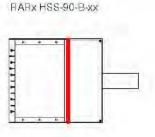
Attachmen	it 1 ³ , Page 17	LOCATION:	
	TYPE:	PROJECT:	
	CATALOG #:		

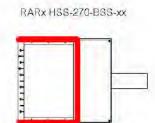
RATIO SERIES

AREA/SITE LIGHTER

ADDITIONAL INFORMATION (CONT'D)

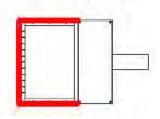
RATIO HOUSE SIDE SHIELD



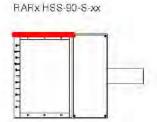


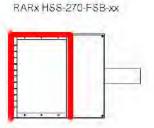


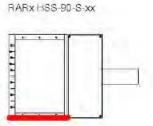


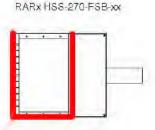


RARx H5S-270-F5S-xx









USE OF TRADEMARKS AND TRADE NAMES

All product and company names, logos and product identifies are trademarks ™ or registered trademarks ® of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.

Attachment 13 Page 18

FEATURES

- · Litepak LNC3 is a mid-sized wallpack in the popular Litepak series
- · The LNC3 features luminaires with TIR optics and four different lumen packages, multiple distributions and CCT for maximum light level and mounting height flexibility
- · Capable of replacing up to 250w HID solutions at over 70% energy savings
- · Energy efficient LEDs provide 70%+ energy savings with little to no maintenance when compared to traditional light sources
- · Typical mounting heights of 8-20"



RELATED PRODUCTS

8 LNC

8 INC2

8 LNC4







CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- · Die-cast aluminum housing protects components and provides an architectural appearance
- · Casting thermally conducts LED heat to optimize performance and long life
- · Powder paint finish provides durability in outdoor environments
- · Four 1/2" conduit entries (top, bottom, and sides) provided for surface conduit
- · Zero uplight distributions using individual acrylic LED optics provide IES type II, III and IV distributions
- · CS Frosted acrylic diffuser option for reduced glare
- · CSU Frosted acrylic diffuser for inverted "up" mounting applications (lens required)

- Ambient operating temperature -40°C to 40°C
- · 3000K, 4000K and 5000K CCT nominal with 70 CRI
- · Available in 4 or 24 LED configuration
- · L70 at 60,000 hrs (Projected per IESNA TM-21-11), see table on page 3 for all values

INSTALLATION

· Quick-mount adapter with gasket seal provides easy installation to wall or to recessed junction box (4" square junction box)

INSTALLATION (CONTINUED)

- · Fixture attaches by two Allen-head hidden fasteners for tamper resistance
- Designed for direct j-box mount or conduit feed on all four sides in single SKU

ELECTRICAL

- 120-277, 347 and 480 voltage, 50/60Hz, 0-10V dimming drivers
- · Electronic driver
- 10kA surge protection

CONTROLS

- · Button photocontrol for dusk to dawn energy savings
- · 7-pin photo-receptacle available for twist lock photocell and controls by others
- Occupancy sensor options available for complete on/off and dimming control
- SiteSync pre-commisioned wireless controls (with or without sensor)
- In addition, LITEPAK can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7
- See ordering information or visit www.hubbelllighting.com/sitesync for more details

CERTIFICATIONS

- DLC® DesignLights Consortium Qualified, with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- IP65 Assembly
- IDA Approved (3000K configurations)

WARRANTY

- 5 year limited warranty
- · See HLI Standard Warranty for additional information

KEY DATA	
Lumen Range	2,991–7,603
Wattage Range	28-83
Efficacy Range (LPW)	84-115
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	18.0 (8.2)





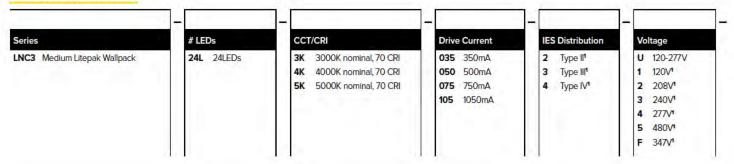
Attachment 13, Page 19	LOCATION:
TYPE:	PROJECT:



ORDERING GUIDE

Example: LNC3-24L-3K-035-2-U-DBT-PCU CATALOG #

ORDERING INFORMATION



Finish	
BLT	Black Matte Textured
BLS	Black Gloss Smooth
DBT	Dark Bronze Matte Textured
DBS	Dark Brone Gloss Smooth
GTT	Graphite Matte Textured
LGS	Light Grey Gloss Smooth
PSS	Platinum Silver Smooth
WHT	White Matte Textured
WHS	White Gloss Smooth
VGT	Verde Green Textured
Color (Option
CC	Custom Color

Control Options PCU Universal Button Photocontrol 7PR 7pin PCR6 SCP Programmable occupancy sensor3,4 SWP SiteSync Pre-Commision 750 SWPM SiteSync Pre-commission w/ OCC Sensor^{4,7,8,50}

Options Fusing (must specify voltage per footnote) CS Frosted acrylic diffuser CSU Inverted/Up mounting frosted acrylic diffuser (required for up/ inverted fixture installations, factory install only see page 3)2 E Integral battery backup rated for 0°C15 EH Integral battery backup with heater rated for -30°C 15 2DR Dual Driver9

Notes:

- Must specify voltage (120 or 277 only for E & EH)
- Factory install only. Not available with SCP or SWPM sensor/ control options 2
- Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, 120-277V only
- PCU option not applicable, included in sensor (8F = up to 8ft, 20F = up to 20ft)
- 350mA, 500mA & 750mA versions only. Not available with F, SWP or SWPM options
- Accepts standard 3, 5, and 7-Pin ANSI controls (by others), Not 6 available with PCU, SWP or SWPM control options
- Must specify group and zone information at time or order. See www.HubbellLighting.com/products/sitesync for future details
- Specify time delay; dimming level and mounting height
- 750mA and 1050mA versions only, not available with 347/480V
- 10 1050mA only, not available with 347V or 480V

ACCESSORIES AND SERVICES (ORDERED SEPARATELY)

	Catalog Number	Description
	LNC3-CS	Frosted acrylic comfort shield/lens, reduces glare and improves uniformity with only 20% lumen reduction
	SCP-Remote	Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor
	SWUSB	SiteSync interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node.
	SWTAB	Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node*
	SWBRG	SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested
	SW7PR	SiteSync 7 Pin on fixture module On/Off/Dim, Daylight Sensor 120-480VAC*
Notes		

- When ordering SiteSync at least one of these two interface options must be ordered per project
- Available as a SiteSync retrofit solution for fixtures with an existing 7pin receptacle

Hubbell Control Solutions - Accessories (Sold Separately)

NX Distributed Intelligence

NXOFM-1R1D-UNV On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with HubbNET Radio and Bluetooth® Radio, 120–480VAC

wiSCAPE® Lighting Control

WIR-RME-L On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with wiSCAPE Radio, 110-480VAC

For additional information related to these accessories please visit www.hubbellcontrolsolutions.com. Options provided for use with integrated sensor, please view specification sheet ordering information table for details.



Attachment 13, Page 20	LOCATION:
Allacillicit 10, Fage 20	

TYPE:

PROJECT:

CATALOG #:

LN	C3	
MEDIU	M LED	LITEPAK

CONTROLS

SiteSync — Precommissioned Ordering Information:

When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit the SiteSync family page on our website or contact Hubbell Lighting tech support at 800-345-4928.

SiteSync fixtures with Motion control (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: LNC3-24L-4K-075-3-U-BL-SWP LNC3-24L-4K-075-3-U-BL-SWPM-20F SiteSync only

SiteSync with Motion Control

SiteSync 7-Pin Module:

- · SiteSync features in a new form
- · Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)
- · Does not interface with occupancy sensors



SW7PF

PERFORMANCE DATA

# Of	Nominal	System	Dist.	5K (5000	K NOMIN	AL 70	CRI)	4K (4000K NOMINAL 70 CRI))	3K (3000	K NOMINA	AL 80	CRI)
LEDs			Lumens	LPW*	В	U	G	Lumens	LPW*	В	U	G	Lumens	LPW*	В	U	G	
4	N/A	N/A	E	671	2		Œ.] = 1	657	-	1	ě.	Ġ	591	-	-	-	J.
			2	3,212	115	1	0	1	3,145	113	1	0	1	2,991	107	1	0	1
	350mA	28	3	3,160	113	1	0	1	3,094	111	1	0	1	2,944	106	1	0	1
			4	3,182	114	1	0	1	3,116	112	1	0	1	2,964	106	1	0	1
	Page 1		2	4,143	101	1	0	2	4,057	99	1	0	2	3,858	94	1	0	2
	500mA	A 41	3	4,076	99	1	0	1	3,991	97	1	0	1	3,797	93	1	0	1
24			4	4,104	100	1	0	1	4,019	98	1	0	1	3,823	93	1	0	1
24			2	5,918	99	1	0	2	5,795	97	1	0	2	5,512	92	1	0	2
	750mA	60	3	5,823	97	1	0	2	5,702	95	1	0	2	5,424	90	1	0	2
			4	5,863	98	1	0	2	5,741	96	1	0	2	5,461	91	1	0	2
			2	7,630	92	2	0	2	7,472	90	2	0	2	7,107	86	2	0	2
	1050mA	83	3	7,508	90	1	0	2	7,352	89	1	0	2	6,993	84	1	0	2
			4	7,559	91	1	0	2	7,402	89	1	0	2	7,041	85	1	0	2

ELECTRICAL DATA

# OF LEDS	Drive Current (mA)	Input Voltage (V)	Oper. Current (Amps)	System Power (W)
	, , , , , , , , , , , , , , , , , , , ,	120	0.23	28
	250-4	277	0.10	28
	350mA	347	0.08	28
		480	0.06	28
		120	0.34	41
	F00A	277	0.15	41
500m	500mA	347	0.12	41
24		480	0.09	41
24		120	0.50	60
	7504	277	0.22	60
	750mA	347	0.17	60
		480	0.13	60
		120	0.69	83
	10501	277	0.30	83
	1050mA	347	0.24	83
		480	0.17	83

PROJECTED LUMEN MAINTENANCE

Ambient	OPERATING HOURS						
Temperature	0	25,000	50,000	TM-21-11* L96 60,000	100,000	L70 (Hours)	
25°C / 77°F	1.00	0.97	0.94	0.93	0.89	>296,000	
40°C / 104°F	1.00	0.95	0.91	0.89	0.83	>191,000	

Projected per IESNA TM-21-11 * (Nichia 219B, 700mA, 85°C Ts, 10,000hrs). Data references the extrapolated performance projections for the LNC-12LU-5K base model in a 40°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.





Attachment 13, Page 21	LOCATION:	
TYPE:	PROJECT:	

CATALOG #:

LNC3

MEDIUM LED LITEPAK

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

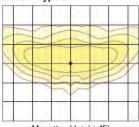
Ambient Te	emperature	Lumen Multiplier
0° C	32° F	1.02
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	1.00
40° C	104° F	0.99

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

PHOTOMETRY

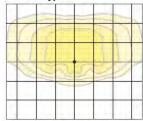
The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see <u>website photometric test reports</u>.

LNC3 - Type II



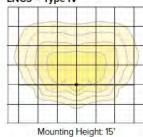
Mounting Height: 15'

LNC3 - Type III

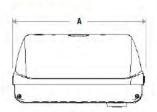


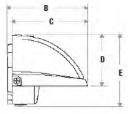
Mounting Height: 15'

LNC3 - Type IV



DIMENSIONS





Α	В
13"	10.5"
(330 mm)	(267 mm)

9.9" (251 mm) D 5.8" (147 mm) (2

8.3" 25.0 lbs (211 mm) 11.3 kg

ADDITIONAL INFORMATION

CSU - INVERTED MOUNTING OPTION



*Requires Factory Installed Lens Option

Inverted mounting capabilities for uplighting applications. Specially designed frosted acrylic diffuser option softens output, improves uniformity and protects LED lenses.

SCP - PROGRAMMABLE OCCUPANCY SENSOR



*Photocontrol and Wireless Controls by Others

Standard NEMA 7-Pin receptacle for twist lock photocell or wireless controls (by others).

SCP - PROGRAMMABLE OCCUPANCY SENSOR



Sensor offers greater control and energy savings with SCP programmable sensor with adjustable delay and dimming levels (Factory default is 10%)

Visit: http://www.hubbelllighting.com/solutions/controls/ for control application information

SHIPPING INFORMATION

Catalan	CMMIV				
Number	Catalog G.W(kg)/ Number CTN	Length Inch (cm)	Width Inch (cm)	Height Inch (cm)	Carton Qty. per Master Pack
LNC3-24LU	18.0 (8.2)	15.8 (40)	11.0 (28)	13.0 (33)	1



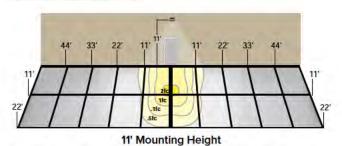
Attachment 13, Page 22	LOCATION:	_
TYPE:	PROJECT:	_

CATALOG #:

LNC	13		
MEDIUM	LED	LITE	PAK

ADDITIONAL INFORMATION (CONTINUED)

LNC2 - BATTERY BACK UP



Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions and mounting height of 11'.

Diagrams for illustration purposes only, please consult factory for application layout.

Battery backup units consume 6 watts when charging a dead battery and 2 watts during maintenance charging. EH (units with a heater) consume up to an additional 8 watts when charging if the battery temp is lower than 10°C

E & EH EMERGENCY BATTERY BACKUP



24 High Power LEDs generate up to 7,500 lumens in Normal Mode, and use 4 LEDs for up to 700 lumens in emergency.

USE OF TRADEMARKS AND TRADE NAMES

All product and company names, logos and product identifies are trademarks ™ or registered trademarks ® of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.



Attachment 14, Page 1 KENDALL COUNTY REGIONAL PLANNING COMMISSION

Kendall County Office Building Rooms 209 and 210 111 W. Fox Street, Yorkville, Illinois

Unapproved - Meeting Minutes of May 25, 2022 - 7:00 p.m.

Chairman Ashton called the meeting to order at 7:01 p.m.

ROLL CALL

Members Present: Bill Ashton, Tom Casey, Dave Hamman (arrived at 7:02 p.m.), Karin McCarthy-Lange,

Larry Nelson, Ruben Rodriguez, Claire Wilson, and Seth Wormley

Members Absent: Bob Stewart

Staff Present: Matthew H. Asselmeier, Senior Planner

Others Present: Suzanne Casey, Samantha Dippold, Jeremy Dippold, Joe Frescura, Tim O'Brien, Anne Vickery, Robert Delaney, Pat Frescura, Jim Martin, Dave Shively, Tony Guzman, Kim Larkin, and Steve

Papaeliou

APPROVAL OF AGENDA

Member Rodriguez made a motion, seconded by Member McCarthy-Lange, to approve the agenda. With a voice vote of seven (7) ayes, the motion carried.

APPROVAL OF MINUTES

Member Nelson made a motion, seconded by Member Rodriguez, to approve the minutes of the April 27, 2022, meeting.

With a voice vote of seven (7) ayes, the motion carried.

Member Hamman arrived at this time 7:02 p.m.

Mr. Asselmeier noted that Member Casey had asked about a property on the south side of Route 52 east of Arbeiter Road at the April Planning Commission meeting. Mr. Asselmeier said that four (4) agricultural accessory building permits and a driveway permit have been issued at that property. The owner comes out to the property on weekends to work on the property.

Petition 22-01 Jose and Silvia Martinez

Mr. Asselmeier provided several emails related to this Petition. The Petitioners' Attorney requested the proposal be continued to June. Without objection, the proposal was continued as requested.

<u>Petition 22-10 Mark Fecht on Behalf of Fecht Brothers, Inc. (Property Owner) and Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC (Contract Purchaser)</u>

Mr. Asselmeier summarized the request.

Best Budget Tree, LLC would like to purchase the subject property from Fecht Brothers Inc. in order to operate a tree and landscaping business at the property.

Best Budget Tree, LLC has been in existence for over ten (10) years.

Attachment 14, Page 2

The application materials, site plan, landscaping plan, stormwater plans, and renderings of the proposed building were provided.

The property is on the north side of Route 52 across from 2190 and 2200 Route 52.

The property is approximately forty-eight (48) acres in size.

The property is zoned A-1 Agricultural.

The County's Future Land Use Map calls for the property to be Rural Residential (Max 0.65 Du/Acre). Shorewood's Future Land Use Map calls for the property to be Residential and Commercial.

Route 52 is a State maintained Arterial road.

Joliet has a trail planned along Route 52, but Joliet does not want a right-of-way dedication at this time; an email to that effect was provided.

There are no floodplains on the property. There is a wetland near the northwest corner of the property.

The adjacent land uses are Agricultural and Single-Family Residential.

The adjacent properties are zoned A-1 and R-3.

The County's Future Land Use Map calls for the area to be Commercial, Rural Residential, and Suburban Residential. Joliet's Future Land Use Map calls for the area to be Residential. Shorewood's Future Land Use Map calls for the area to be Residential and Commercial.

The nearby properties are zoned A-1, A-1 SU, and R-1, and R-3.

The A-1 special use permit to the west is for the sale of agricultural products not grown on the premises.

EcoCAT Report was submitted on April 15, 2022, and indicated the following protected resources:

Aux Sable Creek INAI Site

Greater Redhorse (Moxostoma valenciennesi)

The Illinois Department of Conservation determined that negative impacts were unlikely and consultation was terminated on April 18, 2022.

The application for NRI was submitted April 21, 2022. The LESA Score was 210 indicating a medium level of protection. The NRI Report was provided.

Petition information was sent to Seward Township on April 25, 2022. The Seward Township Planning Commission reviewed the proposal in May 2022. They expressed concerns about the location of lighting with respect to the adjacent homes. The Seward Township Planning Commission recommended approval of the request. An email to that effect was provided.

Petition information was sent to the Village of Shorewood on April 25, 2022. On May 4, 2022, the Village of Shorewood submitted an email saying they did not want to request a right-of-way dedication for a biking/walking trail. This email was provided.

Petition information was sent to the Minooka Fire Protection District on April 25, 2022. On May 5 and 6, 2022, the Minooka Fire Protection District submitted a letter and email requesting a fire alarm system that meets

applicable codes, no smoking signs near the mulch pile, a dry fire hydrant, and signage properly marking the address of the property. The letter and email were provided. The Petitioners were agreeable to this request.

The Kendall County ZPAC reviewed this Petition at their meeting on May 3, 2022. Mr. Klaas asked if the six inch (6") pipe shown on the plans went to Route 52. John Tebrugge, Petitioners' Engineer, said the pipe goes almost to Route 52. The Petitioners had not received final access approval from the Illinois Department of Transportation; they will not get final approval until they (the Dippolds) own the property. The Petitioners understood that any buildings constructed on the property would not be eligible for agricultural building permit exemptions. Based on the information provided, the well would not be a non-community well. The Petitioners were advised to design the septic system for maximum load. The Petitioners were advised to identify on the site plan where lights would be placed. The Petitioners had no plans to use the access off of Arbeiter Road. The land comes with building allocations. ZPAC recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with four (4) members absent. The minutes were provided.

Per Section 7:01.D.30 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

- 1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
- 2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least seventy-three thousand, two hundred eighty pounds (73,280 lbs.), unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.
- 3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials, the above conditions have been met.

According to the business plan, the business currently operates two (2) four (4) employee crews in April through October and one (1) four (4) employee crew in November through March. The Petitioners plan to hire four (4) additional employees, if business increases. Employees arrive at the property at approximately 7:30 a.m., go to work sites, and return to the property between 3:30 p.m. and 4:00 p.m. Employees unload equipment and materials and leave between 4:30 p.m. and 5:00 p.m. The business operates on Monday through Fridays with an occasional Saturday.

Business equipment presently consists of two (2) bucket trucks, two (2) wood chippers, two (2) one (1) ton pickup trucks, two (2) utility trailers, two (2) spare pick-up trucks, and one (1) wheel leader tractor. When not in operation, the Petitioners plan to house vehicles and equipment inside the proposed approximately nine thousand six hundred (9,600) square foot building. Mulch and firewood piles would be placed on the gravel area as shown on the site plan and landscaping plan and would be piled a maximum twelve feet (12') in height. The Petitioners do not plan to store stone, brick, or rock at the property. Per the site plan, the gravel area is approximately ten point five (10.5) acres in size. If there is a motor vehicle or equipment related leak, the impacted gravel will be removed and replaced with clean gravel.

No retail services will be available at the property and retail customers will not be invited onto the property.

If approved, the Petitioners plan to start operations as quickly as possible.

One (1) approximately nine thousand six hundred (9,600) square foot building is proposed for the site in the location depicted on the site plan and landscaping plan. The building will look substantially like the provided rendering. The walls will be approximately sixteen feet (16') feet tall and the doors will be fourteen feet (14') in height. The peak of the building will be a maximum twenty-four feet (24').

Any structures related to the landscaping business would be required to obtain applicable building permits.

No well or septic system presently exists on the property. No other utilities are located on the property.

One (1) ten foot by ten foot (10' X 10') dumpster enclosure was shown on the site plan and landscaping plan east of the vehicle parking area.

The property drains to the south.

There is one (1) wetland located near the northwest corner of the property.

The site plan and landscaping plan show a proposed seventy-three thousand, nine hundred eighty-four (73,984) square foot wet bottom pond. At the deepest point, the pond will be sixteen feet (16') deep. The stormwater plan information was provided.

WBK Engineering submitted comments on the proposal. This letter was provided. These comments will have to be addressed prior to the issuance of a stormwater management permit.

Per the site plan and landscaping plan, the Petitioners plan to install one (1) thirty foot (30') wide gravel driveway. The driveway will be approximately forty-eight feet (48') from the western property line.

According to site plan and landscaping plan, the Petitioners plan to install two (2) parking areas. One (1) parking area is planned south of the building and the other parking area is planned west of the building. The total number of parking spaces is twenty-one (21) including one (1) handicapped accessible parking space.

Three (3) pipeline easements exist on the property.

No existing lighting is located on the property.

At the time of the ZPAC meeting and Seward Township Planning Commission meeting, the Petitioners had not submitted a lighting plan. The lighting plan shows one (1) free standing light near the south parking lot and six (6) lights on the building. Based on the photometrics provided, no light would cross the property lines. The lighting plan was provided.

Per Section 11:02.F.12.e, of the Kendall County Zoning Ordinance, the maximum height for the freestanding light is twenty feet (20').

According to the site plan and landscaping plan, one (1) non-illuminated sign is proposed between the gravel driveway and the western property line. No information was provided regarding sign dimensions or height. Per Section 12:08.A. of the Kendall County Zoning Ordinance, the total maximum allowable signage is thirty-two (32) square feet of gross surface area.

No security information was provided.

KCRPC Meeting Minutes 05.25.22

The landscaping plan shows one hundred fifty (150) white pines along the perimeter of the property. The white pines will be three (3') feet at the time of planting and will grow to between fifty feet (50') and eighty feet (80'). Ten (10) deciduous trees are planned along the perimeter of the pond. The trees will be one and one half inches (1.5") at the time of planting. The landscaping plan also calls for a seed mix of Kentucky blue grass and turf type perennial grass around the pond and along the gravel driveway. Vegetation will be installed after the gravel and pond are installed.

The portion of the property not used for storage, building, driveway, or the pond will remain farmed. Most of the property will be farmed in 2022, which will delay the installation of the landscaping until 2023.

No information was provided regarding noise control.

No new odors are foreseen by the proposed use.

If approved, this would be the nineteenth (19th) special use permit for a landscaping business in unincorporated Kendall County.

The proposed Findings of Fact were as follows:

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Provided the site is developed in accordance with the submitted site plan and landscaping plan, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. Conditions may be placed in the special use permit ordinance to address hours of operation.

That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, lighting, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. If a stormwater management permit is issued based on the submitted materials, drainage should not be an issue. If the Illinois Department of Transportation approves the access, ingress and egress should not be an issue. Utilities will need to be extended and/or installed on the property.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true. No variances are required.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective

found on Page 9-21 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents". Also, the Kendall County Future Land Use Map and the Village of Shorewood's Future Land Use Map call for commercial uses near the intersection of Route 52 and Arbeiter Road.

Staff recommended approval of the special use permit for a landscaping business subject to the following conditions and restrictions:

- 1. The site shall be developed substantially in accordance with the submitted site plan, landscaping plan, and lighting plan (amended after ZPAC).
- 2. The gravel area shown on the submitted site plan and landscaping plan shall not exceed ten point five (10.5) acres in size. The owners of the business allowed by this special use permit may reduce the amount of acreage covered by gravel.
- 3. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
- 4. One (1) approximately nine thousand six hundred (9,600) square foot building may be installed on the subject property in substantially the location shown on the site plan. The building shall look substantially like the building depicted in the submitted rendering. The maximum height of the building shall be twenty-four feet (24').
- 5. Any new structures constructed or installed related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
- 6. No business operations may commence at the subject property until an occupancy permit is issued for the building shown on the submitted site plan. No business operations may commence at the subject property until the parking stalls, dumpster enclosure, and wet bottom pond shown on the submitted site plan are installed. Business operations may commence at the subject property prior to the installation of vegetation shown on the submitted landscaping plan.
- 7. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property during the hours the business is open and shall be stored indoors during non-business hours.
- 8. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
- 9. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
- 10. All landscape related materials shall be stored indoors or on the gravel area depicted on the site plan. The maximum height of the piles of landscaping related material shall be twelve feet (12') in height, unless otherwise restricted by a stormwater management permit. Stone, brick, and rock shall not be stored outdoors.
- 11. The size and depth of the wet bottom pond shall be governed by the stormwater management permit issued for the subject property.

- 12. One (1) two (2) sided non-illuminated sign may be installed on the location depicted on the submitted site plan.
- 13. At least two (2) no smoking signs shall be installed near the piles of landscaping related materials. (added after ZPAC)
- 14. One hundred fifty (150) white pines shall be installed in substantially the locations shown on the submitted landscaping plan. The white pines shall be a minimum of three feet (3') in height at the time of planting. The white pines shall be installed by June 30, 2023. Damaged or dead white pines shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the white pines.
- 15. Ten (10) deciduous trees shall be installed in substantially the locations shown on the submitted landscaping plan. The deciduous trees shall be a minimum one point five inches (1.5") in diameter at the time of planting. The deciduous trees shall be installed by June 30, 2023. Damaged or dead deciduous trees shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the deciduous trees.
- 16. The seed mix called for in the submitted landscaping plan shall be installed by June 30, 2023. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the seed mix.
- 17. No landscape waste generated off the property can be burned on the subject property.
- 18. A maximum of twenty (20) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work. No employees shall engage in the sale of landscaping related materials on the property.
- 19. No retail customers of the business allowed by this special use permit shall be invited onto the property by anyone associated with the use allowed by this special use permit.
- 20. The hours of operation of the business allowed by this special use permit shall be Monday through Saturday from 7:30 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
- 21. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

- 22. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
- 23. One dry hydrant shall be placed on the property (added after ZPAC).
- 24. The maximum height of the light pole shown in the lighting plan shall be twenty feet (20') (added after **ZPAC**).
- 25. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
- 26. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
- 27. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
- 28. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
- 29. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

Chairman Ashton asked if the Minooka Fire Protection District wanted just an alarm system or if the request was to have the building sprinklered. Mr. Asselmeier responded just an alarm system.

Member Wilson asked how the Petitioners were going to manage the mulch pile and if mulch would be sold. Jeremy Dippold, Petitioner, said the mulch would be installed on off-site locations. They would have several small piles. The maximum height of the mulch piles would be twelve feet (12') because of the company's equipment.

Member Casey asked where the business was currently located. Mr. Dippold responded Renwick Road and Interstate 55. Mr. Dippold said the proposed location would look better than the existing location because no inside storage exists at their current location.

Mr. Dippold wanted the business setback from the neighbors and Route 52.

Member Casey asked about possible expansion. Mr. Asselmeier said, if the Petitioners expanded into the farmland beyond the area identified on the site plan, an amendment to the special use permit would be required.

Discussion occurred regarding the access point off of Arbeiter Road. The access would remain to allow a farmer to get their equipment into the field. Based on the plans, it appeared difficult for a farmer to get equipment to north portion of the property using the access off of Route 52. Equipment could be driven through the parking lot. The current owner would continue to farm the property after the Dippolds acquire the property.

Joe Frescura requested that the proposal be denied for the following reasons:

- 1. The business has no noise control plan; wood chippers would exceed the noise requirements in the proposed special use permit. He provided pictures of the height of mulch piles at the business' current location. The trees proposed on the site plan will not reach full height for ten (10) years and will not provide a full noise buffer until that time.
- 2. The dyed mulch will jeopardize local wells, waterways, and wetlands.
- 3. Inclusion of access to Arbeiter Road; he would like to see the access point removed. He also discussed burning at other landscaping businesses.
- 4. There are several containers at the Petitioners' current operating location. He was concerned about the placement of the containers turning the area into an industrial park and cause a decrease in property values in the area.
- 5. He noted that five (5) landscaping business have special use permits in Seward Township. These existing special uses are not located near homes like the proposed special use.
- 6. He expressed concerns regarding the soils to support a septic system.
- 7. He expressed concerns regarding burning on the property and the possible inter-mingling of onsite and offsite generated materials in a burn pile.
- 8. He noted that the LESA Score was 210. He argued the property should be retained for farming.

Mr. Dippold said chippers would not be used onsite; they would be at customers' homes. He explained the mulch dyeing process; the dyed mulch is not hazardous. He did not want burning on the property. He has three (3) containers which are used for storage; the containers would be replaced with the building. He was agreeable to a condition not allowing shipping containers on the property. He did not anticipate operating at the site until July 2023. He has no interest in using Arbeiter Road to access the property for the business.

The wet bottom pond is for stormwater only.

Member Rodriguez asked about having stone holding areas. Mr. Dippold explained why he did not want holding areas.

Anne Vickery noted this proposal would be the sixth (6^{th}) landscaping special use in Seward Township. She asked if anyone on the Board would like to live next to this type of use. She also noted that the property was planned to be residential. She asked who would enforce the regulations; she noted the burning at another landscaping business.

Member Nelson expressed concerns about restricting containers in relation to agricultural uses.

Robert Delaney said the area was a residential area and should remain a residential area. He questioned the need to have a large amount of acreage used for the proposed use.

Pat Frescura said that she has lived in the area for over fifty (50) years. She noted the time, investment, and pride in her property. She was against having the proposed use near her property. She wanted to keep the land as farmland. She said that she was unaware of the Seward Township Planning Commission's meeting.

Jim Martin, Seward Township Trustee, said the Seward Township Planning Commission did not forward a recommendation to the Township Board. The Township Board did not vote on this proposal.

Tim O'Brien, Seward Township Supervisor, said the Seward Township Planning Commission did not forward a recommendation to the Township Board.

Commissioners reviewed the Future Land Use Map for the area. Discussion also occurred regarding the KCRPC Meeting Minutes 05.25.22 Page 9 of 12

number of houses that could be placed on the property. The estimate was forty (40) houses could be placed on the property with access for the subdivision from both Route 52 and Arbeiter Road. It was noted that the proposal would preserve agricultural uses on the majority of the property.

Dave Shively asked what A-1 meant. A-1 means agricultural. He discussed the repaving of Arbeiter Road. He asked about enforcement of burning regulations. Mr. Asselmeier explained that burning items brought onto the property was against State law. Mr. Shively favored keeping the property in farming. He favored a housing development instead of the proposed use. Member Wilson favored having the proposal over houses.

It was noted that a house exists between Pat Frescura's property and the proposed use.

Tony Guzman said that he bought his property because it was a residential area. He would like to see the property become a park. He likes the wildlife in the area. He felt the use was an industrial use.

Mr. Dippold asked if his proposal was any different than a farmer building grain bins with related noise and odors.

Logs are cut on the customers' properties and stored on the property. Mr. Dippold sells the logs.

Mr. Dippold noted that he was pursuing the zoning on the property the correct way.

Kim Larkin said that she did not want to look at this use in her backyard. She said that mulch has an odor. Discussion occurred regarding the smell of mulch. She expressed concerns about diminished property values.

Steve Papaeliou expressed his opposition to the containers on the property. He also said that the farmer damaged his fence. Chairman Ashton questioned the connection to Mr. Fecht's actions and the proposal.

Mr. O'Brien requested the proposal be tabled proposal and sent back to Seward Township. Member Wilson wanted to know the opinion of the Township Board. Member Nelson noted the Petitioners followed the proper procedures to get to this point. Mr. Dippold opposed tabling the proposal because Mr. Fecht wants to close on the property quickly.

Member Nelson did not see much of a difference between the proposal and farming uses.

Member Wormley noted that a subdivision could be placed on the property at some point in the future, even if the special use permit was approved. He thought the proposal was a good proposal compared to other uses that could go on the property.

Member Hamman made a motion, seconded by Member Wormley, to approve the requested special use permit.

Member Wilson made a motion, seconded by Member Nelson, to add a condition stating that no storage containers would be allowed onsite. The Petitioners had no objections to the amendment. Members Hamman and Wormley had no objections to the amendment.

It was noted that the residents in the area do not favor the proposal.

Member Wilson noted the issues related to the Seward Township Board and lack of transparency in Seward Township.

The Seward Township Board may have a special meeting on this proposal prior to the May 31st zoning hearing.

Attachment 14, Page 11

The votes on the amendment were as follows:

Ayes (7): Ashton, Hamman, McCarthy-Lange, Nelson, Rodriguez, Wilson, and Wormley

Nays (1): Casey Absent (1): Stewart Abstain (0): None

The motion carried.

The votes on the original motion as amended were as follows:

Ayes (7): Ashton, Hamman, McCarthy-Lange, Nelson, Rodriguez, Wilson, and Wormley

Nays (1): Casey Absent (1): Stewart Abstain (0): None

The motion carried.

The proposal will go to the Kendall County Zoning Board of Appeals on May 31, 2022.

CITIZENS TO BE HEARD/PUBLIC COMMENT

None

NEW BUSINESS

Recommendation on a Proposal from Teska Associates, Inc. to Update the Kendall County Land Resource Management Plan in Its Entirety

Commissioners reviewed the proposal and it was noted that the Comprehensive Land Plan and Ordinance Committee recommended approval of the proposal.

Member Nelson discussed the law governing review and approval of special use permits. Discussion occurred regarding the court ordering special use permits and the potential issuance of special use permits without conditions.

Member Wilson requested clarification on the clusters. The clusters would be the eastern three (3) townships combined, the middle three (3) townships combined, and the final cluster would be the western three (3) townships combined. The Commission favored starting with the eastern three (3) townships.

Suzanne Casey offered to give materials from her work on the Seward Township Plan to Teska.

Member Nelson made a motion, seconded by Member Wormley, to recommend approval of the proposal to the County Board.

The votes were as follows:

Ayes (8): Ashton, Casey, Hamman, McCarthy-Lange, Nelson, Rodriguez, Wilson, and Wormley

Nays (0): None Absent (1): Stewart Abstain (0): None

The motion carried.

The County Board will be notified of the recommendation.

Attachment 14, Page 12

<u>Discussion of Oswego Township Junk and Debris Ordinance and Recreational Vehicle and Trailer Parking Ordinance</u>

Commissioners reviewed the ordinances.

Member Nelson had concerns regarding a lack of agricultural exemptions.

OLD BUSINESS

None

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

Mr. Asselmeier reported that Petition 22-09 was approved by the County Board.

OTHER BUSINESS/ANNOUNCEMENTS

Mr. Asselmeier reported that the special use permit at 1038 Harvey Road, text amendment to the lighting rules for telecommunication tower facilities and a special use permit for a Lisbon Township garage on Route 47 will be on the Commission's June agenda.

ADJOURNMENT

Member McCarthy-Lange made a motion, seconded by Member Wilson, to adjourn. With a voice of eight (8) ayes, the motion carried.

The Kendall County Regional Planning Commission meeting adjourned at 9:08 p.m.

Respectfully submitted by, Matthew H. Asselmeier, AICP, CFM Senior Planner

Enc.

KENDALL COUNTY REGIONAL PLANNING COMMISSION

STECLED

PAPARUS MAY 25, 2022

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
Ten Brien		
Joe FRESCURA		
Jereny Dippold		
any Verly		
Robert Sof		
Pat Buscur		
Sam marte		
DAVE SHIVELY		("
DAVE SHIVERY BONY Grown		
Kim Carkin	311	

STATE OF ILLINOIS Kendall County Town of Seward

The Board of Trustees met at the office of the Town Clerk at Seward Town Hall at 14719 O'Brien Road, Minooka, Illinois 60447.

SPECIAL MEETING SATURDAY MAY 28, 2022 @ 7:00PM.

Present:

Mr. Tim O'Brien, Supervisor Ms Sharleen Smith, Trustee Mr. Tom Fleming, Trustee Mr. Jim Martin, Trustee

Absent: Mr. Dan Roberts, Trustee Mrs. Sheila Trost. Clerk

Tim O'Brien, Chairperson and Sharleen Smith, Acting Clerk conducted the following business.

The Seward Township May 28, 2022 Special meeting was called to order at 7:00 p.m. All Trustees except Dan Roberts and Clerk Sheila Trost were present. There were 20 visitors present. After the Pledge of Allegiance, Supervisor O'Brien conducted the following meeting.

Public comments:There were a concerns about the tree business going up on Rte 52 near Arbeiter Road, Petition 22 - 10. It is a 50 acre parcel. The Board heard concerns from several residents. These concerns included but were not limited to decreased property taxes, noise pollution, environmental pollution from chemical leaching into the wells and odors, containers for storage, fire issues, renting of land to other landscapers to recoup some of the expense of buying the property. How will the equipment affect the pipelines that are located under the land. Another major concern was how is the county going to police the area and check if the tree company is adhering to the resolutions that was put forth by the County. The potential owner and the person selling the land also spoke and tried to address the issues. They stated that there will be a 30 acre buffer between the building, work area and the homes. There will be trees planted. There will be a pond dug to help with fire concerns and also a dry hydrant built. There will be no entrance to the property along Arbeiter Road. The machines will not be running 24/7. Machinery will be stored in the building. The business will be paying taxes to the County. Fire risk is minimal.

New Business:

The Board discussed the issues and stated their concerns, similar to the residents. One major concern was the County's lack of policing of the current businesses to monitor

their compliance of their special use permits. It was felt that the County needs to step up and do this. Jim Martin made a motion to recommend the approval of the petition of Best Budget Tree Service LLC Petition 22-10 seconded by Tom Fleming. In a roll call vote the motion was **defeated by a 3 - 1 vote** citing concerns of the residents. The Seward Township Board does **NOT** recommend this petition.

With no further business, a motion to adjourn was made Jim Martin and seconded by Tom Fleming. All members voted Aye, motion carried. Meeting adjourned at 8:30p.m.

Attest
Sharleen Smith/ Acting Clerk

MINUTES – UNOFFICIAL UNTIL APPROVED KENDALL COUNTY ZONING BOARD OF APPEALS MEETING

111 WEST FOX STREET, COUNTY BOARD ROOM (ROOMS 209 and 210)
YORKVILLE, IL 60560

May 31, 2022 - 7:00 p.m.

CALL TO ORDER

Chairman Randy Mohr called the Zoning Board of Appeals meeting to order at 7:02 p.m.

ROLL CALL:

Members Present: Cliff Fox, Tom LeCuyer (arrived at 7:14 p.m.), Randy Mohr, Dick Thompson, and Anne Vickery (left at 8:36 p.m.)

Members Absent: Scott Cherry and Dick Whitfield

Staff Present: Matthew Asselmeier, AICP, CFM, Senior Planner

Others Present: Jeremy Dippold, Samantha Dippold, Boyd Ingemunson, Tim O'Brien, Tom Fleming, Sheila Trost, Paul Scholtes, Joe Frescura, Pat Frescura, Ramiro Guzman, Kim Larkin, Mark Fecht, and Seth Wormley

PETITIONS

The Zoning Board of Appeals started their review of Petition 22-10 at 7:03 p.m.

Petition 22 – 10 – Mark Fecht on Behalf of Fecht Brothers, Inc. (Property Owner) and Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC (Contract Purchaser)

Request: Special Use Permit for a Landscaping Business

PINs: 09-15-200-003

Location: North Side of Route 52 Across from 2190 and 2200 Route 52, Minooka in Seward

Township

Purpose: Petitioners Want to Operate a Tree Service and Landscaping Business at the Property;

Property is Zoned A-1

Mr. Asselmeier summarized the request.

Best Budget Tree, LLC would like to purchase the subject property from Fecht Brothers Inc. in order to operate a tree and landscaping business at the property.

Best Budget Tree, LLC has been in existence for over ten (10) years.

The application materials, site plan, landscaping plan, stormwater plans, and renderings of the proposed building were provided.

The property is on the north side of Route 52 across from 2190 and 2200 Route 52.

The property is approximately forty-eight (48) acres in size.

The property is zoned A-1 Agricultural.

The County's Future Land Use Map calls for the property to be Rural Residential (Max 0.65 Du/Acre). Shorewood's Future Land Use Map calls for the property to be Residential and Commercial.

Route 52 is a State maintained Arterial road.

Joliet has a trail planned along Route 52, but Joliet does not want a right-of-way dedication at this time; an email to that effect was provided.

There are no floodplains on the property. There is a wetland near the northwest corner of the property.

The adjacent land uses are Agricultural and Single-Family Residential.

The adjacent properties are zoned A-1 and R-3.

The County's Future Land Use Map calls for the area to be Commercial, Rural Residential, and Suburban Residential. Joliet's Future Land Use Map calls for the area to be Residential. Shorewood's Future Land Use Map calls for the area to be Residential and Commercial.

The nearby properties are zoned A-1, A-1 SU, and R-1, and R-3.

The A-1 special use permit to the west is for the sale of agricultural products not grown on the premises.

EcoCAT Report was submitted on April 15, 2022, and indicated the following protected resources:

Aux Sable Creek INAI Site

Greater Redhorse (Moxostoma valenciennesi)

The Illinois Department of Conservation determined that negative impacts were unlikely and consultation was terminated on April 18, 2022.

The application for NRI was submitted April 21, 2022. The LESA Score was 210 indicating a medium level of protection. The NRI Report was provided.

Petition information was sent to Seward Township on April 25, 2022. The Seward Township Planning Commission reviewed the proposal in May 2022. They expressed concerns about the location of lighting with respect to the adjacent homes. The Seward Township Planning Commission recommended approval of the request. An email to that effect was provided. The Seward Township Board met on May 28, 2022 and recommended denial on a vote of three (3) in favor and one (1) in opposition. The Township Board recommended denial because of concerns related to decreased property values, noise, pollution concerns, the presence of containers for storage, fire issues, the impact of the use on the existing pipelines, and enforcement of conditions by the County. The minutes of the meeting were provided.

Petition information was sent to the Village of Shorewood on April 25, 2022. On May 4, 2022, the Village of Shorewood submitted an email saying they did not want to request a right-of-way dedication for a biking/walking trail. This email was provided.

Petition information was sent to the Minooka Fire Protection District on April 25, 2022. On May 5 and 6, 2022, the Minooka Fire Protection District submitted a letter and email requesting a fire alarm system that meets applicable codes, no smoking signs near the mulch pile, a dry fire hydrant, and signage properly marking the address of the property. The letter and email were provided. The Petitioners were agreeable to this request.

The Kendall County ZPAC reviewed this Petition at their meeting on May 3, 2022. Mr. Klaas asked if the six inch (6") pipe shown on the plans went to Route 52. John Tebrugge, Petitioners' Engineer, said the pipe goes almost to Route 52. The Petitioners had not received final access approval from the Illinois Department of Transportation; they will not get final approval until they (the Dippolds) own the property. The Petitioners understood that any buildings constructed on the property would not be eligible for agricultural building permit exemptions. Based on the information provided, the well would not be a non-community well. The Petitioners were advised to design the septic system for maximum load. The Petitioners were advised to identify on the site plan where lights would be placed. The Petitioners had no plans to use the access off of Arbeiter Road. The land comes with building allocations. ZPAC recommended approval of the proposal by a vote of six (6) in favor and zero (0) in opposition with four (4) members absent. The minutes were provided.

The Kendall County Regional Planning Commission reviewed this Petition at their meeting on May 25, 2022.

Chairman Ashton asked if the Minooka Fire Protection District wanted just an alarm system or if the request was to have the building sprinklered. Mr. Asselmeier responded just an alarm system.

Member Wilson asked how the Petitioners were going to manage the mulch pile and if mulch would be sold. Jeremy Dippold, Petitioner, said the mulch would be installed on off-site locations. They would have several small piles. The maximum height of the mulch piles would be twelve feet (12') because of the company's equipment.

Member Casey asked where the business was currently located. Mr. Dippold responded Renwick Road and Interstate 55. Mr. Dippold said the proposed location would look better than the existing location because no inside storage exists at their current location.

Member Casey asked about possible expansion. Mr. Asselmeier said, if the Petitioners expanded into the farmland beyond the area identified on the site plan, an amendment to the special use permit would be required.

Discussion occurred regarding the access point off of Arbeiter Road. The access would remain to allow a farmer to get their equipment into the field. Based on the plans, it appeared difficult for a farmer to get equipment to north portion of the property using the access off of Route 52. Equipment could be driven through the parking lot. The current owner would continue to farm the property after the Dippolds acquire the property.

Joe Frescura requested that the proposal be denied for the following reasons:

- 1. The business has no noise control plan; wood chippers would exceed the noise requirements in the proposed special use permit. He provided pictures of the height of mulch piles at the business' current location. The trees proposed on the site plan will not reach full height for ten (10) years and will not provide a full noise buffer until that time.
- 2. The dyed mulch will jeopardize local wells, waterways, and wetlands.
- 3. Inclusion of access to Arbeiter Road; he would like to see the access point removed. He also discussed burning at other landscaping businesses.
- 4. There are several containers at the Petitioners' current operating location. He was concerned about the placement of the containers turning the area into an industrial park and causing a decrease in property values in the area.
- 5. He noted that five (5) landscaping business have special use permits in Seward Township. These existing special uses are not located near homes like the proposed special use.
- 6. He expressed concerns regarding the soils to support a septic system.
- 7. He expressed concerns regarding burning on the property and the possible intermingling of onsite and offsite generated materials in a burn pile.
- 8. He noted that the LESA Score was 210. He argued the property should be retained for farming.

Mr. Dippold said chippers would not be used onsite; they would be at customers' homes. He explained the mulch dyeing process; the dyed mulch is not hazardous. He did not want burning on the property. He has three (3) containers which are used for storage; the containers would be replaced with the building. He was agreeable to a condition not allowing shipping containers on the property. He did not anticipate operating at the site until July 2023. He has no interest in using Arbeiter Road to access the property for the business.

Anne Vickery noted this proposal would be the sixth (6th) landscaping special use in Seward Township. She asked if anyone on the Board would like to live next to this type of use. She also noted that the property was planned to be residential. She asked who would enforce the regulations; she noted burning at another landscaping business.

Robert Delaney said the area was a residential area and should remain a residential area. He questioned the need to have a large amount of acreage used for the proposed use.

Pat Frescura said that she has lived in the area for over fifty (50) years. She noted the time, investment, and pride in her property. She was against having the proposed use near her property. She wanted to keep the land as farmland. She said that she was unaware of the Seward Township Planning Commission's meeting.

Jim Martin, Seward Township Trustee, said the Seward Township Planning Commission did not forward a recommendation to the Township Board. The Township Board did not vote on this proposal.

Tim O'Brien, Seward Township Supervisor, said the Seward Township Planning Commission did not forward a recommendation to the Township Board.

It was noted that the proposal would preserve agricultural uses on the majority of the property.

Dave Shively asked what A-1 meant. A-1 means agricultural. He discussed the repaying of Arbeiter Road. He asked about enforcement of burning regulations. Mr. Asselmeier explained that burning items brought onto the property was against State law. Mr. Shively favored keeping the property in farming. He favored a housing development instead of the proposed use.

Member Wilson favored having the proposal over houses.

Tony Guzman said that he bought his property because it was a residential area. He would like to see the property become a park. He likes the wildlife in the area. He felt the use was an industrial use.

Mr. Dippold asked if his proposal was any different than a farmer building grain bins with related noise and odors. He also noted that he was pursuing the zoning on the property the correct way.

Kim Larkin said that she did not want to look at this use in her backyard. She said that mulch has an odor. Discussion occurred regarding the smell of mulch. She expressed concerns about diminished property values.

Steve Papaeliou expressed his opposition to the containers on the property.

Mr. O'Brien requested the proposal be tabled proposal and sent back to Seward Township. Member Wilson wanted to know the opinion of the Township Board. Member Nelson noted the Petitioners followed the proper procedures to get to this point. Mr. Dippold opposed tabling the proposal because Mr. Fecht wants to close on the property quickly.

Member Nelson did not see much of a difference between the proposal and farming uses.

Member Wormley noted that a subdivision could be placed on the property at some point in the future, even if the special use permit was approved. He thought the proposal was a good proposal compared to other uses that could go on the property.

The Kendall Regional Planning Commission voted to recommend approval of the proposal with an additional condition stating that no storage containers would be allowed on the subject property by a vote of seven (7) in favor and one (1) in opposition with one (1) member absent. The minutes of the meeting were provided.

Member LeCuyer arrived at this time (7:14 p.m.).

Per Section 7:01.D.30 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.

- 2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least seventy-three thousand, two hundred eighty pounds (73,280 lbs.), unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.
- 3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials, the above conditions have been met.

According to the business plan, the business currently operates two (2) four (4) employee crews in April through October and one (1) four (4) employee crew in November through March. The Petitioners plan to hire four (4) additional employees, if business increases. Employees arrive at the property at approximately 7:30 a.m., go to work sites, and return to the property between 3:30 p.m. and 4:00 p.m. Employees unload equipment and materials and leave between 4:30 p.m. and 5:00 p.m. The business operates on Monday through Fridays with an occasional Saturday.

Business equipment presently consists of two (2) bucket trucks, two (2) wood chippers, two (2) one (1) ton pickup trucks, two (2) utility trailers, two (2) spare pick-up trucks, and one (1) wheel leader tractor. When not in operation, the Petitioners plan to house vehicles and equipment inside the proposed approximately nine thousand six hundred (9,600) square foot building. Mulch and firewood piles would be placed on the gravel area as shown on the site plan and landscaping plan and would be piled a maximum twelve feet (12') in height. The Petitioners do not plan to store stone, brick, or rock at the property. Per the site plan, the gravel area is approximately ten point five (10.5) acres in size. If there is a motor vehicle or equipment related leak, the impacted gravel will be removed and replaced with clean gravel.

No retail services will be available at the property and retail customers will not be invited onto the property.

If approved, the Petitioners plan to start operations as quickly as possible.

One (1) approximately nine thousand six hundred (9,600) square foot building is proposed for the site in the location depicted on the site plan and landscaping plan. The building will look substantially like the provided rendering. The walls will be approximately sixteen feet (16') feet tall and the doors will be fourteen feet (14') in height. The peak of the building will be a maximum twenty-four feet (24').

Any structures related to the landscaping business would be required to obtain applicable building permits.

No well or septic system presently exists on the property. No other utilities are located on the property.

One (1) ten foot by ten foot (10' X 10') dumpster enclosure was shown on the site plan and landscaping plan east of the vehicle parking area.

The property drains to the south.

ZBA Meeting Minutes 05.31.22

There is one (1) wetland located near the northwest corner of the property.

The site plan and landscaping plan show a proposed seventy-three thousand, nine hundred eighty-four (73,984) square foot wet bottom pond. At the deepest point, the pond will be sixteen feet (16') deep. The stormwater plan information was provided.

WBK Engineering submitted comments on the proposal. This letter was provided. These comments will have to be addressed prior to the issuance of a stormwater management permit.

Per the site plan and landscaping plan, the Petitioners plan to install one (1) thirty foot (30') wide gravel driveway. The driveway will be approximately forty-eight feet (48') from the western property line.

According to site plan and landscaping plan, the Petitioners plan to install two (2) parking areas. One (1) parking area is planned south of the building and the other parking area is planned west of the building. The total number of parking spaces is twenty-one (21) including one (1) handicapped accessible parking space.

Three (3) pipeline easements exist on the property.

No existing lighting is located on the property.

At the time of the ZPAC meeting and Seward Township Planning Commission meeting, the Petitioners had not submitted a lighting plan. The lighting plan shows one (1) free standing light near the south parking lot and six (6) lights on the building. Based on the photometrics provided, no light would cross the property lines. The lighting plan was provided.

Per Section 11:02.F.12.e, of the Kendall County Zoning Ordinance, the maximum height for the freestanding light is twenty feet (20').

According to the site plan and landscaping plan, one (1) non-illuminated sign is proposed between the gravel driveway and the western property line. No information was provided regarding sign dimensions or height. Per Section 12:08.A. of the Kendall County Zoning Ordinance, the total maximum allowable signage is thirty-two (32) square feet of gross surface area.

No security information was provided.

The landscaping plan shows one hundred fifty (150) white pines along the perimeter of the property. The white pines will be three (3') feet at the time of planting and will grow to between fifty feet (50') and eighty feet (80'). Ten (10) deciduous trees are planned along the perimeter of the pond. The trees will be one and one half inches (1.5") at the time of planting. The landscaping plan also calls for a seed mix of Kentucky blue grass and turf type perennial grass around the pond and along the gravel driveway. Vegetation will be installed after the gravel and pond are installed.

The portion of the property not used for storage, building, driveway, or the pond will remain farmed. Most of the property will be farmed in 2022, which will delay the installation of the landscaping until 2023.

No information was provided regarding noise control.

ZBA Meeting Minutes 05.31.22

No new odors are foreseen by the proposed use.

If approved, this would be the nineteenth (19th) special use permit for a landscaping business in unincorporated Kendall County.

The proposed Findings of Fact were as follows:

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Provided the site is developed in accordance with the submitted site plan and landscaping plan, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. Conditions may be placed in the special use permit ordinance to address hours of operation.

That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, lighting, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. If a stormwater management permit is issued based on the submitted materials, drainage should not be an issue. If the Illinois Department of Transportation approves the access, ingress and egress should not be an issue. Utilities will need to be extended and/or installed on the property.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true. No variances are required.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 9-21 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents". Also, the Kendall County Future Land Use Map and the Village of Shorewood's Future Land Use Map call for commercial uses near the intersection of Route 52 and Arbeiter Road.

Staff recommended approval of the special use permit for a landscaping business subject to the following conditions and restrictions:

- 1. The site shall be developed substantially in accordance with the submitted site plan, landscaping plan, and lighting plan (amended after ZPAC).
- 2. The gravel area shown on the submitted site plan and landscaping plan shall not exceed ten point five (10.5) acres in size. The owners of the business allowed by this special use permit may reduce the amount of acreage covered by gravel.
- 3. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
- 4. One (1) approximately nine thousand six hundred (9,600) square foot building may be installed on the subject property in substantially the location shown on the site plan. The building shall look substantially like the building depicted in the submitted rendering. The maximum height of the building shall be twenty-four feet (24').
- 5. Any new structures constructed or installed related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
- 6. No business operations may commence at the subject property until an occupancy permit is issued for the building shown on the submitted site plan. No business operations may commence at the subject property until the parking stalls, dumpster enclosure, and wet bottom pond shown on the submitted site plan are installed. Business operations may commence at the subject property prior to the installation of vegetation shown on the submitted landscaping plan.
- 7. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property during the hours the business is open and shall be stored indoors during non-business hours.
- 8. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
- 9. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
- 10. All landscape related materials shall be stored indoors or on the gravel area depicted on the site plan. The maximum height of the piles of landscaping related material shall be twelve feet (12') in height, unless otherwise restricted by a stormwater management permit. Stone, brick, and rock shall not be stored outdoors.
- 11. The size and depth of the wet bottom pond shall be governed by the stormwater management permit issued for the subject property.

- 12. One (1) two (2) sided non-illuminated sign may be installed on the location depicted on the submitted site plan.
- 13. At least two (2) no smoking signs shall be installed near the piles of landscaping related materials. (added after ZPAC)
- 14. One hundred fifty (150) white pines shall be installed in substantially the locations shown on the submitted landscaping plan. The white pines shall be a minimum of three feet (3') in height at the time of planting. The white pines shall be installed by June 30, 2023. Damaged or dead white pines shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the white pines.
- 15. Ten (10) deciduous trees shall be installed in substantially the locations shown on the submitted landscaping plan. The deciduous trees shall be a minimum one point five inches (1.5") in diameter at the time of planting. The deciduous trees shall be installed by June 30, 2023. Damaged or dead deciduous trees shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the deciduous trees.
- 16. The seed mix called for in the submitted landscaping plan shall be installed by June 30, 2023. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the seed mix.
- 17. No landscape waste generated off the property can be burned on the subject property.
- 18. A maximum of twenty (20) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work. No employees shall engage in the sale of landscaping related materials on the property.
- 19. No retail customers of the business allowed by this special use permit shall be invited onto the property by anyone associated with the use allowed by this special use permit.
- 20. The hours of operation of the business allowed by this special use permit shall be Monday through Saturday from 7:30 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
- 21. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-

five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

- 22. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
- 23. One dry hydrant shall be placed on the property (added after ZPAC).
- 24. The maximum height of the light pole shown in the lighting plan shall be twenty feet (20') (added after ZPAC).
- 25. No storage/shipping containers are allowed on the subject property (added by the RPC).
- 26. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
- 27. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
- 28. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
- 29. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
- 30. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

Member Fox asked about the powered equipment exemption. Mr. Asselmeier said the powered equipment exemption applies to equipment used to maintain the property and not to equipment related to the landscaping business.

Member Vickery asked if the landscaping business would also be in the snow moving business. Mr. Asselmeier said the Petitioners have not indicating if they will be in the snow removal business. The business would be governed by the hours of operation and maximum number of employee conditions in the special use permit.

Member Vickery asked why the site plan showed twenty-one parking spaces. Mr. Asselmeier responded that the number of parking spaces was dictated by the Zoning Ordinance.

Member Vickery asked if the area used for the business onsite could be expanded. Mr. Asselmeier responded that, if the Petitioners expanded the area used for the business, an amendment to the special use permit would be required.

Chairman Mohr asked about the zoning of the homes in the surrounding area. Mr. Asselmeier said most of the homes were zoned A-1, but two (2) homes were zoned R-3.

Member Vickery asked if the access point off of Arbeiter Road was owned or part of the subject property. Mr. Asselmeier responded yes.

Member Vickery noted that that one (1) municipality called for the area to be residential while another municipality called for the area to be residential and commercial. She questioned why the County would go against the wishes of the municipalities. Mr. Asselmeier said that the subject property was inside Shorewood's planning area and next to Joliet's planning area. Shorewood's plan called for the area to be residential and commercial.

Member Vickery noted that a wetland existed on the property.

Other than landscaping, no trees would be grown on the property.

Chairman Mohr opened the public hearing at 7:33 p.m.

Chairman Mohr swore in Boyd Ingemunson, Jeremy Dippold, Joe Frescura, Pat Frescura, Ramiro Guzman, Kim Larkin, Sheila Trost, Tim O'Brien, and Mark Fecht.

Boyd Ingemunson, Attorney for the Petitioners, said the Petitioners have gone above and beyond what is required of them in terms of planning and preparing for the proposal. He said the business is a tree processing company. Trees and chipping occurs offsite. Onsite, they make mulch and cut firewood for customers. No chipping occurs onsite. There are no by-products. No storage of landscaping materials like rock or grass clippings, will occur. He noted that the conditions were more restrictive than other special uses in the A-1 District. The Petitioners agreed to the conditions. He noted the buffer space and screening with trees.

Member Vickery asked if chipping would occur onsite. Mr. Ingemunson said chipping occurs offsite.

Mr. Ingemunson noted the safety guide for the mulch dyeing. He said table salt is more toxic than mulch dyeing.

Mr. Ingemunson said wood splitting would occur onsite with a hydraulic splitter.

Member Vickery asked about containers. Jeremy Dippold, Petitioner, said the reason for the building was to store equipment. No cargo containers would be needed if the building was constructed. He was agreeable to a condition not to have semi-trailers on the premises.

Chairman Mohr asked how long the business had been in existence on Renwick Road. Mr. Dippold responded 2012.

Chairman Mohr asked about the distance to existing residences at the business' current site. Mr. Dippold responded the current site was thirty-two (32) acres and across the entire frontage there is about a dozen homes. He has not received any complaints.

Chairman Mohr asked if the business will change because of the increased acreage. Mr. Dippold responded that he wanted additional room and have more organization.

Chairman Mohr asked if any employees self-report to sites. Mr. Dippold responded employees come to the business and take work vehicles to sites.

Mr. Dippold explained that he always overdoes in terms of room and space. He noted it was better to have multiple small piles of mulch.

Chairman Mohr said the subject property will eventually turn into houses.

Discussion occurred regarding moving the perimeter trees, with berms and more mature trees, along the boundary of the landscape business area instead of around the perimeter of the entire site. Mr. Dippold described tree growth and that trees root better on flat pieces of land.

Joe Frescura discussed the impact of the proposed use on property values. He said that no noise plan was provided. He discussed the removal of tree waste from the site. He discussed the wheel loader used by the Petitioners. This piece of equipment generates about 125 decibels. He said people purchased property in the area for the peace and quiet. Agricultural equipment is used episodically and not continually on the subject property. The proposed use is different than residential maintenance. He stated that the proposed use is close to residential houses, which is different than other intense agricultural and landscaping uses. Noise would decrease property values. It was noted that no noise study existed for the proposed use. The noise ordinance does not apply to agricultural uses. Mr. Asselmeier explained the enforcement of noise regulations. Mr. Frescura requested a noise study. He also noted that the amount of chemicals impact toxicity. He questioned how much water would be used to dilute chemicals. Loss of water would also negatively impact property values.

Pat Frescura said the property is zoned residential and agricultural and has been used for farming. She had a Realtor look at her property and said that her property would decrease in value by fifteen percent (15%) if the proposed use moved into the area. She said no one would benefit from this use, except the Petitioners. She noted the odors from the mulch, dust from truck traffic, noise, and burning would negatively impact the area. She said that complaints of burning against TZ Landscaping have been made and no enforcement occurs. She did not see a gain to the public from the proposed use. She noted that none of the existing landscaping businesses were close to existing homes. She noted that the Seward Township Board voted against the proposal. She noted the LESA Score was 210 making the land desirable for farming; lower score land should be used for business uses.

Discussion occurred regarding other landscaping businesses located near residences.

Ramiro Guzman said that he was also in the landscaping business, but did not operate out of his house. He loves the agriculture around his property. He did not think a business would locate in the area. He is

ZBA Meeting Minutes 05.31.22

opposed to the proposal. He discussed the making of chips and mulch. He would like to know the power load of the grinder. The use will create a pile of dead branches; he questioned the height of piles of brush and logs. He was also concerned about the safety of local children because of the pond. He was also concerned about mulch fires. Mr. Dippold described his grinder; he said it makes minimal noise. He said his pond is no different than retention ponds in subdivision. He was not opposed to moving the screen of trees to around the landscaping business area only.

Sheila Trost questioned the public need for the proposed use. Chairman Mohr said there was not a public need and special use permits do not need to meet all of the LaSalle Factors, like zoning changes.

Kim Larkin felt the proposal did not meet the requirements of the LaSalle Factors. The business will not be open to the public and will not bring anything to the community or provide income to the County or Township. She said Kendall County does not come out when complaints are filed; she provided an example involving Animal Control and a dog in the area.

Mr. Frescura asked about buildings not being considered agricultural. Mr. Asselmeier explained that the conditions related to agricultural exempt buildings and agricultural exempt equipment were placed in special use permits to qualify that the use is not agricultural and needs to secure appropriate permits and follow rules for non-agricultural equipment. Mr. Frescura argued that the use is a manufacturing use and not an agricultural use.

Tim O'Brien, Seward Township Supervisor, noted that the Seward Township Board voted this proposal down by a three (3) to one (1) vote.

Mark Fecht, Property Owner and Petitioner, said the wetland is a farmed wetland. He said the soil is not the greatest soil; leaching was not likely. He discussed his hog operations and the property would be ideal for pig space. He felt operating a hog farm would more negatively impact property values than the proposed use. He felt that he might be able to get two thousand four hundred (2,400) hogs on the property. The property was not set up for irrigation.

Discussion occurred regarding the location of the pipelines. The pipelines are near the southern part of the property and are not near the proposed use area.

Chairman Mohr closed the public hearing at 8:19 p.m.

Mr. Asselmeier explained which districts landscaping businesses were allowed by special use.

Mr. Asselmeier was unaware if any of the other landscaping businesses manufactured mulch to the degree of the proposed use.

Member Vickery made a motion, seconded by Member Fox, to approve the following Finding:

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Provided the site is developed in accordance with the submitted site plan and landscaping plan, the operation of the special use will

not be detrimental to the public health, safety, morals, comfort, or general welfare. Conditions may be placed in the special use permit ordinance to address hours of operation.

The votes were as follows:

Ayes (4): Fox, LeCuyer, Mohr, and Thompson

Nays (1): Vickery Abstain (0): None

Absent (2): Cherry and Whitfield

The motion passed.

Member LeCuyer made a motion, seconded by Member Vickery, to approve the following Finding:

That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, lighting, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses.

The votes were as follows:

Ayes (3): Fox, LeCuyer, and Thompson

Nays (2): Mohr and Vickery

Abstain (0): None

Absent (2): Cherry and Whitfield

The motion passed.

Member Thompson made a motion, seconded by Member Fox, to approve the following Finding:

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. If a stormwater management permit is issued based on the submitted materials, drainage should not be an issue. If the Illinois Department of Transportation approves the access, ingress and egress should not be an issue. Utilities will need to be extended and/or installed on the property.

The votes were as follows:

Ayes (4): Fox, LeCuyer, Mohr, and Thompson

Nays (1): Vickery Abstain (0): None

Absent (2): Cherry and Whitfield

ZBA Meeting Minutes 05.31.22

The motion passed.

Member LeCuyer made a motion, seconded by Member Fox, to approve the following Finding:

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true. No variances are required.

The votes were as follows:

Ayes (4): Fox, LeCuyer, Mohr, and Thompson

Nays (1): Vickery Abstain (0): None

Absent (2): Cherry and Whitfield

The motion passed.

Member Fox made a motion, seconded by Member LeCuyer to approve the following Finding:

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 9-21 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents". Also, the Kendall County Future Land Use Map and the Village of Shorewood's Future Land Use Map call for commercial uses near the intersection of Route 52 and Arbeiter Road.

The votes were as follows:

Ayes (3): Fox, LeCuyer, and Thompson

Nays (2): Mohr and Vickery

Abstain (0): None

Absent (2): Cherry and Whitfield

The motion passed.

Member Vickery requested that condition 25 be amended to include semi-trailers. There was no objection to this requested amendment.

Member Thompson suggested changing the number and location of trees. Mr. Asselmeier said that other conditions required the site and landscaping plan be developed in a certain way; those conditions would also need to be amended if the number and location of trees were changed. The consensus of the Board of was not make these changes.

Member LeCuyer made motion, seconded by Member Fox, to approve conditions for the special use permit with the amendment to condition 25 to not allow semi-trailers to be parked on the subject property.

Member Vickery said the people have spoken and the Board has not listened. She submitted her resignation from the Board. She left the meeting at this time (8:36 p.m.).

Chairman Mohr discussed the storage business on Route 71 that was withdrawn prior to final action because of the proximity of residences to proposed. He felt the proposed use was too close to residences and the use will change the look and feel of the area.

Mr. Asselmeier provided a history of landscaping businesses under the A-1 zoning district.

Discussion occurred regarding the differences between landscaping and forestry businesses.

The distance of the operations to existing homes was examined.

The votes were as follows:

Ayes (4): Fox, LeCuyer, Mohr, and Thompson

Nays (0): None Abstain (0): None

Absent (3): Cherry, Vickery, and Whitfield

The motion passed.

Member LeCuyer made a motion, seconded by Member Fox, to recommend approval of the special use permit with the conditions proposed by Staff as amended.

The votes were as follows:

Ayes (3): Fox, LeCuyer, and Thompson

Nays (1): Mohr Abstain (0): None

Absent (3): Cherry, Vickery, and Whitfield

Pursuant to 55 ILCS 5/5-12011, the concurrent vote of four (4) members of a Board consisting of seven (7) members is required to decide in favor of the applicant. Therefore, the recommendation is denial.

Chairman Mohr voted no because of the concerns raised by the neighbors related to the view of area. He was also concerned about loss of property values. He believed the subject property would eventually be houses.

The proposal will go to the Kendall County Planning, Building and Zoning Committee on June 13, 2022.

The Zoning Board of Appeals completed their review of Petition 22-10 at 8:45 p.m.

PUBLIC COMMENTS

Mr. Asselmeier also said that the Illinois Association of County Zoning Officials was having a training session, including a session on zoning hearing procedures, on October 21, 2022, via Zoom. He would email meeting information.

Mr. Asselmeier reported that, for the June 27th hearing, there will be a Petition requesting a special use permit for a government facility; Lisbon Township was building a new building on their property on Route 47. There will also be a text amendment regarding lighting at towers on the agenda.

ADJOURNMENT OF THE ZONING BOARD OF APPEALS

Member Thompson made a motion, seconded by Member LeCuyer, to adjourn.

With a voice vote of four (4) ayes, the motion carried.

The Zoning Board of Appeals meeting adjourned at 9:00 p.m.

The next hearing/meeting will be on June 27, 2022.

Respectfully submitted by, Matthew H. Asselmeier, AICP, CFM Senior Planner

Exhibits

- 1. Memo on Petition 22-10 Dated May 27, 2022
- 2. Certificate of Publication for Petition 22-10 (Not Included with Report but on file in Planning, Building and Zoning Office)
- 3. May 28, 2022 Seward Township Minutes
- 4. Mulch Safety Information

KENDALL COUNTY ZONING BOARD OF APPEALS MAY 31, 2022

In order to be allowed to present any testimony, make any comment, engage in cross-examination, or ask any question during this public hearing, you must enter your name, address, and signature on this form prior to the commencement of the public hearing. By signing this registration sheet, you agree that you understand that anything you say will be considered sworn testimony, and that you will tell the truth, the whole truth and nothing but the truth

NAME	ADDRESS	SIGNATURE
TIMOBRIEN TOM FLEMING Sheila TROST PANCSCHOLTES Soyd Ingemunson		
Jeery Dipold Joe Fresco LA Pat George Jerry Gorges Lew Larker		
May 4 Perlo		

STATE OF ILLINOIS Kendall County Town of Seward

The Board of Trustees met at the office of the Town Clerk at Seward Town Hall at 14719 O'Brien Road, Minooka, Illinois 60447.

SPECIAL MEETING SATURDAY MAY 28, 2022 @ 7:00PM.

Present:

Mr. Tim O'Brien, Supervisor Ms Sharleen Smith, Trustee Mr. Tom Fleming, Trustee Mr. Jim Martin, Trustee

Absent: Mr. Dan Roberts, Trustee Mrs. Sheila Trost. Clerk

Tim O'Brien, Chairperson and Sharleen Smith, Acting Clerk conducted the following business.

The Seward Township May 28, 2022 Special meeting was called to order at 7:00 p.m. All Trustees except Dan Roberts and Clerk Sheila Trost were present. There were 20 visitors present. After the Pledge of Allegiance, Supervisor O'Brien conducted the following meeting.

Public comments:There were a concerns about the tree business going up on Rte 52 near Arbeiter Road, Petition 22 - 10. It is a 50 acre parcel. The Board heard concerns from several residents. These concerns included but were not limited to decreased property taxes, noise pollution, environmental pollution from chemical leaching into the wells and odors, containers for storage, fire issues, renting of land to other landscapers to recoup some of the expense of buying the property. How will the equipment affect the pipelines that are located under the land. Another major concern was how is the county going to police the area and check if the tree company is adhering to the resolutions that was put forth by the County. The potential owner and the person selling the land also spoke and tried to address the issues. They stated that there will be a 30 acre buffer between the building, work area and the homes. There will be trees planted. There will be a pond dug to help with fire concerns and also a dry hydrant built. There will be no entrance to the property along Arbeiter Road. The machines will not be running 24/7. Machinery will be stored in the building. The business will be paying taxes to the County. Fire risk is minimal.

New Business:

The Board discussed the issues and stated their concerns, similar to the residents. One major concern was the County's lack of policing of the current businesses to monitor

their compliance of their special use permits. It was felt that the County needs to step up and do this. Jim Martin made a motion to recommend the approval of the petition of Best Budget Tree Service LLC Petition 22-10 seconded by Tom Fleming. In a roll call vote the motion was **defeated by a 3 - 1 vote** citing concerns of the residents. The Seward Township Board does **NOT** recommend this petition.

With no further business, a motion to adjourn was made Jim Martin and seconded by Tom Fleming. All members voted Aye, motion carried. Meeting adjourned at 8:30p.m.

Attest
Sharleen Smith/ Acting Clerk

Impact® Dark Walnut

Version 1.0

Revision Date:

10/26/2020

SDS Number:

000000574986

Date of last issue: -

Date of first issue: 10/26/2020

SECTION 1. IDENTIFICATION

Product name

Impact® Dark Walnut

00000000050346572 00000000050346572 Product code

Manufacturer or supplier's details

Company name of supplier

Master Builders-Admixtures US,LLC

Address

23700 CHAGRIN BLVD Beachwood OH 44122

Emergency telephone

ChemTel: +1-813-248-0585 USA: +1-800-255-3924 Contract

Number MIS9240420

Recommended use of the chemical and restrictions on use

Recommended use

: Product for construction chemicals

Restrictions on use

Reserved for industrial and professional use.

SECTION 2. HAZARDS IDENTIFICATION

GHS classification in accordance with 29 CFR 1910.1200

Not a hazardous substance or mixture according to the Globally Harmonized System (GHS).

GHS label elements

Not a hazardous substance or mixture according to the Globally Harmonized System (GHS).

Other hazards

No data available.

SECTION 3. COMPOSITION/INFORMATION ON INGREDIENTS

Chemical nature

: No data available.

Components

Chemical name	CAS-No.	Concentration (% w/w)
Iron oxide	1309-37-1	25 - 50
Carbon black	1333-86-4	5 - 15
ammonia, aqueous solution	1336-21-6	0.1 - 1

SECTION 4. FIRST AID MEASURES

General advice

Remove contaminated clothing.

Do not leave the victim unattended.

If inhaled

Keep patient calm, remove to fresh air.

If unconscious, place in recovery position and seek medical

advice.

If symptoms persist, call a physician.

In case of skin contact

Wash thoroughly with soap and water

In case of eye contact

Wash affected eyes for at least 15 minutes under running

water with eyelids held open.

Remove contact lenses. Protect unharmed eye.

If eye irritation persists, consult a specialist.

If swallowed

Rinse mouth and then drink 200-300 ml of water.

MBCC GROUP

Impact® Dark Walnut

Version 1.0

Revision Date: 10/26/2020

SDS Number: 000000574986 Date of last issue: -

Date of first issue: 10/26/2020

Keep respiratory tract clear.

Do not give milk or alcoholic beverages.

Never give anything by mouth to an unconscious person.

If symptoms persist, call a physician.

Most important symptoms and effects, both acute and

delaved

Notes to physician

None known.

: Treat symptomatically.

SECTION 5. FIRE-FIGHTING MEASURES

Suitable extinguishing media

Water spray Dry powder Foam

Carbon dioxide (CO2)

Unsuitable extinguishing

High volume water jet

Specific hazards during fire

fighting

In case of fire hazardous decomposition products may be

produced such as:

Hazardous combustion prod- :

ucts

nitrogen oxides

Further information

Keep containers cool by spraying with water if exposed to fire.

In case of fire and/or explosion do not breathe fumes. Collect contaminated extinguishing water separately, do not

allow to reach sewage or effluent systems.

Dispose of fire debris and contaminated extinguishing water in

accordance with official regulations. Standard procedure for chemical fires.

Use extinguishing measures that are appropriate to local cir-

cumstances and the surrounding environment.

Special protective equipment:

for fire-fighters

Wear self-contained breathing apparatus and chemical-

protective clothing.

Wear self-contained breathing apparatus for firefighting if nec-

essary.

SECTION 6. ACCIDENTAL RELEASE MEASURES

Personal precautions, protec- : tive equipment and emer-

gency procedures

Do not breathe vapour/spray.

Use personal protective clothing. Avoid contact with the skin, eyes and clothing.

Environmental precautions

Do not discharge into the subsoil/soil.

Do not discharge into drains/surface waters/groundwater.

If the product contaminates rivers and lakes or drains inform

respective authorities.

Methods and materials for containment and cleaning up Dispose of absorbed material in accordance with regulations.

Collect waste in suitable containers, which can be labeled and

Clean contaminated floors and objects thoroughly with water

and detergents, observing environmental regulations.

336

MBCC GROUP

Impact® Dark Walnut

Version 1.0

Revision Date: 10/26/2020

SDS Number: 000000574986

Date of last issue: -

Date of first issue: 10/26/2020

Wipe up with absorbent material (e.g. cloth, fleece). Keep in suitable, closed containers for disposal.

SECTION 7. HANDLING AND STORAGE

Advice on protection against :

fire and explosion

No special precautions necessary.

does not flash

Product is not explosive.

Normal measures for preventive fire protection.

Advice on safe handling

No special measures necessary if stored and handled correct-

Ιv.

Ensure thorough ventilation of stores and work areas.

When using do not eat, drink or smoke.

Hands and/or face should be washed before breaks and at the

end of the shift.

For personal protection see section 8.

Smoking, eating and drinking should be prohibited in the ap-

plication area.

Conditions for safe storage

Electrical installations / working materials must comply with

the technological safety standards.

Further information on stor-

age conditions

Keep away from heat.

Protect from direct sunlight.

Materials to avoid

Segregate from foods and animal feeds.

No materials to be especially mentioned.

Further information on stor-

age stability

No data available

SECTION 8. EXPOSURE CONTROLS/PERSONAL PROTECTION

Ingredients with workplace control parameters

Components	CAS-No.	Value type (Form of exposure)	Control parameters / Permissible concentration	Basis
Iron oxide	1309-37-1	TWA value (Respirable fraction)	5 mg/m3	ACGIHTLV
		REL value (Dust and fume)	5 mg/m3 (iron (Fe))	NIOSH
		PEL (fumes/smok e)	10 mg/m3	29 CFR 1910.1000 (Table Z-1)
		TWA value (fumes/smok e)	10 mg/m3	29 CFR 1910.1000 (Table Z-1-A)
	3	TWA (Res- 37pirable par- ticulate mat-	5 mg/m3	ACGIH

MBCC GROUP

Impact® Dark Walnut

Version 1.0 Revision Date: 10/26/2020

SDS Number: 000000574986

Date of last issue: -

Date of first issue: 10/26/2020

	1 1	ter)		
		TWA (dust	5 mg/m3	NIOSH REL
		and fume) TWA (Fumes)	(Iron) 10 mg/m3	OSHA Z-1
		TWA (total dust)	15 mg/m3	OSHA Z-1
		TWA (respirable fraction)	5 mg/m3	OSHA Z-1
		TWA (Fumes)	10 mg/m3	OSHA P0
Carbon black	1333-86-4	TWA value (Inhalable fraction)	3 mg/m3	ACGIHTLV
		PEL	3.5 mg/m3	29 CFR 1910.1000 (Table Z-1)
		TWA value	3.5 mg/m3	29 CFR 1910.1000 (Table Z-1-A
		REL value	0.1 mg/m3 (Polycyclic aro- matic hydrocar- bons (PAH))	NIOSH
		TWA (Inhal- able particu- late matter)	3 mg/m3	ACGIH
		TWA	3.5 mg/m3	NIOSH REL
		TWA	3.5 mg/m3	OSHA Z-1
		TWA	3.5 mg/m3	OSHA P0
		TWA	0.1 mg/m3 (PAHs)	NIOSH REL
ammonia, aqueous solution	1336-21-6	STEL value	35 ppm	ACGIHTLV
		TWA value	25 ppm	ACGIHTLV
		REL value	25 ppm 18 mg/m3	NIOSH
		STEL value	35 ppm 27 mg/m3	NIOSH
		PEL	50 ppm 35 mg/m3	29 CFR 1910.1000 (Table Z-1)
		STEL value	35 ppm 27 mg/m3	29 CFR 1910.1000 (Table Z-1-A
		TWA	25 ppm (Ammonia)	ACGIH
		STEL	35 ppm (Ammonia)	ACGIH
		TWA	25 ppm 18 mg/m3 (Ammonia)	NIOSH REL
	33	ST 8	35 ppm 27 mg/m3 (Ammonia)	NIOSH REL

MBCC GROUP

Impact® Dark Walnut

Version 1.0 Revision Date: 10/26/2020

SDS Number: 000000574986

Date of last issue: -

Date of first issue: 10/26/2020

Engineering measures

Whenever possible, engineering controls should be used to minimize the need for personal protective equipment.

Personal protective equipment

Respiratory protection

Wear respiratory protection if ventilation is inadequate.
Wear a NIOSH-certified (or equivalent) TC23C Chemical/Mechanical type filter system to remove a combination of

particles, gas and vapours.

For situations where the airborne concentrations may exceed the level for which an air purifying respirator is effective, or where the levels are unknown or Immediately Dangerous to Life or Health (IDLH), use NIOSH-certified full facepiece pressure demand self-contained breathing apparatus (SCBA) or a full facepiece pressure demand supplied-air respirator

(SAR) with escape provisions.

Hand protection

Remarks

Chemical resistant protective gloves Protective glove selec-

tion must be based on the user's assessment of the work-

place hazards.

Eye protection

Safety glasses with side-shields.

Tightly fitting safety goggles (chemical goggles). Wear face shield if splashing hazard exists.

Safety glasses

Skin and body protection

 Body protection must be chosen depending on activity and possible exposure, e.g. head protection, apron, protective

boots, chemical-protection suit.

Protective suit

Protective measures

Handle in accordance with good industrial hygiene and safety

practice.

Wearing of closed work clothing is recommended.

Hygiene measures

Store work clothing separately.

Keep away from food, drink and animal feedingstuffs.

General industrial hygiene practice.

SECTION 9. PHYSICAL AND CHEMICAL PROPERTIES

Appearance

liquid, viscous

Color

brown

Odor

mild

Odor Threshold

No data available

pН

approx. 9 - 10 (68 °F / 20 °C)

Melting point

No applicable information available.

boiling temperature

approx. 212 °F / 100 °C

(for a component of this mixture)

Flash point

: > 212 °F / > 100 °C

339

MBCC GROUP

Impact® Dark Walnut

Version 1.0

Revision Date: 10/26/2020

SDS Number: 000000574986

Date of last issue: -

Date of first issue: 10/26/2020

Evaporation rate

: Not applicable

Flammability (solid, gas)

Not applicable

Upper explosion limit / Upper

flammability limit

As a result of our experience with this product and our

knowledge of its composition we do not expect any hazard as long as the product is used appropriately and in accordance

with the intended use.

Lower explosion limit / Lower

flammability limit

As a result of our experience with this product and our

knowledge of its composition we do not expect any hazard as long as the product is used appropriately and in accordance

with the intended use.

Vapor pressure

approx. 23.4 hPa (68 °F / 20 °C)

(for a component of this mixture)

Relative vapor density

: Heavier than air.

Density

approx. 1.5 - 1.7 g/cm3 (68 °F / 20 °C)

Solubility(ies)

Water solubility

dispersible

Solubility in other solvents

No applicable information available.

Partition coefficient: n-

octanol/water

Not applicable

Autoignition temperature

Based on the water content the product does not ignite.

Decomposition temperature

No decomposition if stored and handled as pre-

scribed/indicated.

Viscosity

Viscosity, dynamic

No applicable information available.

Viscosity, kinematic

Forms a viscous solution.

Explosive properties

Based on the chemical structure there is no indication of ex-

plosive properties.

Oxidizing properties

Based on its structural properties the product is not classified

as oxidizing.

Sublimation point

No applicable information available.

Molecular weight

No data available

SECTION 10. STABILITY AND REACTIVITY

Reactivity

: No hazardous reactions if stored and handled as pre-

scribed/indicated.

No decomposition if stored and applied as directed.

MBCC GROUP

Impact® Dark Walnut

Version 1.0

Revision Date: 10/26/2020

SDS Number: 000000574986 Date of last issue: -

Date of first issue: 10/26/2020

Chemical stability

The product is stable if stored and handled as pre-

scribed/indicated.

No decomposition if stored and applied as directed.

Possibility of hazardous reac-

tions

No hazardous reactions if stored and handled as pre-

scribed/indicated.

Stable under recommended storage conditions.

No hazards to be specially mentioned.

Conditions to avoid

See SDS section 7 - Handling and storage. See SDS section 7 - Handling and storage.

Incompatible materials

Strong acids Strong bases

Strong oxidizing agents

Hazardous decomposition

products

: No hazardous decomposition products if stored and handled

as prescribed/indicated.

SECTION 11. TOXICOLOGICAL INFORMATION

Acute toxicity

Not classified based on available information.

Skin corrosion/irritation

Not classified based on available information.

Serious eye damage/eye irritation

Not classified based on available information.

Respiratory or skin sensitization

Skin sensitization

Not classified based on available information.

Respiratory sensitization

Not classified based on available information.

Germ cell mutagenicity

Not classified based on available information.

Carcinogenicity

Not classified based on available information.

Reproductive toxicity

Not classified based on available information.

STOT-single exposure

Not classified based on available information.

STOT-repeated exposure

Not classified based on available information.

Aspiration toxicity

Not classified based on available information.

Further information

Product:

: Misuse can be harmful to health. Remarks

MBCC GROUP

Impact® Dark Walnut

Version

1.0

Revision Date: 10/26/2020

SDS Number: 000000574986

Date of last issue: -

Date of first issue: 10/26/2020

Remarks

: No data available

SECTION 12. ECOLOGICAL INFORMATION

Ecotoxicity

Product:

Toxicity to fish

Remarks: No data available.

Toxicity to daphnia and other

aquatic invertebrates

Remarks: No data available.

Toxicity to algae/aquatic

plants

Remarks: No data available.

Persistence and degradability

No data available

Bioaccumulative potential

Product:

Bioaccumulation

Remarks: Significant accumulation in organisms is not to be

expected.

Mobility in soil

No data available

Other adverse effects

Product:

Additional ecological infor-

mation

There is a high probability that the product is not acutely

harmful to aquatic organisms.

The product has not been tested. The statements on ecotoxicology have been derived from the properties of the individual

components.

SECTION 13. DISPOSAL CONSIDERATIONS

Disposal methods

Waste from residues : Dispose of in accordance with national, state and local regula-

tions.

Do not discharge into drains/surface waters/groundwater. Do not contaminate ponds, waterways or ditches with chemi-

cal or used container.

Contaminated packaging : Contaminated packaging should be emptied as far as possible

and disposed of in the same manner as the sub-

stance/product.

MBCC GROUP

Impact® Dark Walnut

Version 1.0

Revision Date:

SDS Number: 000000574986 10/26/2020

Date of last issue: -

Date of first issue: 10/26/2020

SECTION 14. TRANSPORT INFORMATION

International Regulations

UNRTDG

Not regulated as a dangerous good

IATA-DGR

Not regulated as a dangerous good

IMDG-Code

Not regulated as a dangerous good

Transport in bulk according to Annex II of MARPOL 73/78 and the IBC Code

Not applicable for product as supplied.

Domestic regulation

49 CFR

Not regulated as a dangerous good

SECTION 15. REGULATORY INFORMATION

US State Regulations

Pennsylvania Right To Know

Iron oxide Carbon black 1309-37-1 1333-86-4

New Jersey Right To Know

Carbon black

1333-86-4

The ingredients of this product are reported in the following inventories:

TSCA

: On the inventory, or in compliance with the inventory

SECTION 16. OTHER INFORMATION

Further information

MBCC GROUP

Impact® Dark Walnut

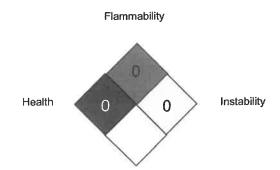
Version 1.0

Revision Date: 10/26/2020

SDS Number: 000000574986 Date of last issue: -

Date of first issue: 10/26/2020

NFPA 704:



Special hazard

HMIS® IV:



HMIS® ratings are based on a 0-4 rating scale, with 0 representing minimal hazards or risks, and 4 representing significant hazards or risks. The "*" represents a chronic hazard, while the "/" represents the absence of a chronic hazard.

Full text of other abbreviations

29 CFR 1910.1000 (Table Z- : OSHA - Table Z-1-A (29 CFR 1910.1000)

29 CFR 1910.1000 (Table Z- :

OSHA - Table Z-1 (Limits for Air Contaminants) 29 CFR

1910,1000

1) **ACGIH**

USA. ACGIH Threshold Limit Values (TLV)

ACGIHTLV

American Conference of Governmental Industrial Hygienists -

threshold limit values (US)

NIOSH **NIOSH REL** NIOSH Pocket Guide to Chemical Hazards (US) USA. NIOSH Recommended Exposure Limits

OSHA P0

USA. OSHA - TABLE Z-1 Limits for Air Contaminants -

1910.1000

OSHA Z-1

USA. Occupational Exposure Limits (OSHA) - Table Z-1 Lim-

its for Air Contaminants

29 CFR 1910.1000 (Table Z- :

Short Term Exposure Limit (STEL):

1-A) / STEL value

29 CFR 1910.1000 (Table Z- : Time Weighted Average (TWA):

1-A) / TWA value

29 CFR 1910.1000 (Table Z- : Permissible exposure limit

1) / PEL

ACGIH / TWA

8-hour, time-weighted average Short-term exposure limit

ACGIH / STEL ACGIHTLV / STEL value ACGIHTLV / TWA value

Short Term Exposure Limit (STEL): Time Weighted Average (TWA): Recommended exposure limit (REL):

NIOSH / REL value NIOSH / STEL value

Short Term Exposure Limit (STEL): Time-weighted average concentration for up to a 10-hour

NIOSH REL / TWA workday during a 40-hour workweek

STEL - 15-minute TWA exposure that should not be exceeded NIOSH REL / ST

at any time during a workday 8-hour time weighted average OSHA P0 / TWA 8-hour time weighted average OSHA Z-1 / TWA

344

MBCC GROUP

Impact® Dark Walnut

Version 1.0

Revision Date: 10/26/2020

SDS Number: 000000574986

Date of last issue: -

Date of first issue: 10/26/2020

AICS - Australian Inventory of Chemical Substances; ASTM - American Society for the Testing of Materials; bw - Body weight; CERCLA - Comprehensive Environmental Response, Compensation, and Liability Act; CMR - Carcinogen, Mutagen or Reproductive Toxicant; DIN - Standard of the German Institute for Standardisation; DOT - Department of Transportation; DSL - Domestic Substances List (Canada); ECx - Concentration associated with x% response; EHS - Extremely Hazardous Substance; ELx - Loading rate associated with x% response; EmS - Emergency Schedule; ENCS - Existing and New Chemical Substances (Japan); ErCx - Concentration associated with x% growth rate response; ERG - Emergency Response Guide; GHS - Globally Harmonized System; GLP - Good Laboratory Practice; HMIS - Hazardous Materials Identification System; IARC - International Agency for Research on Cancer; IATA - International Air Transport Association; IBC - International Code for the Construction and Equipment of Ships carrying Dangerous Chemicals in Bulk; IC50 - Half maximal inhibitory concentration; ICAO - International Civil Aviation Organization; IECSC - Inventory of Existing Chemical Substances in China; IMDG - International Maritime Dangerous Goods; IMO - International Maritime Organization; ISHL - Industrial Safety and Health Law (Japan); ISO - International Organisation for Standardization; KECI -Korea Existing Chemicals Inventory; LC50 - Lethal Concentration to 50 % of a test population; LD50 - Lethal Dose to 50% of a test population (Median Lethal Dose); MARPOL - International Convention for the Prevention of Pollution from Ships; MSHA - Mine Safety and Health Administration; n.o.s. - Not Otherwise Specified; NFPA - National Fire Protection Association; NO(A)EC - No Observed (Adverse) Effect Concentration; NO(A)EL - No Observed (Adverse) Effect Level; NOELR - No Observable Effect Loading Rate; NTP - National Toxicology Program; NZIoC - New Zealand Inventory of Chemicals; OECD - Organization for Economic Co-operation and Development; OPPTS - Office of Chemical Safety and Pollution Prevention; PBT - Persistent, Bioaccumulative and Toxic substance; PICCS - Philippines Inventory of Chemicals and Chemical Substances; (Q)SAR - (Quantitative) Structure Activity Relationship; RCRA - Resource Conservation and Recovery Act; REACH - Regulation (EC) No 1907/2006 of the European Parliament and of the Council concerning the Registration, Evaluation, Authorisation and Restriction of Chemicals; RQ -Reportable Quantity; SADT - Self-Accelerating Decomposition Temperature; SARA - Superfund Amendments and Reauthorization Act; SDS - Safety Data Sheet; TCSI - Taiwan Chemical Substance Inventory; TSCA - Toxic Substances Control Act (United States); UN - United Nations; UNRTDG - United Nations Recommendations on the Transport of Dangerous Goods; vPvB -Very Persistent and Very Bioaccumulative

Revision Date

: 10/26/2020

We support worldwide Responsible Care® initiatives. We value the health and safety of our employees, customers, suppliers and neighbors, and the protection of the environment. Our commitment to Responsible Care is integral to conducting our business and operating our facilities in a safe and environmentally responsible fashion, supporting our customers and suppliers in ensuring the safe and environmentally sound handling of our products, and minimizing the impact of our operations on society and the environment during production, storage, transport, use and disposal of our products.

IMPORTANT: WHILE THE DESCRIPTIONS, DESIGNS, DATA AND INFORMATION CONTAINED HEREIN ARE PRESENTED IN GOOD FAITH AND BELIEVED TO BE ACCURATE, IT IS PROVIDED FOR YOUR GUIDANCE ONLY. BECAUSE MANY FACTORS MAY AFFECT PROCESSING OR APPLICATION/USE, WE RECOMMEND THAT YOU MAKE TESTS TO DETERMINE THE SUITABILITY OF A PRODUCT FOR YOUR PARTICULAR PURPOSE PRIOR TO USE. NO WARRANTIES OF ANY KIND, EITHER EXPRESSED OR IMPLIED, INCLUDING WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, ARE MADE REGARDING PRODUCTS DESCRIBER OR DESIGNS, DATA OR INFORMATION SET FORTH, OR THAT THE PRODUCTS, DESIGNS, DATA OR INFORMATION MAY BE USED

MBCC GROUP

Impact® Dark Walnut

Version 1.0

Revision Date: 10/26/2020

SDS Number:

000000574986

Date of last issue: -

Date of first issue: 10/26/2020

WITHOUT INFRINGING THE INTELLECTUAL PROPERTY RIGHTS OF OTHERS. IN NO CASE SHALL THE DESCRIPTIONS, INFORMATION, DATA OR DESIGNS PROVIDED BE CONSIDERED A PART OF OUR TERMS AND CONDITIONS OF SALE. FURTHER, YOU EXPRESSLY UNDERSTAND AND AGREE THAT THE DESCRIPTIONS, DESIGNS, DATA, AND INFORMATION FURNISHED BY OUR COMPANY HEREUNDER ARE GIVEN GRATIS AND WE ASSUME NO OBLIGATION OR LIABILITY FOR THE DESCRIPTION, DESIGNS, DATA AND INFORMATION GIVEN OR RESULTS OBTAINED, ALL SUCH BEING GIVEN AND ACCEPTED AT YOUR RISK.

US / EN



The safest bet

and still the best.

The world's largest palette of colorant starts with the world's safest formula—and we have the battery of tests to back it up. First, our team performed the same safety studies the cosmetics industry performs on its products. Then we sent our entire line of colorant to labs across the country for independent safety testing, too.

The results were exactly what we expected – non-toxic, non-reactive, non-flammable, environmentally friendly – but now it's a certifiable fact that Colorbiotics® colorant is safer than the salt sitting on your dinner table. That means safe for plants, safe for pets and safe for people.



TOXICOLOGICAL STUDIES

Our colorant rated in the lowest and safest level of toxicity possible — Category IV. That means our colorant is less toxic than table salt. The safety testing consisted of the following areas:

- Skin Sensitization
- Acute Dermal Irritation
- Acute Eye Irritation
- · Acute Inhalation Toxicity
- Acute Dermal Toxicity
- Acute Oral Toxicity

PLANT PHYTOTOXICITY

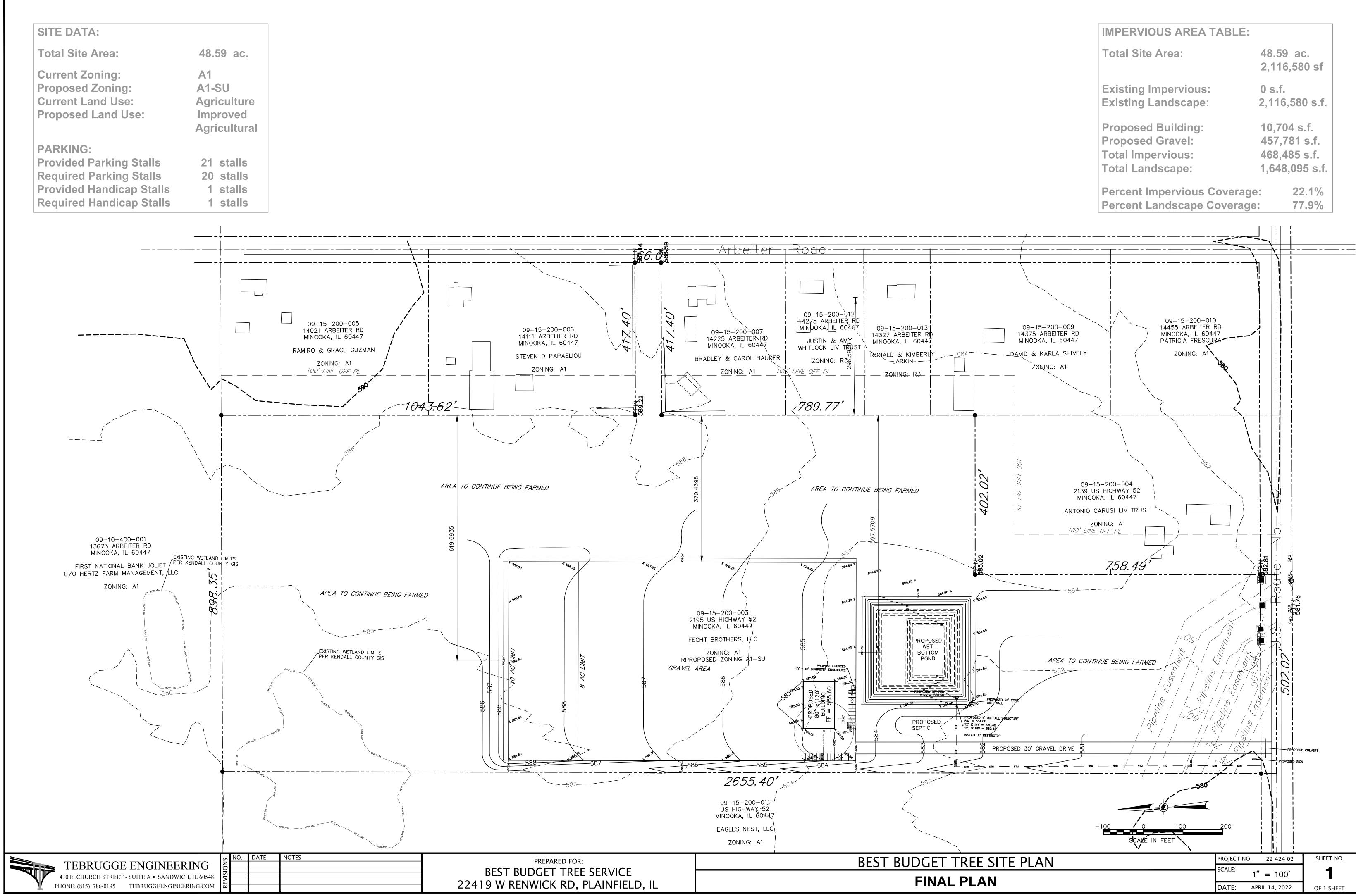
Our colorant was studied alongside a sample of commonly found plants that included petunia, vinca, salvia, tomato, timothy and celery. The results showed that direct plant contact with our colorant is safe for landscapes and gardens.

VOC ANALYSIS

EPA Method 8260B was used to screen for 46 volatile organic compounds that can be harmful or toxic to people, plants and animals. Zero out of those 46 VOCs were detected in our colorant.

Questions? Contact us or talk to your territory manager. 888-663-6980 colorbiotics.com





State of Illinois County of Kendall Zoning Petition #22-10

ORDINANCE NUMBER 2022-____

GRANTING A SPECIAL USE PERMIT FOR A LANDSCAPING BUSINESS AT THE PROPERTY LOCATED ON THE NORTH SIDE OF ROUTE 52 ACROSS FROM 2190 AND 2200 ROUTE 52, MINOOKA AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 09-15-200-003 IN SEWARD TOWNSHIP

<u>WHEREAS</u>, Section 13:08 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted; and

<u>WHEREAS</u>, Section 7:01.D.30 of the Kendall County Zoning Ordinance permits the operation landscaping businesses as a special use in the A-1 Agricultural Zoning District; and

<u>WHEREAS.</u> the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 48.3 +/- acres located on the north side of Route 52 across from 2190 and 2200 Route 52 (PIN: 09-15-200-003), in Seward Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as "the subject property"; and

WHEREAS, the subject property is owned by Fecht Brothers, Inc. as represented by Mark Fecht; and

<u>WHEREAS</u>, Best Budget Tree, LLC as represented by Jeremy and Samantha Dippold have entered into a contract to purchase the subject property from Fecht Brothers, Inc. with the intent to operate a landscaping business at the subject property upon purchase; and

<u>WHEREAS</u>, Fecht Brothers, Inc., as represented by Mark Fecht, and Best Budget Tree, LLC, as represented by Jeremy and Samantha Dippold shall hereinafter be referred to as "Petitioner"; and

<u>WHEREAS</u>, on or about April 19, 2022, Petitioner filed a petition for a special use permit for the operation of a landscaping business at the subject property; and

<u>WHEREAS</u>, following due and proper notice by publication in the Kendall County Record on May 12, 2022, the Kendall County Zoning Board of Appeals conducted a public hearing on May 31, 2022, at 7:00 p.m., in the County Board Room of the Kendall County Office Building at 111 W. Fox Street in Yorkville, at which the Petitioner's representative presented evidence, testimony, and exhibits in support of the requested special use permit and zero members of the public testified in favor of the proposal and six members of the public testified in opposition to the request; and

<u>WHEREAS</u>, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their findings of fact and recommended denial of the special use permit with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated May 31, 2022, a true and correct copy of which is attached hereto as Exhibit B; and

<u>WHEREAS</u>, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of approval/denial/neutral of the requested special use permit; and

<u>WHEREAS</u>, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

<u>WHEREAS</u>, the special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

<u>NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS,</u> as follows:

- 1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
- 2. The Kendall County Board hereby grants approval of Petitioner's petition for a special use permit for the operation of a landscaping business on the subject property subject to the following conditions:
 - A. The site shall be developed substantially in accordance with the site plan attached hereto as Exhibit C, landscaping plan attached hereto as Exhibit D, and lighting plan attached hereto as Exhibit E.
 - B. The gravel area shown on the site plan attached hereto as Exhibit C and landscaping plan attached hereto as Exhibit D shall not exceed ten point five (10.5) acres in size. The owners of the business allowed by this special use permit may reduce the amount of acreage covered by gravel.
 - C. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
 - D. One (1) approximately nine thousand six hundred (9,600) square foot building may be installed on the subject property in substantially the location shown on the site plan attached hereto Exhibit C. The building shall look substantially like the building depicted in the rendering attached hereto as Exhibit F. The maximum height of the building shall be twenty-four feet (24').
 - E. Any new structures constructed or installed related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
 - F. No business operations may commence at the subject property until an occupancy permit is issued for the building shown on the site plan attached hereto as Exhibit C. No business operations may commence at the subject property until the parking stalls, dumpster enclosure, and wet bottom pond shown on the site plan attached hereto as Exhibit C are installed. Business operations may commence at the subject property prior to the installation of vegetation shown on the landscaping plan attached hereto as Exhibit D.
 - G. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property during the hours the business is open and shall be stored indoors during non-business hours.

H. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.

- I. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
- J. All landscape related materials shall be stored indoors or on the gravel area depicted on the site plan attached hereto as Exhibit C. The maximum height of the piles of landscaping related material shall be twelve feet (12') in height, unless otherwise restricted by a stormwater management permit. Stone, brick, and rock shall not be stored outdoors.
- K. The size and depth of the wet bottom pond shall be governed by the stormwater management permit issued for the subject property.
- L. One (1) two (2) sided non-illuminated sign may be installed on the location depicted on the site plan attached hereto as Exhibit C.
- M. At least two (2) no smoking signs shall be installed near the piles of landscaping related materials.
- N. One hundred fifty (150) white pines shall be installed in substantially the locations shown on the landscaping plan attached hereto as Exhibit D. The white pines shall be a minimum of three feet (3') in height at the time of planting. The white pines shall be installed by June 30, 2023. Damaged or dead white pines shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the white pines.
- O. Ten (10) deciduous trees shall be installed in substantially the locations shown on the landscaping plan attached hereto as Exhibit D. The deciduous trees shall be a minimum one point five inches (1.5") in diameter at the time of planting. The deciduous trees shall be installed by June 30, 2023. Damaged or dead deciduous trees shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the deciduous trees.
- P. The seed mix called for in the landscaping plan attached hereto as Exhibit D shall be installed by June 30, 2023. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the seed mix.
- Q. No landscape waste generated off the property can be burned on the subject property.
- R. A maximum of twenty (20) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work. No employees shall engage in the sale of landscaping related materials on the property.
- S. No retail customers of the business allowed by this special use permit shall be invited onto the

property by anyone associated with the use allowed by this special use permit.

- T. The hours of operation of the business allowed by this special use permit shall be Monday through Saturday from 7:30 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
- U. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

- V. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
- W. One (1) dry hydrant shall be placed on the property.
- X. The maximum height of the light pole shown in the lighting plan attached hereto as Exhibit D be twenty feet (20').
- Y. No storage/shipping containers are allowed on the subject property and no semi-trailers may be parked on the subject property.
- Z. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
- AA. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
- BB. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
- CC. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
- DD. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

- 3. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.
- 4. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this special use permit.

<u>IN WITNESS OF</u>, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 21st day of June, 2022.

Attest:	
Kendall County Clerk	Kendall County Board Chairman
Debbie Gillette	Scott R. Gryder

LEGAL DESCRIPTION

THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE NORTH 1043.62 FEET OF THE EAST 417.40 FEET THEREOF AND ALSO EXCEPT THE SOUTH 417.42 FEET OF THE EAST 417.42 FEET THEREOF, AND ALSO EXCEPT THAT PART OF THE EAST 417.40 FEET LYING NORTH OF THE NORTH LINE OF THE SOUTH 417.42 FEET AND LYING SOUTH OF THE SOUTH LINE OF THE NORTH 1109.62 FEET THEREOF, AND ALSO EXCEPT THE WEST 402 FEET OF THE EAST 819.42 FEET OF THE SOUTH 417.42 FEET THEREOF, AND ALSO EXCEPT THE WEST 402.02 FEET OF THE EAST 819.42 FEET OF THE NORTH 341.07 FEET OF THE SOUTH 758.49 FEET THEREOF), IN THE TOWNSHIP OF SEWARD, IN KENDALL COUNTY, ILLINOIS.

Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on May 31, 2022. Members Cherry and Whitfield were absent all votes. Member Vickery was absent on the vote for conditions and recommendation.

FINDINGS OF FACT

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Provided the site is developed in accordance with the submitted site plan and landscaping plan, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. Conditions may be placed in the special use permit ordinance to address hours of operation. Member Vickery dissented with this Finding.

That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, lighting, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses. Chairman Mohr and Member Vickery dissented with this Finding.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. If a stormwater management permit is issued based on the submitted materials, drainage should not be an issue. If the Illinois Department of Transportation approves the access, ingress and egress should not be an issue. Utilities will need to be extended and/or installed on the property. Member Vickery dissented with this Finding.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true. No variances are required. Member Vickery dissented with this Finding.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 9-21 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents". Also, the Kendall County Future Land Use Map and the Village of Shorewood's Future Land Use Map call for commercial uses near the intersection of Route 52 and Arbeiter Road. Chairman Mohr and Member Vickery dissented with this Finding.

CONDITIONS

- 1. The site shall be developed substantially in accordance with the submitted site plan, landscaping plan, and lighting plan.
- 2. The gravel area shown on the submitted site plan and landscaping plan shall not exceed ten point five (10.5) acres in size. The owners of the business allowed by this special use permit may reduce the amount of acreage covered by gravel.

- 3. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
- 4. One (1) approximately nine thousand six hundred (9,600) square foot building may be installed on the subject property in substantially the location shown on the site plan. The building shall look substantially like the building depicted in the rendering. The maximum height of the building shall be twenty-four feet (24').
- 5. Any new structures constructed or installed related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
- 6. No business operations may commence at the subject property until an occupancy permit is issued for the building shown on the submitted site plan. No business operations may commence at the subject property until the parking stalls, dumpster enclosure, and wet bottom pond shown on the submitted site plan are installed. Business operations may commence at the subject property prior to the installation of vegetation shown on the submitted landscaping plan.
- 7. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property during the hours the business is open and shall be stored indoors during non-business hours.
- 8. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
- All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
- 10. All landscape related materials shall be stored indoors or on the gravel area depicted on the site plan. The maximum height of the piles of landscaping related material shall be twelve feet (12') in height, unless otherwise restricted by a stormwater management permit. Stone, brick, and rock shall not be stored outdoors.
- 11. The size and depth of the wet bottom pond shall be governed by the stormwater management permit issued for the subject property.
- 12. One (1) two (2) sided non-illuminated sign may be installed on the location depicted on the submitted site plan.
- 13. At least two (2) no smoking signs shall be installed near the piles of landscaping related materials.
- 14. One hundred fifty (150) white pines shall be installed in substantially the locations shown on the submitted landscaping plan. The white pines shall be a minimum of three feet (3') in height at the time of planting. The white pines shall be installed by June 30, 2023. Damaged or dead white pines shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the white pines.
- 15. Ten (10) deciduous trees shall be installed in substantially the locations shown on the submitted landscaping plan. The deciduous trees shall be a minimum one point five inches (1.5") in diameter at the time of planting. The deciduous trees shall be installed by June 30, 2023. Damaged or dead deciduous trees shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the deciduous trees.

- 16. The seed mix called for in the submitted landscaping plan shall be installed by June 30, 2023. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the seed mix.
- 17. No landscape waste generated off the property can be burned on the subject property.
- 18. A maximum of twenty (20) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work. No employees shall engage in the sale of landscaping related materials on the property.
- 19. No retail customers of the business allowed by this special use permit shall be invited onto the property by anyone associated with the use allowed by this special use permit.
- 20. The hours of operation of the business allowed by this special use permit shall be Monday through Saturday from 7:30 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
- 21. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

- 22. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
- 23. One dry hydrant shall be placed on the property.
- 24. The maximum height of the light pole shown in the lighting plan shall be twenty feet (20').
- 25. No storage/shipping containers are allowed on the subject property and no semi-trailers may be parked on the subject property.
- 26. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
- 27. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
- 28. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.

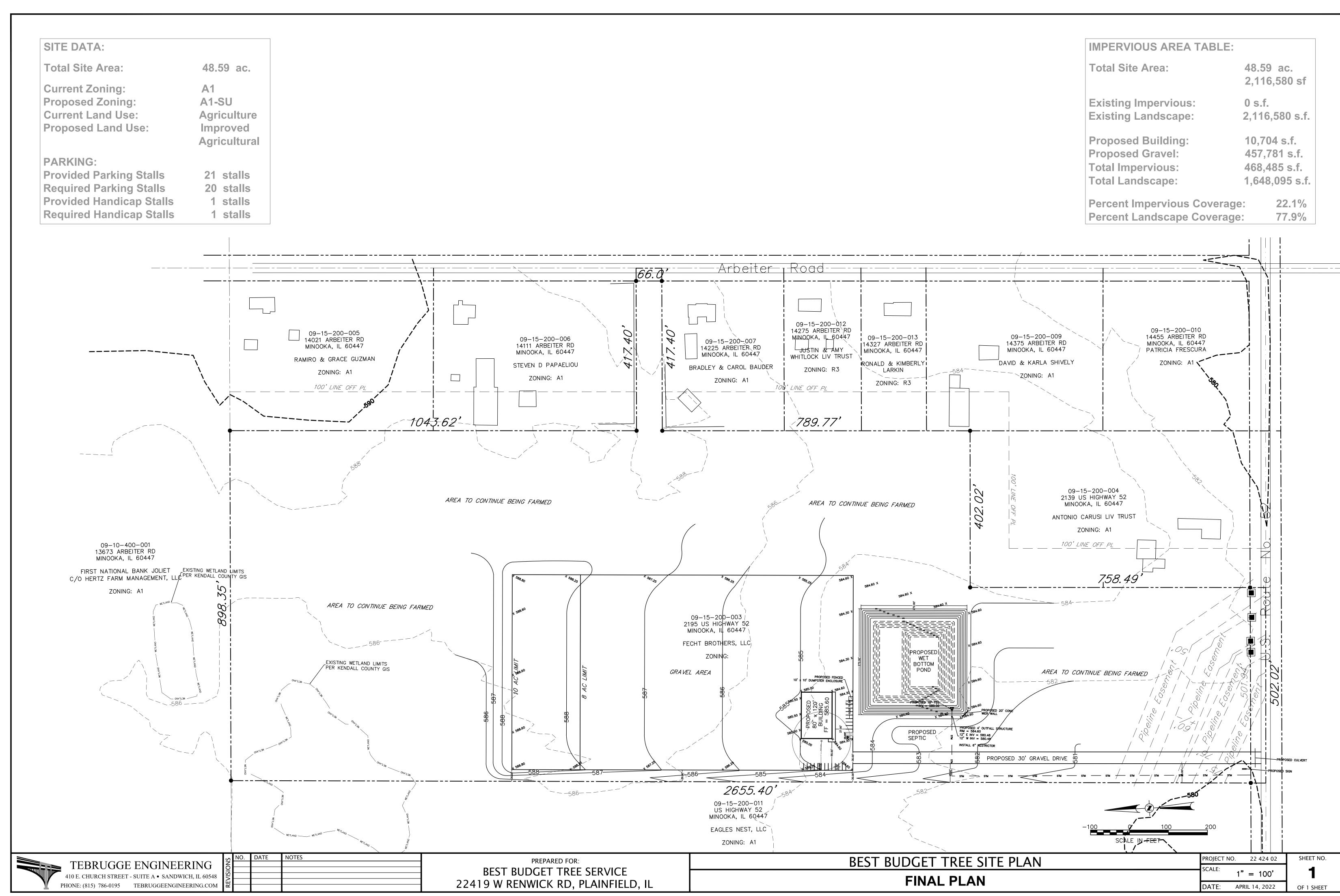
- 29. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
- 30. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

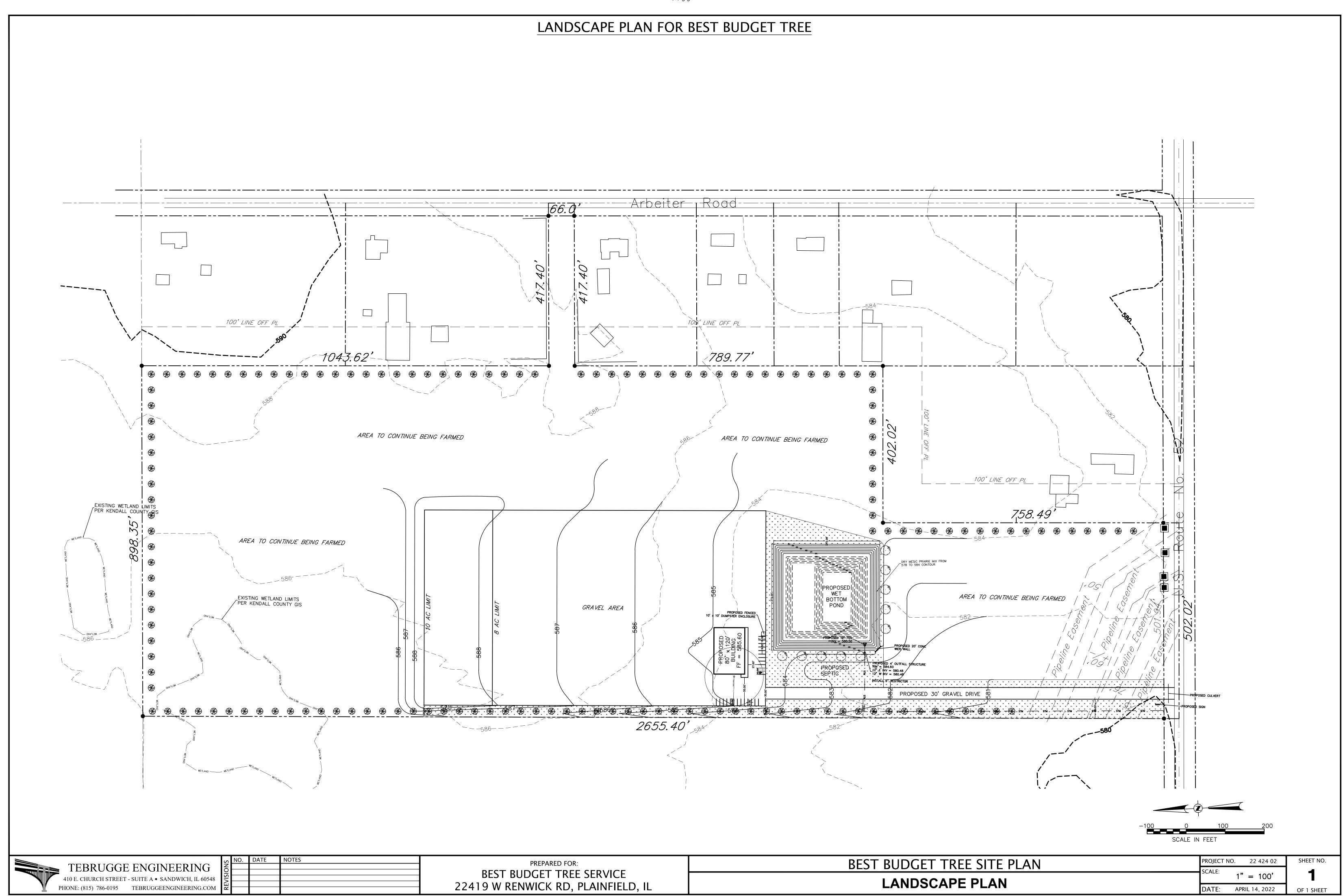
RECOMMENDATION

The vote was three (3) in favor of and one (1) in opposition.

Pursuant to 55 ILCS 5/5-12011, the concurrent vote of four (4) members of a Board consisting of seven (7) members is required to decide in favor of the applicant. Therefore, the recommendation is denial.

Chairman Mohr voted no because of the concerns raised by the neighbors related to the view of area. He was also concerned about loss of property values. He believed the subject property would eventually be houses.





LANDSCAPE NOTES

- PART 1 GENERAL
- 1.01 DESCRIPTION
- PROVIDE TURF, TREES, SHRUBS, AND GROUNDCOVER AS SHOWN AND SPECIFIED. THE WORK INCLUDES:
- 1. SOIL PREPARATION FERTILIZATION
- 4. TREES, SHRUBS, AND GROUNDCOVERS
- 5. MULCH AND PLANT ACCESSORIES
- 6. MAINTENANCE AND GUARANTEE 7. CLEANING UP WORK AREAS

MINIMUM OF 2 YEARS.

- 1.02 QUALITY ASSURANCE
- COMPLY WITH APPLICABLE LOCAL REGULATIONS.
- B. SOD: COMPLY WITH AMERICAN SOD PRODUCERS ASSOCIATION (ASPA) CLASSES OF SOD MATERIAL . PLANT NAMES INDICATED COMPLY WITH "STANDARD PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT
- COMMITTEE OF HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGALLY TAGGED.
- COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION. ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A

1.03 SUBMITTALS

- . SEED: SUBMIT SEED VENDOR'S CERTIFICATION FOR REQUIRED GRASS SEED MIXTURE, INDICATING PERCENTAGE BY WEIGHT, AND
- PERCENTAGES OF PURITY, GERMINATION, AND WEED SEED FOR EACH GRASS SPECIES. . SOD: SUBMIT SOD GROWER'S CERTIFICATION OF GRASS SPECIES. IDENTIFY SOURCE.
- MULCH D. STRAW BLANKET

1.04 DELIVERY, STORAGE, AND HANDLING

- . SEED: DELIVER SEED AND FERTILIZE MATERIALS IN ORIGINAL UNOPENED CONTAINERS, SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION.
- SOD: DELIVER AND INSTALL SOD CUT WITHIN 48-HOUR PERIOD.
- DELIVER FERTILIZER MATERIALS IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION. TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FALLS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND

ON ARRIVAL; THE CERTIFICATE SHALL BE FILLED WITH THE LANDSCAPE ARCHITECT. PROTECT ALL PLANTS FROM DYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, OR MULCH. WATER HEELED-IN PLANTINGS

COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WINDBURN, WHEN IN LEAF.

1.05 PROJECT CONDITIONS

- CONFIRM THAT THE QUALITY AND DEPTH OF TOPSOIL IS SATISFACTORY PRIOR TO BEGINNING FINE GRADING.
- FINE GRADING MUST BE APPROVED BY OWNER PRIOR TO START OF SEEDING OR SODDING. PERFORM GRASSING WORK ONLY AFTER PLANTING AND OTHER WORK AFFECTING GROUND SURFACE HAS BEEN COMPLETED.
- INSTALL SEED UNDER FAVORABLE WEATHER CONDITIONS UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE. THE GENERALLY ACCEPTED TIMES FOR SEEDING ARE:

SPRING - APRIL 1ST TO MAY 31ST FALL - AUGUST 15TH TO SEPTEMBER 30TH

1.06 GUARANTEE

GUARANTEE ALL WORK FOR ONE YEAR FOLLOWING THE DATE OF INSTALLATION.

- B. AT THE END OF THE GUARANTEE PERIOD, RESEED AND RESOD AREAS WITH SPECIFIED MATERIALS, WHICH FAIL TO PROVIDE A UNIFORM
- STAND OF GRASS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR, AS DETERMINED BY THE LANDSCAPE ARCHITECT, ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION.
- GURANTEE SHALL NOT INCLUDE DAMAGE OR LOSS OF TREES, PLANTS, GROUNDCOVERS, OR TURF CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, OR WINDS OVER 75 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD AND SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA; OR ACT OF VANDALISM.

PART 2 - PRODUCTS

2.01 MATERIALS

- 1. GRANULAR, 10-10-10. ALL PURPOSE AT A RATE OF 1LBS N-P-K PER 1,000 S.F. B. PLANT FERTILIZER:
- 1. PROVIDE A GRANULAR COMMERCIAL FERTILIZER WITH AN ANALYSIS OF 10-10-10. C. SEED:
- 1. LAWN SEED: FRESH, CLEAN SEED FROM MOST RECENTLY HARVESTED CROP WHICH COMPLIES WITH ALL LOCAL, STATE, AND FEDERAL SEED AND WEED LAWS IS FREE FROM POA ANNUAL, BENT GRASS AND NOXIOUS WEEDS. 2. BLEND: PERCENT BY WEIGHT:
- FIELD OF DREAMS RESEEDER MIX, (AS AVAILABLE FROM NATURAL SEED, DOWNERS GROVE, IL)
- 2 NAMED KENTUCKY BLUE GRASSES 50% 2 - NAMED TURF TYPE PERENNIAL GRASSES 50%
- 3. BOTTOM OF STORM WATER MANAGEMENT BASINS TO BE OVER SEEDED WITH RED TOP SEED AT A RATE OF 50 LBS PER ACRE. PLANTS: PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS. FIBROUS ROOT SYSTEMS, PROVIDE ONLY SOUND, HEALTHY, PLANTS FREE FROM DEFECTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULL
- 1. DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OR EARTH. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK".
- 2. PROVIDE SHADE AND EVERGREEN TREE SPECIES WITH A SINGLE MAIN TRUNK UNLESS OTHERWISE SPECIFIED OR ACCEPTED. PROVIDE PLANTS MATCHED IN FORM WHEN ARRANGED IN GROUPS.
- I. PROVIDE EVERGREEN TREES BRANCHED TO THE GROUND UNLESS OTHERWISE SPECIFIED OR ACCEPTED. 5. PROVIDE SHRUBS AND SMALL PLANTS MEETING THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST. 5.a. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE TOP OF THE
- PLANT AND NOT THE LONGEST BRANCH.

PART 3 - EXECUTION

3.01 INSPECTION

A. EXAMINE FINISH SURFACE GRADES, TOPSOIL QUALITY, DEPTH, AND CONDITIONS OF INSTALLATIONS.

3.02 PREPARATION

- A. LOOSEN TOPSOIL OF LAWN AREAS TO MINIMUM DEPTH OF 2". REMOVE STONES OVER 1" IN ANY DIMENSION AND STICKS, ROOTS,
- RUBBISH, AND EXTRANEOUS MATTER. 3. GRADE LAWN AREAS TO SMOOTH, FREE DRAINING AND EVEN SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE. MECHANICALLY OR MANUALLY RAKE; REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
- RESTORE PREPARED AREAS TO SPECIFIED CONDIOTION IF ERODED, SETTLED, OR OTHERWISE DISTURBED AFTER FINE GRADING AND PRIOR TO SEEDING OR SODDING. D. TIME OF PLANTING
- 1. EVERGREEN MATERIAL; PLANT EVERGREEN MATERIALS BETWEEN SEPTEMBER 2ND AND NOVEMBER 1ST OR IN SPRING BEFORE NEW
- 2. DECIDUOUS MATERIAL; PLANT DECIDUOUS MATERIALS IN A DORMANT CONDITION OR PRE—DIG AND HEAL UNTIL SITE IS READY.
- LOCATE PLANTS AS INDICATED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT. ROTOTILL ALL GROUNDCOVER BEDS. G. PROVIDE SHRUB PITS AT LEAST 8" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 12" GREATER FOR TREES.

3.03 SEED INSTALLATION

A. TURF AREAS;

- . SEED IMMEDIATELY AFTER PREPARATION OF BED.
- PERFORM SEEDING OPERATIONS WHEN THE SOIL IS DRY AND WHEN WINDS DO NOT EXCEED 20 MILES PER HOUR VELOCITY. 3. SOW SEED AT 300 LBS. PER ACRE. 3.a. CONVENTIONAL SEEDING:
- 3.a.1. APPLY SEED WITH A ROTARY OR DROP TYPE DISTRIBUTOR. SEED EVENLY.
- 3.a.2. AFTER SEEDING, RAKE SOIL SURFACE LIGHTLY TO INCORPORATE SEED. 4. WITHIN 24 HOURS, PLACE STRAW BLANKET OVER ALL SEEDED AREAS. PLACE BLANKET PERPENDICULAR TO CONTOUR LINES AND FASTEN IN PLACE PER MANUFACTURES RECOMMENDATIONS.

3.04 PLANT INSTALLATION

- SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. DO NOT FILL AROUND TRUNKS OR STEMS. AFTER BALLED OR BURLAPPED PLANTS ARE SET, FILL ALL VOIDS.
- . MIX APPROVED COMMERCIAL FERTILIZER AT 10 LBS. PER CUBIC YARD OF BACKFILL. B. GROUNDCOVERS:
- 1. WHERE GROUNDCOVERS ARE SPECIFIED ON THE PLANS, ROTOTILL ENTIRE PLANT BED TO 6" DEPTH USING AMENDED TOPSOIL. INCORPORATE COMMERCIAL 10-10-10 FERTILIZER INTO PREPARED SOIL MIXTURE AT AN APPROPRIATE RATE OF 1 LB. PER SQUARE MULCHING:
- 1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL 3" DEEP IMMEDIATELY AFTER PLANTING. THOROUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.
- . INSPECT TREES FOR INJURY TO TRUNKS, EVIDENCE OF INSECT INFESTATIONS, AND IMPROPER PRUNING BEFORE WRAPPING
- 2. WRAP TRUNKS OF ALL TREES SPIRALLY FROM BOTTOM TO TOP WITH SPECIFIED TREE WRAP AND SECURE IN PLACE. WRAPPING IS AT THE DISCRETION OF THE CONTRACTOR.

- 1. PRUNE BRANCHES OF DECIDUOUS STOCK, AFTER PLANTING, TO PRESERVE THE NATURAL CHARACTER APPROPRIATE TO THE PARTICULAR PLANT REQUIREMENTS. IN GENERAL, REMOVE APPROXIMATELY ¼ OF THE LEAF BEARING BUDS. REMOVE OR CUT
- 2. MULTIPLE LEADER PLANTS: PRESERVE THE LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH WITH THE TRUNK OR MAIN BRANCH, AT DIAMETER OF THE SUPPORTING BRANCH. MAKE CUT ON AN ANGLE.
- 3. PRUNE EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

3.05 FINAL COMPLETION, INSPECTION, AND ACCEPTANCE

- A. UPON COMPLETION INSPECTION OF ALL WORK WILL BE MADE BY THE OWNER OR HIS REPRESENTATIVE. AT THAT TIME IF ALL WORK IS SATISFACTORY, THAT WILL CONSTITUTE FINAL ACCEPTANCE.
- B. SEEDED AREAS WILL BE INSPECTED AT COMPLETION OF THE INSTALLATION AND ACCEPTED SUBJECT TO COMPLIANCE WITH SPECIFIED MATERIALS AND INSTALLATION REQUIREMENTS. SEEDED AREAS WILL BE ACCEPTABLE PROVIDED ALL REQUIREMENTS, HAVE BEEN COMPLIED WITH.
- NO SEEDED AREAS SHALL HAVE BARE SPOTS OR UNACCEPTABLE COVER TOTALING MORE THAN 2% OF THE INDIVIDUAL AREAS, IN AREAS REQUESTED TO BE INSPECTED. C. INSPECTION OF ALL WORK SHALL BE MADE UPON REQUEST OF CONTRACTOR. AT THAT TIME, IF ALL WORK IS SATISFACTORY, THAT
- WILL CONSTITUTE FINAL ACCEPTANCE. D. PLANTS THAT HAVE DIED OR ARE IN UNHEALTHY OR BADLY IMPAIRED CONDITION UPON INSPECTION SHALL BE TREATED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
- E. REPLACE REJECTED PLANTS IN THE SEASON THAT IS MOST FAVORABLE FOR RESETTING KINDS OF PLANTS REQUIRED.

A. PERFORM CLEANING DURING INSTALLATION OF THE WORK AND UPON COMPLETION OF THE WORK. REMOVE FROM SITES ALL EXCESS MATERIALS, SOIL, DEBRIS, AND EQUIPMENT.

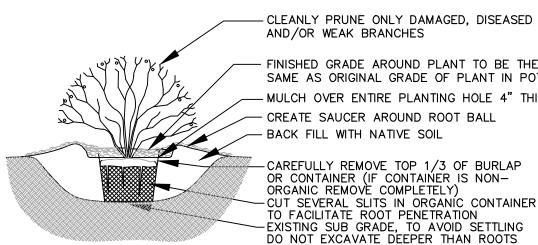
A. ALL GRADES TO BE ESTABLISHED TO MEET ENGINEERING DRAWINGS BY OTHERS. B. BASIN BOTTOMS SEED, BLOW WITH STRAW MULCH AND CRIMP STRAW IN PLACE, AS NOTED ON PLANS.

BACK BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.

SEED AND INSTALL STRAW BLANKET ALL OTHER TURF AREAS. D. ALL DISTURBED AREAS THAT ARE NOT MULCHED SHALL BE SEEDED.

DDODOCED I ANDCOADINO MATERIA

	PROP	<u>OSED LANDS</u>	CAPING MATERIAL		
	CODE:	DESCRIPTION:		UNIT OF MEASURE	QTY
	EVERGREE	N TREES			
	WHITE	WHITE PINES	PINUS STROBUS	3'	150
~~~	DECIDUOU	S TREES			
	LIND	LITTLE LEAF LINDEN	TILIA CORDATA	1 1/2"	10
	<u>TURF</u>				
*	CLASS 1	IDOT SEED MIX -	ALL DISTURBED AREA THAT ARE NOT MU SHALL BE SEEDED	ILCHED OR FAI	RMED

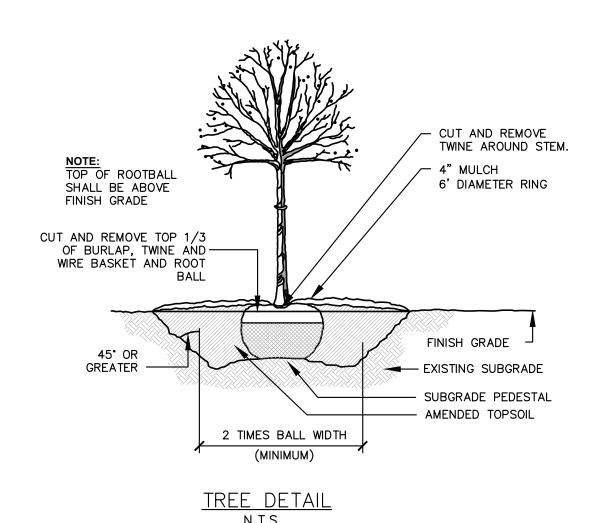


- FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT IN POT — MULCH OVER ENTIRE PLANTING HOLE 4" THICK CREATE SAUCER AROUND ROOT BALL

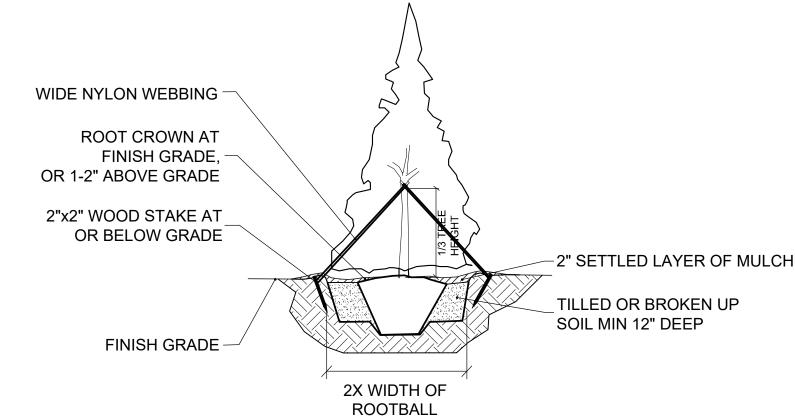
-CAREFULLY REMOVE TOP 1/3 OF BURLAP OR CONTAINER (IF CONTAINER IS NON-ORGANIC REMOVÈ COMPLETELY) CUT SEVERAL SLITS IN ORGANIC CONTAINER TO FACILITATE ROOT PENETRATION -EXISTING SUB GRADE, TO AVOID SETTLING DO NOT EXCAVATE DEEPER THAN ROOTS

- 1. WATER THOROUGHLY AFTER INSTALLATION.
- 2. USE EXISTING SOIL AS BACK FILL. IF DIRECTED BY OWNER, AMEND WITH 1/3 COMPOST. 3. ALL SHRUBS TO BE MULCH OVER ENTIRE PLANTING HOLE

SHRUB DETAIL - CONTAINER OR B&B

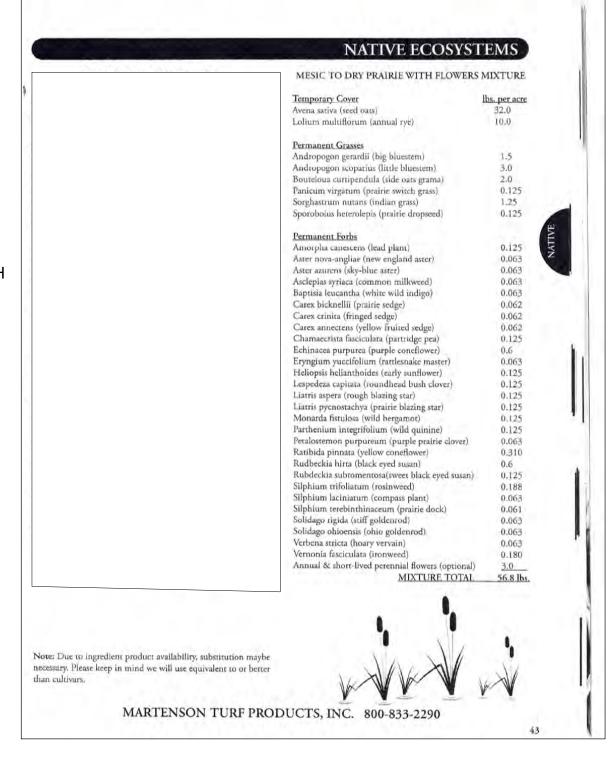


DETENTION POND SHALL HAVE 6" OF PULVERIZED TOPSOIL AND INSTALL DRY MESIC PRAIRIE MIX & EROSION CONTROL BLANKET UP TO THE HIGH WATER LINE





For Trees no more than three of the same species shall be clustered together. And the goal should be that no Family shall account for more than 30%, no Genus shall account for more than 20%, and no Species shall account for more than 10% of any Planting Material Type.



TEBRUGGE ENGINEERING 410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548 PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

PREPARED FOR: BEST BUDGET TREE SERVICE 22419 W RENWICK RD, PLAINFIELD, IL BEST BUDGET TREE SITE PLAN LANDSCAPE DETAILS

PROJECT NO. 22 424 02 DATE: APRIL 14, 2022

SHEET NO. OF 1 SHEET

Luminaire S	chedule -	- Part numb	pers are provided by th	e manufacturer and are	only intended to be use	ed as a reference to ou	tput and optics used.			
Symbol	Qty	Tag	Arrangement	Luminaire Lumens	Arr. Lum. Lumens	Luminaire Watts	Arr. Watts	LLF	Manufacturer	Description
<b>—</b>	1	S1	Single	12010	12010	87.9	87.9	0.900	HUBBELL OUTDOOR	RAR1-160L-100-4K7-3-UNV-AX-X
<b>→</b>	6	W1	Single	7558	7558	82.8	82.8	0.900	HUBBELL OUTDOOR	LNC3-24L4K-105-4-U-X

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min	Description
SITE_Planar	Illuminance	Fc	0.34	4.5	0.0	N.A.	N.A.	READINGS @ GRADE
PARKING AREAS	Illuminance	Fc	1.73	4.4	0.1	44.00	17.30	READINGS @ GRADE

	•	• -	•	•.	•	•	•.	•	•	•	•	•	●,	•	•	•	•	•	•,	•	•.	•	•.	•_	•	•	•	•_	•.	•.	•	•,	•	•	•	•	•	
State   Table   State   Table   State   Stat																																						
No   No   No   No   No   No   No   No																																						
St.																																						
10   10   10   10   10   10   10   10																																						
State   Stat																																						
Let be 50 to 10 to																																						
the fine for for for for for fine for for for for fine for for for for fine for fine for for fine for f																																						
Co the 50 to																																						
\$\frac{1}{16}\$ \$\frac	0.0 0.0	0.0	0.0	0.1	0.1	0.2	0.2	0.1	0.1	0.1	0.3	0.6	0.8	0.7	0.6	0.7	0.8	0.7	0.4	0.2	0.1	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
50 te 50 te 51 te 52 te 51 te 52 te 51 te 52 te											E																											
80 to 80 81 81 82 88 14 54 80 81 81 84 80 81 81 82 85 15 81 81 80 80 80 80 80 80 80 80 80 80 80 80 80	0.0 0.0	0.0 0.1	0.1	0.2	0.3	0.6	0.8	0.7	0.4	0.1	0.3	•0.9	2.0	3.4	2.9	•3.3	2.6	1.2	0.5	0.2	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
80 to 50 50 50 50 50 50 50 50 50 50 50 50 50	0.0 0.0	0.0 0.1	0.1	0.2	0.5	1.0	1.6	1.6	0.9	0.1	0.2	0.6	1.6	2.4	3.8 • 3.8	2.9	1.9	0.9	0.3	0.1	0.1	0.2	0.3	0.3	0.2	0.2	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
\$\text{\$\frac{1}{2}\$ \$\frac{1}{2}\$ \$\frac{1}	0.0 0.0	0.0 0.1	0.1	0.2	0.5	1.1	2.4	•3.2	<b>1</b> .5	=					MI W	1 H: 15						0.5	0.7	0.7	0.5	0.2	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
The color of the	0.0 0.0	0.0 0.1	0.1	0.2	0.5	1.1	2.6	•3.2	3.4 5													1.4	1.7	1.4	0.7	0.3	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
En	0.0 0.0	0.0 0.1	0.1	0.3	0.6	1.3	2.8	<b>3</b> .5	3.0MH	: 15												•2.5	3.1	1.6	0.7	0.3	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
\$\frac{1}{10}\$ \$\frac	0.0 0.0	0.0 0.1	0.2	0.4	0.8	1.7	•3.3	•3.9	2.1												<b>□</b> 4															0.0	0.0	
10   10   10   10   10   10   10   10	0.0 0.0	0.0 0.1	0.2	0.4	0.8	•1.9	•3.3	•3.6	2.3											5	M	и <b>н: 135</b> 0	3.1	1.6	0.6	0.3	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
	0.0 0.0	0.0 0.1	0.2	0.3	0.7	1.4	2.8	4.1	2.2	*												• 2.4	•2.8	1.6	0.7	0.3	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
5c &1 &1 &1 &2 &2 &3 & &1 &1 &1 &2 &2 &2 &3 &2 &2 &3 &2 &2 &3 &2 &2 &3 &2 &2 &3 &2 &2 &3 &2 &2 &3 &2 &2 &2 &3 &2 &2 &2 &2 &2 &2 &2 &2 &2 &2 &2 &2 &2	0.0 0.0	0.0 0.1	0.1	0.3	0.5	1.0	•2.5	•3.1	4.4 6 W1	l u. 15												1.2	1.5	1.3	0.6	0.3	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
bi b	0.0 0.0	0.1	0.1	0.3	0.5	1.0	•2.3	3.6	2.2	1. 13	S	+							1			0.5	0.7	0.6	0.4	0.2	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
thi bi by the by 1,1 14 bu bi bay by 34 bay 34 bay 33 bb bay 14 bi bi bay by 14 bi bi bay by 10 bi bi bay by 10 bi bay 10 bi ba	0.0 0.1	0.1	0.2	0.3	0.6	<b>1</b> .1	2.1	2.6	2.2	1.5	2.0	4. <b>W</b> 1 MH:	2.3 1 <b>5</b>	1.8	1.1	1.2	2.0	3.0	₩1 3.8 MH: 15	2.3	1.5	0.7	0.4	0.3	0.2	0.2	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
\$\frac{1}{0}\$1 \$\frac{1}{0}\$1 \$\frac{1}{0}\$2 \$\frac{1}{0}\$5 \$\frac{1}{1}\$1 \$\frac{1}{0}\$2 \$\frac{1}{0}\$5 \$\frac{1}{1}\$2 \$\frac{1}{0}\$2 \$\frac	0.1 0.1	0.1	0.4	0.6	0.9	1.4	1.8	2.0	2.2	2.8	4.1	3.3	3.8	• 2.8	1.8	1.9	•3.0	•3.4	•3.0	•3.5	1.8	0.9	0.4	0.3	0.2	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
b.1 b.1 b.2 b.5 b.1 b.0	0.1 0.1	0.2	0.7	1.1	1.6	• 2.0	2.1	2.3	• 2.8	•3.4	•3.5	•3.3	3.0	•2.5	1.9	1.8	2.1	2.0	2.0	1.9	1.6	0.8	0.4	0.2	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
00   01   01   03   07   14   29   25   19   18   20   24   21   13   07   05   04   03   03   02   02   02   02   02   01   01   00   00	0.1 0.1	0.3	1.1	1.8	2.4	• 2.8	3.0	3.0	3.5	3.6	3.2	2.5	1.9	1.6	1.4	1.2	1.0	0.8	0.8	0.8	0.8	0.6	0.3	0.2	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
00   00   01   01   02   03   03   04   07   05   05   05   05   05   05   05	0.1 0.1	0.2	1.1	2.0	3.0	•3.5	•3.5	•3.5	3.7	3.8	3.2	2.1	1.4	0.9	0.8	0.6	0.5	0.4	0.4	0.4	0.4	0.3	0.2	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
0.0   0.0   0.0   0.0   0.1   0.1   0.2   0.2   0.3   0.3   0.3   0.3   0.2   0.2   0.1   0.1   0.1   0.1   0.1   0.1   0.1   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0   0.0	0.0 0.1	0.1 0.3	0.7	1.4	2.3	• 2.3	1.9	1.8 7	2.0	2.4	2.1	1.3	0.7	0.5	0.4	0.3	0.3	0.2	0.2	0.2	0.2	0.2	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Do         Do<	0.0 0.0	0.1 0.1	0.2	0.3	0.5	0.7	0.7	<b>%</b> .⊌: 2	0 0.7	0.7	0.5	• 0.3	0.2	0.2	0.2	0.2	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
box         box <td>0.0 0.0</td> <td>0.0</td> <td>0.1</td> <td>0.1</td> <td>0.2</td> <td>0.2</td> <td>0.3</td> <td>0.3</td> <td>0.3</td> <td>0.2</td> <td>0.2</td> <td>0.1</td> <td>0.1</td> <td>0.1</td> <td>0.1</td> <td>0.1</td> <td>0.1</td> <td>0.1</td> <td>0.0</td> <td></td>	0.0 0.0	0.0	0.1	0.1	0.2	0.2	0.3	0.3	0.3	0.2	0.2	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0.0 0.0	0.0	0.0	• 0.1	0.1	0.1	0.2	0.1	0.2	0.1	0.1	0.1	• 0.1	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0         5.0 <td>0.0 0.0</td> <td>0.0</td> <td>0.0</td> <td>0.1</td> <td>0.0</td> <td></td>	0.0 0.0	0.0	0.0	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0.0 0.0	0.0	0.0	0.0	0.1	0.1	0.1	• 0.0	0.1	0.1	0.1	• 0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	• 0.0	0.0	0.0	0.0	0.0	0.0	0.0	
	0.0 0.0	0.0	0.0	0.0	0.0	0.0	0.0	• 0.0	0.0	0.0	0.0	• 0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	• 0.0	0.0	0.0	0.0	0.0	0.0	0.0	
0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0.0 0.0	0.0	0.0	0.0	0.0	0.0	0.0	• 0.0	0.0	0.0	0.0	• 0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	• 0.0	0.0	0.0	0.0	0.0	0.0	0.0	
	0.0 0.0	0.0	0.0	0.0	0.0	0.0	0.0	• 0.0	0.0	0.0	0.0	• 0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	• 0.0	0.0	0.0	0.0	0.0	0.0	0.0	

LumNo	Label	Mtg Ht	Orient	Tilt
1	LNC3-24L4K-105-4	15	270	0
2	LNC3-24L4K-105-4	15	270	0
3	LNC3-24L4K-105-4	15	90	0
4	LNC3-24L4K-105-4	15	0	0
5	LNC3-24L4K-105-4	15	180	0
6	LNC3-24L4K-105-4	15	180	0
7	RAR1-160L-100-4K7-3	20	91	0

PARKING LOT DESIGN GUIDE	MAINTAINE	D HORIZONTAL	MAINTAINE	D VERTICAL	MAXI	MUM
APPLICATION AND TASK	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN	MAX:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARKING (UNCOVERED) ZONE 2 (SUBURBAN	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2	-		FOR SECURI RAISE AVG.	

SIMPLIFIED RECOMMENDATIONS BASED ON IES 'THE LIGHTING HANDBOOK' 10TH EDITION AND IES RP-20-14.
INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES.

# NOTES

PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.

ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.

THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.

FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.

FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.

CALCULATION GRID VALUES 10'-0" O.C.

Date:5/11/2022

Page 1 of 1

 $\mathbf{\Omega}$ 

RD

- N W

REVISIONS

HUBBELL° Outdoor Lighting

Atta <del>Exolmiteit</del> nE	1 <b>89</b> , a gargae 15	LOCATION:
, tttoLDstariii kus ki L	TYPE:	PROJECT:
	CATALOG #:	

RESET

## **APPLICATIONS**

Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

## CONSTRUCTION

- Shaft: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners;
   Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall;
   Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- base cover: Two-piece square aluminum base cover included standard
- pole cap: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- hand hole: Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- anchor bolts: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554).
   Galvanized hardware with two washers and two nuts per bolt for leveling
- · Anchor bolt part numbers:

 $3/4 \times 30 \times 3$  — TAB-30-M38

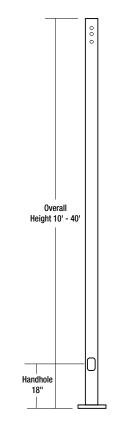
1 x 36 x 4 — TAB-36-M38

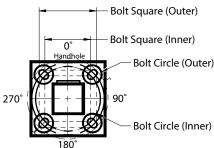
## **FINISH**

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- · Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- · Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

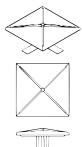
## **WAREHOUSE 'STOCKED' POLES:**

- SSSH-20-40-STK and SSSH-25-40-STK
- The above catalog numbers use a combination of the S2 and B3 drill pattern

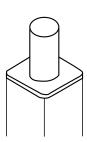




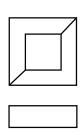
### POLE CAP



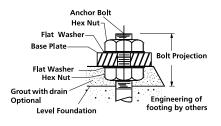
### TENON



## **BASE COVER**



## **BASE DETAIL**





AttaExhmitein E189, a Eagus 16	LOCATION:
, tttabatilinari, e, argage 10	
TYPE:	PROJECT:
CATALOG #:	

RESET

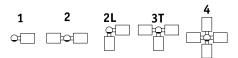
## **ORDERING GUIDE**

Example: SSS-H-25-40-A/B/C-2L-S2-DBT-UL CATALOG #

Series		Height	Shaft	Thickness	Μοι	Mounting		1	Options			
SSS-H	Square	Reference	Reference	Reference	1	Single arm mount	BLT	Black Matte Textured	GFI ²	20 Amp GFCI		
	Straight Steel Pole	page 2 Ordering	page 2 Ordering	page 3 Orderina	2	Two fixtures at 180°	BLS	Black Gloss Smooth		Receptacle and Cover		
	Hubbell	matrix	matrix	matrix	2L	Two fixtures at 90°	DBT	Dark Bronze Matte Textured	EHH ²	Extra Handhole		
	Outdoor				3T	Three fixtures at 90°	DBS	Dark Bronze Gloss Smooth	C05 ²	.5" Coupling		
					4	Four fixtures at 90°	GTT	Graphite Matte Textured		9		
					TA	Tenon	LGS	Light Grey Gloss Smooth	C07 ²	.75" Coupling		
						(2.38" OD x 4" Tall)	PSS	Platinum Silver Smooth	0202	2" Carratia		
			ТВ	Tenon (2.88" OD x 4" Tall)	WHT	White Matte Textured	C20 ²	2" Coupling				
			т	тс	Tenon	WHS	White Gloss Smooth	MPB ²	Mid-pole Luminaire Bracket			
					.0	(3.5" OD x 6" Tall)	VGT	Verde Green Textured	VM2	2nd mode vibration		
					TR ¹					damper		
						(2.38" × 4")	Color	Option	LAB	Less Anchor Bolts		
					ОТ	Open Top (includes pole cap)			UL	UL Certified		
					1	(e.aaee pere eap)	CC	Custom Colors				
							Drill F	Pattern				
							B3	2 bolt (2-1/2" spacing), Ratio				

## **MOUNTING ORIENTATION**

O____ Denotes handhole location



## **ACCESSORIES- ORDER SEPARATELY**

CATALOG NUMBER	DESCRIPTION
VM1 ³	1st mode vibration damper
VM2SXX*	2nd mode vibration damper

 $^{^*}$  XX = 08 for 8', 12 for 12', 15 for 16', 20 for 20', and 24' for 24'

**S2** 2 bolt (3-1/2" spacing)

- | Notes:
  | Removable tenon used in conjunction with side arm mounting. First specify desired arm | Section 2 | Specify option location using logic found on page 1 (Option Orientation) | VM1 recommended on poles 20' and taller with EPA of less than 1.

AttaEckIniteithE	1989 <del>- Teirande</del> 17	LOCATION:
/ ((CD/MIIISALTE	TYPE:	PROJECT:

RESET

## **ORDERING GUIDE (CONTINUED)**

	Heigh	nt	Nominal	Wall	Bolt	Bolt Circle	Bolt	Base	Anchor	Bolt	Pole
Catalog Number	Feet	Meters	Shaft Dimensions	Thickness	Circle (suggested)	(range)	Square (range)	Plate Square	bolt size	Projection	weight
SSS-H-10-40-A-XX-XX	10	3.0	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	77
SSS-H-12-40-A-XX-XX	12	3.7	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	90
SSS-H-14-40-A-XX-XX	14	4.3	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	103
SSS-H-16-40-A-XX-XX	16	4.9	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	116
SSS-H-18-40-A-XX-XX	18	5.5	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	129
SSS-H-20-40-A-XX-XX	20	6.1	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	142
SSS-H-25-40-A-XX-XX	25	7.6	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	175
SSS-H-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	152
SSS-H-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	171
SSS-H-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	190
SSS-H-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	209
SSS-H-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	257
SSS-H-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	304
SSS-H-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	219
	18	5.5	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	243
SSS-H-20-50-B-XX-XX		6.1	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	267
SSS-H-25-50-B-XX-XX		7.6	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	327
SSS-H-30-50-B-XX-XX		9.1	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	387
SSS-H-25-50-C-XX-XX	25	7.6	5" square	.25"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	427
SSS-H-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	507
SSS-H-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	329
SSS-H-25-60-B-XX-XX		7.6	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	404
SSS-H-30-60-B-XX-XX		9.1	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	479
SSS-H-35-60-B-XX-XX		10.7	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	554
SSS-H-40-60-B-XX-XX		12.2	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	629

CATALOG #:

Notes:

1 Factory supplied template must be used when setting anchor bolts. Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

VM1

## **EHH EXTRA HANDHOLE**

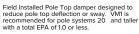


Provision for Grounding

## C05 - C07 - C20 -COUPLING







**VM1 - VIBRATION** 

**DAMPER 1ST MODE** 

## **VM2 - VIBRATION DAMPER 2ND MODE**



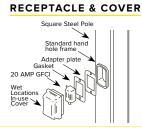
Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

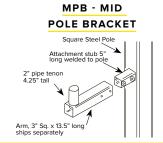
## **VM2SXX - VIBRATION DAMPER 2ND MODE**

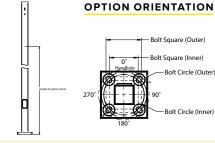


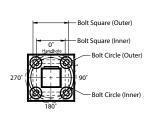
Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

## GFI - 20 AMP GFCI









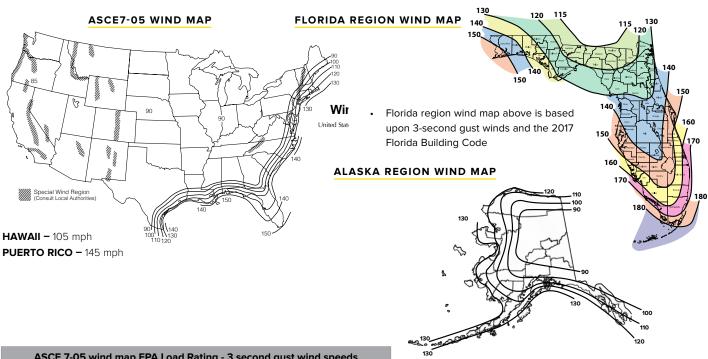
Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet).

Example: Option C07 should be ordered as: SSS-H-20-40-A-TA-DBT-C07-0-15 (.5" coupling on the handhole/arm side of pole, 15 feet up from the pole base)
1' spacing required between option.
Consult factory for other configurations.

TYPE: PROJECT:

CATALOG #:

RESET



ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds (Use for all locations except Florida)										
Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-H-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-H-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-H-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-H-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-H-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-H-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-H-25-40-A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR
SSS-H-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-H-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-H-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-H-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-H-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-H-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2
SSS-H-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-H-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-H-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-H-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-H-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.9	6.0	5.1
SSS-H-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.5	2.8	2.1	1.4
SSS-H-20-60-B	25.0	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3
SSS-H-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-H-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-H-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-H-40-60-B	8.1	5.8	2.2	NR						

Florida Building					ating da on		ond g	ust
Catalog Number	115	120	130	140	150	160	170	180
SSS-H-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9
SSS-H-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSS-H-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSS-H-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSS-H-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSS-H-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSS-H-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR
SSS-H-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSS-H-16-40-B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6
SSS-H-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6
SSS-H-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSS-H-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSS-H-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5
SSS-H-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSS-H-20-50-B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSS-H-25-50-B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-25-50-C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSS-H-25-60-B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8
SSS-H-30-60-B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-H-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-H-40-60-B	1.8	NR	NR	NR	NR	NR	NR	NR



AttaEckliniteith E189, a Einege 19	LOCATION:
, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
TYPE:	PROJECT:
CATALOG #:	

RESET

- Notes:

  Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.

  The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the
- wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- standards Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. <a href="https://hubbellcdn.com/ohwassets/HLl/outdoor/resources/literature/files/Pole_Wind_Induced_Flyer_HL0I0022.pdf">https://hubbellcdn.com/ohwassets/HLl/outdoor/resources/literature/files/Pole_Wind_Induced_Flyer_HL0I0022.pdf</a>
  Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

Due to our continued efforts to improve our products, product specifications are subject to change without notice.



00

LOCATION: Attacklinitein E182 acres 20

> TYPE: PROJECT:

CATALOG #:

# **ATIO** Series

## **FEATURES**

- · Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- · Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- · Visual comfort standard
- · Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- · Control options including photo control, occupancy sensing, NX Distributed Intelligence[™] and 7-Pin with networked controls
- · Best in class surge protection available











#### **RELATED PRODUCTS**

8 Airo

8 Cimarron LED

8 Ratio Family

## **CONTROL TECHNOLOGY**





## **SPECIFICATIONS**

## CONSTRUCTION

- · Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- · Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- · Corrosion resistant, die-cast aluminum housing with powder coat paint finish

- · Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- · 3000K, 4000K or 5000K (70 CRI) CCT
- · Zero uplight at 0 degrees of tilt
- · Field rotatable optics

### INSTALLATION

- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

## **ELECTRICAL**

Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

## **ELECTRICAL (CONTINUED)**

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

## **CONTROLS**

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10 V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- SiteSync™ wireless control system is available via 7-pin See ordering information and details at: www.hubbelllighting.com/sitesync
- NX Distributed Intelligence[™] available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

## **CERTIFICATIONS**

- DLC® (DesignLights Consortium Qualified). with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- · 3G rated for ANSI C136.31 high vibration applications
- · Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- · This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions

## WARRANTY

- 5 year limited warranty
- · See HLI Standard Warranty for additional information

KEY DATA					
Lumen Range	3,000-48,000				
Wattage Range	25–340				
Efficacy Range (LPW)	118–155				
Fixture Projected Life (Hours)	L70>60K				
Weights lbs. (kg)	13.5–24 (6.1–10.9)				





AttaEcklmiteithE198;aFgaeg@c 21	LOCATION:
THE THE PARTY OF T	

TYPE: PROJECT:

CATALOG #:

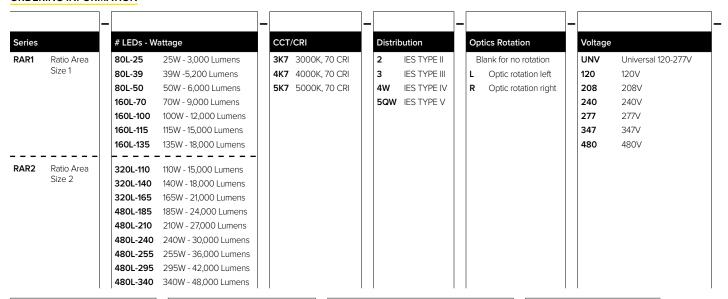
AREA/SITE LIGHTER

## **ORDERING GUIDE**

Example: RAR1-80L-25-3K7-2-UNV-ASQ-BL-NXWE-BC

CATALOG #

## ORDERING INFORMATION





Mounting Other					
WB	Wall bracket				
MAF	Mast arm fitter for 2-3/8" OD horizontal arm				
K	Knuckle				

Color	
BLT	Black Matte Textured
BLS	Black Gloss Smooth
DBT	Dark Bronze Matte Textured
DBS	Dark Brone Gloss Smooth
GTT	Graphite Matte Textured
LGS	Light Grey Gloss Smooth
PSS	Platinum Silver Smooth
WHT	White Matte Textured
WHS	White Gloss Smooth
VGT	Verde Green Textured
Color C	ption
СС	Custom Color

tte Textured	NXWE	NX Wireless Enabled (module + radio)
oss Smooth		,
nze Matte Textured	NXSPW_F	NX Wireless, PIR Occ. Sensor, Daylight Harvesting ⁴
ne Gloss Smooth	NXSP_F	, ,
Matte Textured	NASP_F	NX, PIR Occ. Sensor, Daylight Harvesting ⁴
ey Gloss Smooth	Control Optio	ns Other
Silver Smooth	SCP-40F	Programmable occupancy
atte Textured		sensor ³
oss Smooth	7PR	7-Pin twist lock receptacle
reen Textured	7PR-SC	7-Pin receptacle with shorting
		cap
Color	7PR-MD40F	Low voltage sensor for 7PR
	7PR-TL	7-Pin PCR with photocontrol
	Sensors	
	BTS_F	Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens ⁴
	BTSO_F	Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens, up to 12' mounting height ⁵

Control Options Network

	Options							
	вс	Backlight control						
	F	Fusing (must specify voltage)						
r,	ТВ	Terminal block						
t	2PF	2 power feed with 2 drivers ²						
9								
	Note	s:						
	1	Replace "_" with "3" for 3.5"-4.13" 4.18"-5.25" OD pole, "5" for 5.5"-6						
	2	Not available with 25, 50, 255, 29 configurations						

- 3.5"-4.13" OD pole, "4" for " for 5.5"-6.5" OD pole
- 50, 255, 295 & 340W
- At least one SCPREMOTE required to program SCP 3
- Replace "_" with "14" for up to 14' mounting height, "40F" for 15-40' mounting height
- Replace "_" with "12" for up to 12' mounting height 5

## STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Mounting	Finish
RAR1-100-4K-3	12,000	100W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-100-4K-4W	12,000	100W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR1-135-4K-3	18,000	135W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-135-4K-4W	18,000	135W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR2-165-4K-3	21,000	165W	320L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR2-165-4K-4W	21,000	165W	320L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze





Atta <b>Eximite</b> ith <b>E</b> 189, a	Pian@ 22	LOCATION:
/ tttossammarie, o,c	19496 22	
TYP	E:	PROJECT:
_CAT	ALOG #:	

## **RATIO SERIES**

AREA/SITE LIGHTER

## OPTIONS AND ACCESSORIES - STOCK (ORDERED SEPARATELY)

Catalog Number	Description
RARRPA3DB	Round pole adapter 3.5" to 4.13" for ASQ arm, 3.5" to 4.13" OD pole, dark bronze finish
RARA3UDB	Universal mount for square pole or round pole 3.5" to 4.13", dark bronze finish
RARBC80L	Ratio blacklight control 80L
RARBC160L	Ratio blacklight control 160L
RARBC320L	Ratio blacklight control 320L
RARBC480L	Ratio blacklight control 480L

## **ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER**

Catalog Number	Description
RAR-ASQU-XX	Universal arm mount for square pole/flat surface ²
RAR-A_U-XX	Universal arm mount for round poles ¹²
RAR-RPAXX	Round pole adapter ^{1,2}
SETAVP-XX	4" square pole top tenon adapter, 2 3/8" OD slipfitter ²
RETAVP-XX	4" round pole top tenon adapter; 2 3/8" OD slipfitter for max. Four fixtures (90o); order 4" round pole adapters separately ²
BIRD-SPIKE-3	Ratio size 1 bird deterrent/spikes
BIRD-SPIKE-4	Ratio size 2 bird deterrent/spikes
RARWB-XX	Wall bracket - use with Mast Arm Fitter or Knuckle ²

Replace "_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole

## **CONTROLS**

Control Options	
Standalone	
SW7PR	SiteSync™ on fixture module via 7PR
SWUSB	SiteSync™ Software on USB
SWTAB	SiteSync™ Windows Tablet
SWBRG	SiteSync™ Wireless Bridge Node
SWFC	SiteSync™ Field Commission Serve
SCPREMOTE	Order at least one per project location to program and control
Networked – Wireless	
WIR-RME-L	wiSCAPE External Fixture Module ^{1,2}
NX Networked – Wireless	
NXOFM-1R1D-UNV	NX Wireless, Daylight Harvesting, BLE, 7 pin twisted lock
Notos	

Notes:

1 Works with external networked photosensor

2 wiSCAPE Gateway required for system programming



² Replace "XX" with desired color/paint finish



AttExthribetrE,1825age23	LOCATION:
Attasimisa E, noggaga 20	
TYPE:	PROJECT:

# **RATIO SERIES**

AREA/SITE LIGHTER

## **PERFORMANCE DATA**

5	Nominal	System	Dist.	5K (500	OK NO	MINA	L 70 C	RI)	4K (400	OK NOI	MINAI	L 70 C	RI)	3K (300	OK NO	MINAI	. 80 C	:RI)
Description	Wattage	Watts	Type	Lumens	LPW	В	U	G	Lumens	LPW	В	U	G	Lumens	LPW	В	U	G
			2	3438	135	1	0	1	3445	136	1	0	1	3240	128	1	0	1
	25	25.4	3	3460	136	1	0	1	3467	136	1	0	1	3260	128	1	0	1
	25	25.4	4W	3406	134	1	0	1	3412	134	1	0	1	3209	126	1	0	1
			5QW	3483	137	2	0	1	3490	137	2	0	1	3282	129	2	0	1
			2	5263	139	1	0	2	5273	139	1	0	2	4960	131	1	0	2
	39	39	3	5297	139	1	0	2	5308	140	1	0	2	4991	131	1	0	2
	39	39	4W	5200	137	1	0	2	5210	137	1	0	2	4900	129	1	0	2
			5QW	5333	140	3	0	1	5344	141	3	0	1	5025	132	3	0	1
			2	6310	127	1	0	2	6323	127	1	0	2	5946	120	1	0	2
	50	49.8	3	6349	128	1	0	2	6362	128	1	0	2	5983	120	1	0	2
	50	49.6	4W	6233	125	1	0	2	6245	126	1	0	2	5873	118	1	0	2
			5QW	6392	129	3	0	1	6405	129	3	0	1	6023	121	3	0	1
	70	68.4	2	9486	139	1	0	2	9505	139	1	0	2	8938	131	1	0	2
RAR1			3	9544	140	1	0	2	9563	140	1	0	2	8993	131	1	0	2
KAKI			4W	9395	137	1	0	2	9414	138	1	0	2	8853	129	1	0	2
			5QW	9608	140	4	0	2	9628	141	4	0	2	9054	132	4	0	2
		90.0	2	11976	133	2	0	2	12000	133	2	0	2	11285	125	2	0	2
	100		3	12050	134	2	0	2	12074	134	2	0	2	11354	126	2	0	2
	100	30.0	4W	11861	132	2	0	2	11885	132	2	0	2	11177	124	2	0	2
			5QW	12131	135	4	0	2	12155	135	4	0	2	11431	127	4	0	2
			2	15572	142	2	0	2	15494	141	2	0	2	14871	136	2	0	2
	115	109.7	3	15833	144	2	0	2	15754	144	2	0	2	15121	138	2	0	2
	113	103.7	4W	15281	139	2	0	3	15205	139	2	0	3	14623	133	2	0	3
			5QW	15732	143	4	0	2	15653	143	4	0	2	15024	137	4	0	2
			2	17971	135	3	0	3	17881	134	3	0	3	17163	129	3	0	3
	135	133.3	3	18272	137	2	0	2	18181	136	2	0	2	17450	131	2	0	2
	155	155.5	4W	17635	132	2	0	3	17547	132	2	0	3	16876	127	2	0	3
			5QW	18156	136	4	0	2	18065	136	4	0	2	17339	130	4	0	2
				RA	R2 Perf	ormar	nce Da	ata on	next page									

CATALOG #:



Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.



Att Exchiribetr E, 182 Fage 24	LOCATION:
Atteaminate, hoggerge 24	

TYPE: PROJECT:

## CATALOG #:

## RATIO SERIES

AREA/SITE LIGHTER

## **PERFORMANCE DATA**

Description	Nominal	System	Dist.	5K (500	OK NO	MINAI	L 70 C	RI)	4K (400	OK NO	MINA	L 70 C	RI)	3K (300	OK NO	MINAL	- 80 C	:RI)
Description	Wattage	Watts	Type	Lumens	LPW	В	U	G	Lumens	LPW	В	U	G	Lumens	LPW	В	U	G
			2	15326	153	2	0	3	15357	153	2	0	3	14442	144	2	0	3
	110	100.3	3	15421	154	2	0	3	15452	154	2	0	3	14531	145	2	0	3
	110	100.3	4W	15180	151	2	0	2	15210	152	2	0	2	14304	143	2	0	2
			5QW	15525	155	4	0	2	15556	155	4	0	2	14629	146	4	0	2
			2	19395	146	2	0	3	19434	146	2	0	3	18276	137	2	0	3
	140	133.2	3	19515	147	2	0	3	19554	147	2	0	3	18389	138	2	0	3
	140	133.2	4W	19210	144	2	0	3	19248	145	2	0	3	18101	136	2	0	3
			5QW	19647	148	5	0	3	19686	148	5	0	3	18513	139	5	0	3
			2	21651	141	3	0	3	21695	141	3	0	3	20402	133	3	0	3
	105	152.0	3	21785	142	3	0	3	21828	142	3	0	3	20527	134	3	0	3
	165	153.6	4W	21444	140	3	0	3	21487	140	3	0	3	20206	132	3	0	3
			5QW	21932	143	5	0	3	21976	143	5	0	3	20666	135	5	0	3
			2	26046	149	3	0	3	26098	150	З	0	3	24543	141	3	0	3
	105	174.5	3	26207	150	3	0	3	26259	150	3	0	3	24694	142	3	0	3
	185		4W	25797	148	3	0	4	25849	148	3	0	4	24308	139	3	0	4
			5QW	26384	151	5	0	3	26437	152	5	0	3	24861	143	5	0	3
			2	28848	145	3	0	4	28906	146	3	0	4	27184	137	3	0	4
RAR2	210	198.2	3	29027	146	3	0	4	29085	147	3	0	4	27351	138	3	0	4
KARZ	210	190.2	4W	28572	144	3	0	4	28630	144	3	0	4	26924	136	3	0	4
			5QW	29222	147	5	0	4	29281	148	5	0	4	27536	139	5	0	4
			2	32087	141	3	0	4	32151	142	3	0	4	30235	133	3	0	4
	240	226.9	3	32285	142	3	0	4	32350	143	3	0	4	30422	134	3	0	4
	240	220.9	4W	31780	140	3	0	4	31844	140	3	0	4	29946	132	3	0	4
			5QW	32503	143	5	0	4	32568	144	5	0	4	30627	135	5	0	4
			2	37040	144	3	0	4	36854	143	3	0	4	35373	138	3	0	4
	255	257.0	3	37660	147	3	0	4	37472	146	3	0	4	35966	140	3	0	4
	255	257.0	4W	36347	141	3	0	5	36166	140	3	0	5	34782	135	3	0	5
			5QW	37420	146	5	0	4	37233	145	5	0	4	35736	139	5	0	4
			2	41733	142	3	0	4	41524	141	3	0	4	39855	136	3	0	4
	295	294.0	3	42432	144	3	0	4	42220	144	3	0	4	40523	138	3	0	4
	295	234.0	4W	40953	139	3	0	5	40748	139	3	0	5	39190	133	3	0	5
			5QW	42162	143	5	0	4	41951	143	5	0	4	40264	137	5	0	4
			2	48392	139	4	0	5	48150	139	4	0	5	46215	133	4	0	5
	240	2474	3	49203	142	3	0	4	48957	141	3	0	4	46989	135	3	0	4
	340	347.1	4W	47488	137	4	0	5	47261	136	4	0	5	45443	131	4	0	5
			5QW	48889	141	5	0	5	48645	140	5	0	5	46689	135	5	0	5

Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.





AttEndhribetrE,1897 age 25

ege 25 LOCATION:

TYPE:

CATALOG #:

PROJECT:

#### S

AREA/SITE LIGHTER

## **ELECTRICAL DATA**

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)				
		120	0.21					
	25	208	0.12	25.4				
	23	240	0.11	25.4				
		277 0.09						
		120	0.32					
		208	0.18					
	39	240	0.16	38.0				
	39	277	0.14	36.0				
		347	0.11					
		480	0.08					
		120	0.42					
	50	208	0.24	40.0				
	50	240	0.21	49.8				
		277	0.18					
		120	0.57					
	70	208	0.33	1				
D.4.D.4		240	0.29	68.4				
RAR1		277	0.25					
		120	0.75					
	400	208	0.43					
	100	240	0.38	90.0				
		277	0.32					
		120	0.91					
		208	0.53					
	44.5	240	0.46	4007				
	115	277	0.40	109.7				
		347	0.32					
		480	0.23					
		120	1.11					
		208	0.64	1				
	105	240	0.56	1				
	135	277	0.48	133.3				
		347	0.38	1				
		480	0.28	1				

# LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Te	Lumen Multiplier	
0° C	32° F	1.03
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.98
50° C	122° F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

## PROJECTED LUMEN MAINTENANCE

A			OPERATIN	IG HOURS	5	
Ambient Temperature	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.95	0.93	0.86	238,000
40°C / 104°F	0.99	0.96	0.95	0.93	0.85	225,000

	Wattage	Input Oper. Current Voltage (Amps)		System Power (Watts)
		120	0.84	
	110	208	0.48	100.3
	110	240	0.42	100.5
		277	0.36	
		120	1.11	
	140	208	0.64	133.2
	140	240	0.56	155.2
		277	0.48	
		120	1.28	
	165	208	0.74	153.6
	103	240	0.64	155.0
		277	0.55	
		120	1.45	
	185	208	0.84	174.5
	103	240	0.73	1/4.5
		277	0.63	
		120	1.65	
	210	208	0.95	198.3
	240	240	0.83	190.3
		277	0.72	
RAR2		120	1.89	
RAR2		208	1.09	226.9
		240	0.95	220.9
		277	0.82	
		120	2.14	
		208 1.24		
	255	240	1.07	257.0
	255	277	0.93	257.0
		347	0.74	
		480	0.54	
		120	2.45	
		208	1.41	
	295	240	1.23	294.0
	293	277	1.06	294.0
		347	0.85	
		480	0.61	
		120	2.89	
		208	1.67	
	340	240	1.45	2.471
	340	277	1.25	347.1
		347	1.00	
		480	0.72	

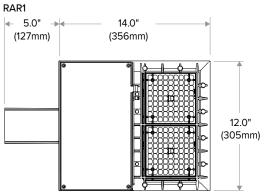


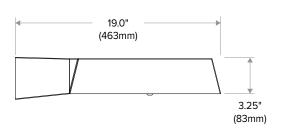
LOCATION: Attendambetre, 189 grade 26

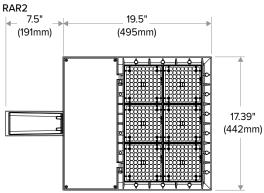
> TYPE: PROJECT:

CATALOG #:

## **DIMENSIONS**







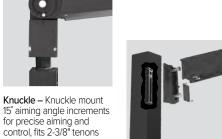


## **ADDITIONAL INFORMATION**

## MOUNTING



Arm Mount – Fixture ships Knuckle - Knuckle mount 15° aiming angle increments



with integral arm for ease of installation. Compatible with Hubbell Outdoor B3 drill pattern.



or pipes.

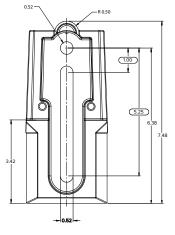
Universal Mounting – Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5"



MAF - Fits 2-3/8" OD arms Roadway applications.



Wall Mount - Wall mount bracket designed for building mount applications.

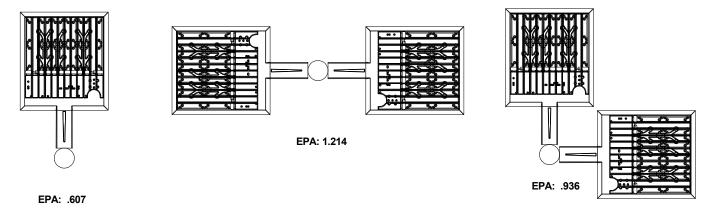


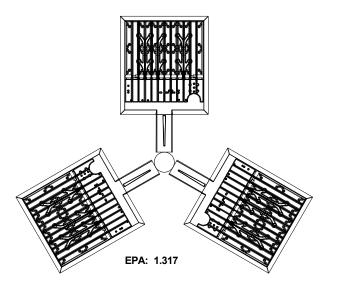


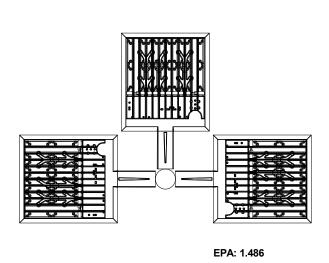
## RATIO SERIES

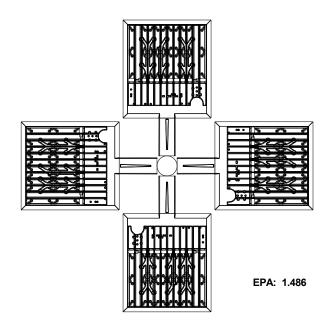
AREA/SITE LIGHTER

## **EPA**











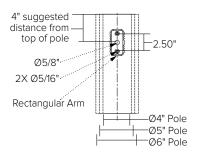
# Attanhibere,1835ags 28 TYPE: PROJECT:

## RATIO SERIES

AREA/SITE LIGHTER

## **ADDITIONAL INFORMATION (CONT'D)**

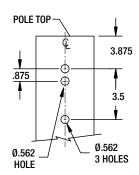
## **ARM MOUNT (ASQ)**Compatible with Pole drill pattern B3



## UNIVERSAL MOUNTING (ASQU)

CATALOG #:

Compatible with pole drill pattern S2



## SITESYNC 7-PIN MODULE







- · SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)

## PROGRAMMED CONTROLS

ADD-AutoDim Timer Based Options

• Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

## EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked				
Auto-Dim Options	1-9 Hours	6				
Auto-Dim Brightness	0-9% Brightness	5				
Auto-Dim Return	Delay 0-9 Hours	R6				

ADT-AutoDim Time of Day Based Option

• Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

## EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	12-6 AM and 9-11P	R6





AttExthribetrE,18976ag629

TYPE: PROJECT:

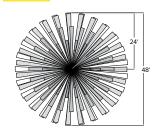
CATALOG #:

## RATIO SERIES

AREA/SITE LIGHTER

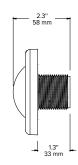
## **ADDITIONAL INFORMATION (CONT'D)**

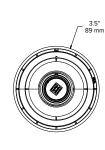
## NXSP-14F



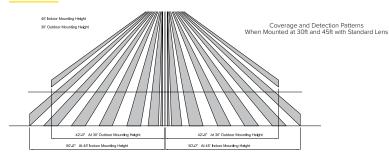


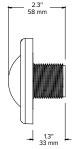
Sensor Lens Coverage and Detection Patterns When Mounted at 8ft with Low Mount Lens





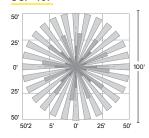
## NXSP-30F

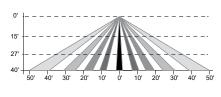


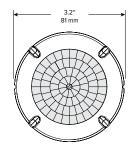


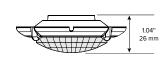


## SCP-40F









## RAR1 EPA

RAR-1						
EPA at 0°	EPA at 30°					
.45ft.² .13m²	.56ft.² .17m²					

## RAR2 EPA

RAR-2							
EPA at 0°	EPA at 30°						
.55ft. ² .17m ²	1.48ft. ² .45m ²						

## SHIPPING

Catalan	C M//Ism//	Carton Dimensions									
	Catalog Number	G.W(kg)/ CTN	Length Inch (cm)	Width Inch (cm)	Height Inch (cm)						
	RAR1	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)						
Г	RAR2	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)						



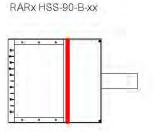
Att Exhibit nE, 182 Fag 30		LOCATION:
, tttaaniinaan aa	, no pigalga o o	
	TYPE:	PROJECT:
	CATALOG #:	

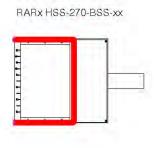
# **RATIO SERIES**

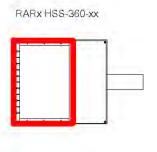
AREA/SITE LIGHTER

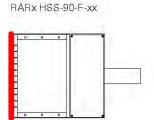
## **ADDITIONAL INFORMATION (CONT'D)**

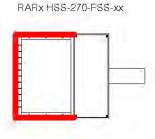
## **RATIO HOUSE SIDE SHIELD**



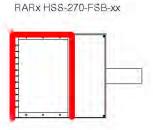


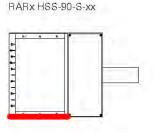


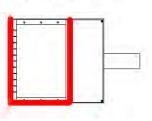












RARX HSS-270-FSB-xx

## **USE OF TRADEMARKS AND TRADE NAMES**

All product and company names, logos and product identifies are trademarks ™ or registered trademarks ® of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.

Ø

Att ExthribetrE, 184 Fage 31	LOCATION:				
/ tttaaiiiibai E, noqigaga o i	I				
TYPE:	PROJECT:				

CATALOG #:

# LNC3 MEDIUM LED LITEPAK

## **FEATURES**

- · Litepak LNC3 is a mid-sized wallpack in the popular Litepak series
- The LNC3 features luminaires with TIR optics and four different lumen packages, multiple distributions and CCT for maximum light level and mounting height flexibility
- Capable of replacing up to 250w HID solutions at over 70% energy savings
- Energy efficient LEDs provide 70%+ energy savings with little to no maintenance when compared to traditional light sources
- Typical mounting heights of 8-20"











## RELATED PRODUCTS

8 LNC 8 INC2 8 LNC4

## **CONTROL TECHNOLOGY**



## **SPECIFICATIONS**

## CONSTRUCTION

- Die-cast aluminum housing protects components and provides an architectural appearance
- Casting thermally conducts LED heat to optimize performance and long life
- Powder paint finish provides durability in outdoor environments
- Four 1/2" conduit entries (top, bottom, and sides) provided for surface conduit
- Zero uplight distributions using individual acrylic LED optics provide IES type II, III and IV distributions
- CS Frosted acrylic diffuser option for reduced glare
- CSU Frosted acrylic diffuser for inverted "up" mounting applications (lens required)

### OPTICS

- Ambient operating temperature -40°C to 40°C
- 3000K, 4000K and 5000K CCT nominal with 70 CRI
- Available in 4 or 24 LED configuration
- L70 at 60,000 hrs (Projected per IESNA TM-21-11), see table on page 3 for all values

### INSTALLATION

 Quick-mount adapter with gasket seal provides easy installation to wall or to recessed junction box (4" square junction box)

## INSTALLATION (CONTINUED)

- Fixture attaches by two Allen-head hidden fasteners for tamper resistance
- Designed for direct j-box mount or conduit feed on all four sides in single SKU

## **ELECTRICAL**

- 120-277, 347 and 480 voltage, 50/60Hz, 0-10V dimming drivers
- Electronic driver
- · 10kA surge protection

### **CONTROLS**

- Button photocontrol for dusk to dawn energy savings
- 7-pin photo-receptacle available for twist lock photocell and controls by others
- Occupancy sensor options available for complete on/off and dimming control
- SiteSync pre-commissioned wireless controls (with or without sensor)
- In addition, LITEPAK can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7
- See ordering information or visit www.hubbelllighting.com/sitesync for more details

## CERTIFICATIONS

- DLC® DesignLights Consortium Qualified, with some Premium Qualified configurations.
   Please refer to the DLC website for specific product qualifications at www.designlights.org
- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- IP65 Assembly
- IDA Approved (3000K configurations)

### WARRANTY

- 5 year limited warranty
- See <u>HLI Standard Warranty</u> for additional information

KEY DATA								
Lumen Range	2,991–7,603							
Wattage Range	28–83							
Efficacy Range (LPW)	84–115							
Fixture Projected Life (Hours)	L70>60K							
Weights lbs. (kg)	18.0 (8.2)							





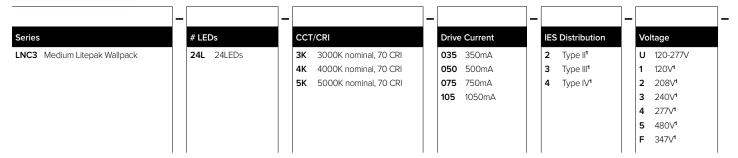
I NC3
LINCS
MEDIUM LED LITEPAK

Att <del>FollminitrF</del>	1 <b>8</b> a <b>∮a</b> g⊜32	LOCATION:
, ttteevilliserie,	11000	
	TYPE:	PROJECT:
	CATALOG #:	

## **ORDERING GUIDE**

Example: LNC3-24L-3K-035-2-U-DBT-PCU CATALOG #

## ORDERING INFORMATION



Finish	
BLT	Black Matte Textured
BLS	Black Gloss Smooth
DBT	Dark Bronze Matte Textured
DBS	Dark Brone Gloss Smooth
GTT	Graphite Matte Textured
LGS	Light Grey Gloss Smooth
PSS	Platinum Silver Smooth
WHT	White Matte Textured
WHS	White Gloss Smooth
VGT	Verde Green Textured
Color C	Option

Custom Color

#### **Control Options PCU** Universal Button Photocontrol 7PR 7pin PCR6 SCP Programmable occupancy sensor3,4 **SWP** SiteSync Pre-Commision 7,10 SWPM SiteSync Pre-commission w/ OCC Sensor^{4,7,8,10}

#### Options Fusing (must specify voltage per footnote) CS Frosted acrylic diffuser CSU Inverted/Up mounting frosted acrylic diffuser (required for up/ inverted fixture installations, factory install only see page 3)2 Е Integral battery backup rated for 0°C1,5 EΗ Integral battery backup with heater rated for -30°C1,5 2DR Dual Driver9

#### Notes

- Must specify voltage (120 or 277 only for E & EH)
- Factory install only. Not available with SCP or SWPM sensor/control options
- Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, 120-277V only
- PCU option not applicable, included in sensor (8F = up to 8ft, 20F = up to 20ft)
- $350 \mathrm{mA}, 500 \mathrm{mA} \& 750 \mathrm{mA}$  versions only. Not available with F, SWP or SWPM options
- Accepts standard 3, 5, and 7-Pin ANSI controls (by others). Not available with PCU, SWP or SWPM control options
- Must specify group and zone information at time or order. See www.HubbellLighting.com/products/sitesync for future details
- Specify time delay; dimming level and mounting height
- 750mA and 1050mA versions only, not available with 347/480V
- 10 1050mA only, not available with 347V or 480V

## ACCESSORIES AND SERVICES (ORDERED SEPARATELY)

	Catalog Number	Description
	LNC3-CS	Frosted acrylic comfort shield/lens, reduces glare and improves uniformity with only 20% lumen reduction
	SCP-Remote	Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor
	SWUSB	SiteSync interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node*
	SWTAB	Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node*
	SWBRG	SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested
	SW7PR	SiteSync 7 Pin on fixture module On/Off/Dim, Daylight Sensor 120-480VAC*
Notes:		

CC

- When ordering SiteSync at least one of these two interface options must be ordered per project
- Available as a SiteSync retrofit solution for fixtures with an existing 7pin receptacle

## Hubbell Control Solutions — Accessories (Sold Separately)

NX Distributed Intelligence

NXOFM-1R1D-UNV On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with HubbNET Radio and Bluetooth® Radio, 120–480VAC

wiSCAPE® Lighting Control

WIR-RME-L On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with wiSCAPE Radio, 110-480VAC

For additional information related to these accessories please visit <a href="www.hubbellcontrolsolutions.com">www.hubbellcontrolsolutions.com</a>. Options provided for use with integrated sensor, please view specification sheet ordering information table for details.



Att <b>EodhribeirE,1897@age</b> 33	LOCATION:
TITLE WILLIAM III, HOOR GIVE GO	

TYPE: PROJECT:

CATALOG #:



## **CONTROLS**

## <u>SiteSync — Precommissioned Ordering Information:</u>

When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit the SiteSync family page on our website or contact Hubbell Lighting tech support at 800-345-4928.

SiteSync fixtures with Motion control (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: LNC3-24L-4K-075-3-U-BL-SWP SiteSync only

LNC3-24L-4K-075-3-U-BL-SWPM-20F SiteSync with Motion Control

## SiteSync 7-Pin Module:

- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)
- Does not interface with occupancy sensors



SW7PF

## **PERFORMANCE DATA**

# Of	Nominal	System	Dist.	5K (5000	5K (5000K NOMINAL 70 CRI)					K NOMINA		3K (3000K NOMINAL 80 CRI)						
LEDs	Wattage	Watts	Type	Lumens	LPW*	В	U	G	Lumens	LPW*	В	U	G	Lumens	LPW*	В	U	G
4	N/A	N/A	Е	671	-	-	-	-	657	-	-	-	-	591	-	-	-	-
			2	3,212	115	1	0	1	3,145	113	1	0	1	2,991	107	1	0	1
	350mA	28	3	3,160	113	1	0	1	3,094	111	1	0	1	2,944	106	1	0	1
			4	3,182	114	1	0	1	3,116	112	1	0	1	2,964	106	1	0	1
			2	4,143	101	1	0	2	4,057	99	1	0	2	3,858	94	1	0	2
	500mA	41	3	4,076	99	1	0	1	3,991	97	1	0	1	3,797	93	1	0	1
24			4	4,104	100	1	0	1	4,019	98	1	0	1	3,823	93	1	0	1
24			2	5,918	99	1	0	2	5,795	97	1	0	2	5,512	92	1	0	2
	750mA	60	3	5,823	97	1	0	2	5,702	95	1	0	2	5,424	90	1	0	2
			4	5,863	98	1	0	2	5,741	96	1	0	2	5,461	91	1	0	2
			2	7,630	92	2	0	2	7,472	90	2	0	2	7,107	86	2	0	2
	1050mA	83	3	7,508	90	1	0	2	7,352	89	1	0	2	6,993	84	1	0	2
			4	7,559	91	1	0	2	7,402	89	1	0	2	7,041	85	1	0	2

## **ELECTRICAL DATA**

# OF LEDS	Drive Current (mA)	Input Voltage (V)	Oper. Current (Amps)	System Power (W)
		120	0.23	28
	350mA	277	0.10	28
	350IIIA	347	0.08	28
		480	0.06	28
		120	0.34	41
	500mA	277	0.15	41
		347	0.12	41
24		480	0.09	41
24	750mA	120	0.50	60
		277	0.22	60
		347	0.17	60
		480	0.13	60
	1050mA	120	0.69	83
		277	0.30	83
		347	0.24	83
		480	0.17	83

## PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS						
	0	25,000	50,000	TM-21-11* L96 60,000	100,000	L70 (Hours)	
	25°C / 77°F	1.00	0.97	0.94	0.93	0.89	>296,000
	40°C / 104°F	1.00	0.95	0.91	0.89	0.83	>191,000

Projected per IESNA TM-21-11 * (Nichia 219B, 700mA, 85°C Ts, 10,000hrs). Data references the extrapolated performance projections for the LNC-12LU-5K base model in a 40°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.





AttExhibitrE,18999434 LOCATION:

TYPE: PROJECT:

LNC3
MEDIUM LED LITEPAK

CATALOG #:

## LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

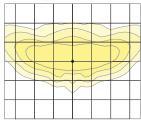
Ambient Te	Lumen Multiplier	
0° C	32° F	1.02
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	1.00
40° C	104° F	0.99

Use these factors to determine relative lumen output for average ambient temperatures from 0-40  $^{\circ}$  C (32-104  $^{\circ}$  F).

## **PHOTOMETRY**

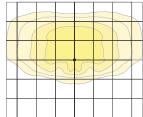
The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see <u>website photometric test reports</u>.

LNC3 - Type II



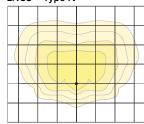
Mounting Height: 15'

LNC3 – Type III



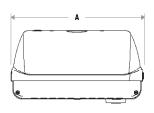
Mounting Height: 15'

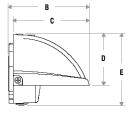
LNC3 - Type IV



Mounting Height: 15'

## **DIMENSIONS**





Α	В	С	D	E	Weight
13"	10.5"	9.9"	5.8"	8.3"	25.0 lbs
(330 mm)	(267 mm)	(251 mm)	(147 mm)	(211 mm)	11.3 kg

## **ADDITIONAL INFORMATION**

## CSU - INVERTED MOUNTING OPTION



*Requires Factory Installed Lens Option

Inverted mounting capabilities for uplighting applications. Specially designed frosted acrylic diffuser option softens output, improves uniformity and protects LED lenses.

## SCP - PROGRAMMABLE OCCUPANCY SENSOR



*Photocontrol and Wireless Controls by Others

Standard NEMA 7-Pin receptacle for twist lock photocell or wireless controls (by others).

## SCP - PROGRAMMABLE OCCUPANCY SENSOR



Sensor offers greater control and energy savings with SCP programmable sensor with adjustable delay and dimming levels (Factory default is 10%)

Visit: <a href="http://www.hubbelllighting.com/solutions/controls/">http://www.hubbelllighting.com/solutions/controls/</a> for control application information

## SHIPPING INFORMATION

Catalag	C \\//\ca\/		Cartar Ott.			
Catalog G.W(kg) Number CTN		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)	Carton Qty. per Master Pack	
LNC3-24LU	18.0 (8.2)	15.8 (40)	11.0 (28)	13.0 (33)	1	



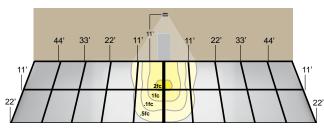
Att Excelhin beitr E, 1894 Fea 20235	LOCATION:
/ ((LEANIIIDAI E., HOGIGUEZ 00	
TYPE:	PROJECT:

CATALOG #:

# LNC3 MEDIUM LED LITEPAK

## **ADDITIONAL INFORMATION (CONTINUED)**

## LNC2 - BATTERY BACK UP



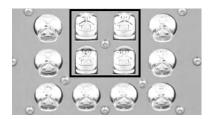
11' Mounting Height

Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions and mounting height of 11'.

Diagrams for illustration purposes only, please consult factory for application layout.

Battery backup units consume 6 watts when charging a dead battery and 2 watts during maintenance charging. EH (units with a heater) consume up to an additional 8 watts when charging if the battery temp is lower than  $10^\circ\text{C}$ 

### **E & EH EMERGENCY BATTERY BACKUP**

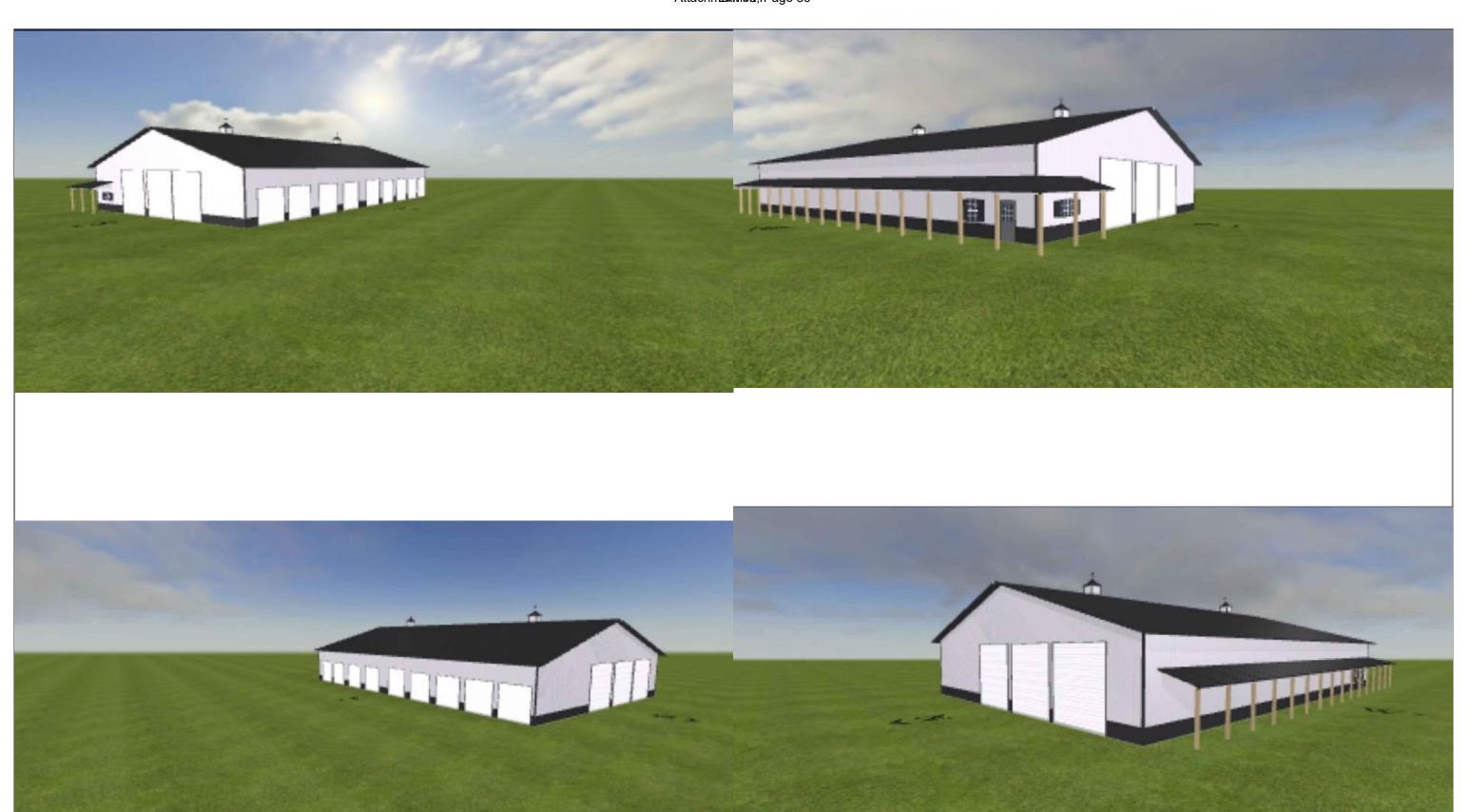


24 High Power LEDs generate up to 7,500 lumens in Normal Mode, and use 4 LEDs for up to 700 lumens in emergency.

## **USE OF TRADEMARKS AND TRADE NAMES**

All product and company names, logos and product identifies are trademarks ™ or registered trademarks ® of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.





TEBRUGGE ENGINEERING
10 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548
HONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

NO. DATE NOTES

PREPARED FOR:

BEST BUDGET TREE SERVICE

22419 W RENWICK RD, PLAINFIELD, IL

BEST BUDGET TREE SITE PLAN
BUILDING ELEVATIONS

LE: NTS SHEET NO. 22 424 02 SHEET NO.

LE: NTS 1

TE: 4/15/22 OF 1 SHEETS

From: JM

To: Pam Herber; Matt Asselmeier; Brian Holdiman; Larry Simmons

Subject: [External]Duplicate Address Boulder Hill Woodliff and knollwood

**Date:** Thursday, February 10, 2022 4:59:25 AM

**CAUTION** - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi, My name s is James Murray. I have lived here on Woodcliff Rd. (27) in unincorporated Montgomery (Boulder Hill) for close to 20 years. My family and i have been dealing with an issue that presents itself almost every day of our lives and I am just fed up. We live in a cul-de-sac on Woodcliff rd. House number 27. This address isn't too far from the corner of Knollwood roughly about 3 or 4 houses away from that corner. That corner house on Knollwood also has a house number of 27. what makes matters worse is that the house is being a corner house is facing Woodcliff due to the angle it sits on their property their front door also faces Woodcliff rd. Almost on a daily basis, we get our door-dash orders, pizza orders, flower deliveries you name it dropped off down at the corner. property. I guess I can't blame them seeing that this house is actually facing Woodcliff Rd and not Knollwood their actual street address. Recently had 2 iPhones dropped off at this house I ordered for my wife and I. It was a rush delivery because we were leaving for a trip to Florida the next day and needed them for the trip. I have also had medications dropped off there by courier by mistake. All of these have been very expensive mistakes. I would like to have either our number or the other property's number changed or maybe that house should be given a Woodcliff address as it actually faces Woodcliff and not Knollwood or whatever it takes to rectify this problem or something done to ensure this doesn't keep happening. I have been looking for ways to address this for years. There have been quite of few homeowners who have come and gone from that 27 Knollwood address over the years to where I can't keep going over there expecting them to send deliveries and food orders down to us. The last homeowner who occupied that address was difficult to communicate with as there was a language barrier difference. Anyways If you use Google Maps and view the "Streetview" (simulate driving down the streets) you would see exactly what I am talking about. I have been dealing with this a very long time and I see no end to this The regulars that know us like UPS drivers and Mail couriers are aware of the issues and know the issues, but each time there is a substitute for this happens without fail. It became a very big hassle since the pandemic due to the increase of food deliveries and online ordering. we had to constantly walk down there to get cold food or deliveries off their porch. Sending son down there has often produced awkward looks from other neighbors who don't know the situation wondering what he is doing and if he is stealing items off their porch.

Last spring I had a 20-yard dumpster dropped off to us and they dropped in their driveway instead and that was a big mess I had to deal with. Something needs to get resolved. If this is something you don't handle personally. I was hoping you can please forward it to the proper department to look into.

The post office has told me in the past that this is a zoning dept. issue. Since we are an unincorporated part of Montgomery, I have been at a loss to figure out who I should be alerted to this issue whether it is Oswego township, Montgomery, or the County of Kendall.

Even when a GPS is used just the fact that it is just a few houses down they still

deliver to that other property constantly.

I am so worried if there is a medical emergency or something this could be very impactful in so many ways.

The other issue we all complain about on Woodcliff is the street signs are all labeled Woodcliff Drive, but the post office and just about all other resources identify it as Woodcliff Rd. which in some cases causes the address to pop up as incorrect when filling out shipping info which we are forced to have to correct or it comes up as unverified. Not to mention the occasional courier looking to find Rd. and not drive as in some towns there might be both a road and a drive with the same name but different streets.

Please if you can direct me or pass this along to have someone look into it, A simple drive to the area or do a street view simulating a drive down the street should be enough for anyone to understand the issue that the property that sits on 27 Knollwood is what is creating all the issues in my opinion just how it is angled on the property presenting it to be a Woodcliff property.

Thank you for your time.

James G. Murray

27 Woodcliff rd. (House in cul-de-sac not @ corner!!)

Montgomery ,Il 60538

Email Me:

Direct line:

(Please only call the direct line if this matter can not be addressed or resolved via email) This line also accepts text messages from your android or iPhone for your convenience.

Thanks, Jim (James Murray) From: <u>Larry Nelson</u>

To: Matt Asselmeier; "Scott Koeppel."

Subject: [External]Fwd: 27 Knollwood Drive

Date: Tuesday, June 7, 2022 12:26:43 PM

Attachments: 11A - New Policy Address Change Recommendations.pdf

11B - GIS 27 Knollwood Dr.docx 4-20-22 KenCom Ops Minutes.pdf

**CAUTION** - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Matt it appears the change in address is not per se for kencom but for a resident where looks like a corner lot and there's confusion in the public safety mind .....that's why they're looking to change the address it would seem to me we would not want to charge the resident for this because it is a public safety issue Requested by 911 4 emergency responders

Larry Nelson

From: Lynette Bergeron < lbergeron@KenCom911.com>

**Sent:** Tuesday, June 7, 2022, 12:06 PM

To:

Subject: RE: 27 Knollwood Drive

Hi Larry,

This came to us from the County GIS in regards to a complaint they received from the resident of 27 Woodcliff Rd. Due to a public safety concern of emergency responders possibly going to the wrong address we agreed the address should be changed from 27 Knollwood Dr to 35 Woodcliff Rd. This was voted on at the Operations Board on April 20th. Attached for your review is the policy that was created when GIS or zoning has an issue with addressing and also the document with aerials showing the concern. Let me know if you need anything further.

**Please note my new email address of <a href="mailto:lbergeron@KenCom911.com">lbergeron@KenCom911.com</a> **

Kind Regards,

Lynette Bergeron
Director
KenCom Public Safety Dispatch
1100 Cornell Lane
Yorkville, Illinois 60560
630-553-0595 (office)
630-882-8532 (fax)

27 Woodcliff Road 27 Knollwood Drive



The resident at 27 Woodcliff Road. has raised concerns about his address being confused with 27 Knollwood Dr. because the houses are so close to one another and the front of 27 Knollwood Dr. faces Woodcliff Dr.

GIS has proposed an address change of 35 Woodcliff Dr. for the 27 Knollwood Dr. property.

It is also important that the road signs match the actual street name to ensure KenCom can properly validate the address for calls for service that come in.

The recommendation is to change the address of 27 Knollwood Dr to 35 Woodcliff Rd.

## Minutes of the KenCom Operations Board Meeting Held, Tuesday, April 20th, 2022 2:00 p.m.

Member	Agency	Present	Absent
Josh Flanders	OFD	X	
Liz Palko	MPD	X	
Bobby Richardson	KCSO	X	
James Bateman	BKFD	X	
Jonathan Whowell	PPD	X	
Ray Mikolasek	YPD	X	
Cliff Fox	Village of Newark	X	
Jeff Mathre	NFD		X
Dave Jordan	LRFFD	X	
Alex Marchawka	LSFD	X	
Derek Hagerty	SFD		X
Kevin Norwood	OPD	X	
Tom Meyers	MFD	X	
	ATFD		X

Others Present: Lynette Bergeron, KenCom Director; Jen Stein, KenCom Assistant Director; Pamela Hurtig, KenCom Operations Manager; Bonnie Walters, KenCom Executive Assistant.

Josh Flanders called the meeting to order and requested a roll call of the membership. Eleven of the fourteen members were present which resulted in having a quorum for voting purposes.

Flanders called for approval of the agenda. Whowell made a motion to approve the agenda as submitted, seconded by Norwood. Discussion. All members present voting aye. Motion carried.

## Flanders called for Public Comment – None

Flanders called for Correspondence – Bergeron stated it was confirmed that the State of Illinois was going to sweep 9-1-1 Surcharge Funds. It is in the budget for the State of Illinois, HB4700, to sweep \$5,000,000 from the 9-1-1 Surcharge Funds to help fund 9-8-8. This is very concerning to all 9-1-1 centers and if the sweep is done 9-1-1 centers are no longer eligible for Federal Grants. Bergeron sent an email to all board members which included information for the FCC 9-1-1 Strike Force that was created to come up with ways to prevent states from sweeping 9-1-1 Surcharge Funds. Illinois APCO and Illinois NENA are urging all 9-1-1 Centers to reach out to state representatives of any level, our local government and ask them to reach out and oppose the sweeping of any 9-1-1 Surcharge and take it out of the general fund.

Staff Report – Bergeron gave a Personnel Report as follows: Gina Belmont is wrapping up fire dispatch training and will be advancing to the shadow phase of training next week. Jenna Brown is in Phase 1 of the training program. Training as follows: Online fire extinguisher training through Safety Source will be completed by the end of April. Training on Flock software will begin this week for end users. Information as follows: Staff would like to thank our agencies for thinking of us during Telecommunicator Week, April 10th-16th by providing us with meals, snacks, videos, mementos and more! Project Updates as follows: Any bills that are sent directly to an agency from Tyler should be turned over to KenCom (do not pay) if it is for equipment, software, services, etc. that KenCom has procured on behalf of the agency. The fire portable radios have been received and ABeep will start programming each of the radios. The License Plate Reader Committee has completed the public relations statement, system monitoring and audit protocols, and protocols on moving cameras. The IGA has been finalized and will be presented to the Executive Board at their April 28th meeting for approval. IDOT has issued permits for all seven license plate reader cameras. Flock will install cameras mid to late April. The target go-live is May 1st with the Flock System. The NG9-1-1 project will route 9-1-1 calls to

PSAPs via an ESInet using IP technology rather than analog phone lines. GIS work continues throughout the State to establish boundaries for the routing of 9-1-1 calls on the IP based platform. KenCom is scheduled to go live on the ESInet on June 23rd, 2022. KenCom and Grundy County 9-1-1 will be working together on this project due to the shared Viper phone system. Wireless 9-1-1 statistics for the month of March 2022 represented 86% calls received. Text to 9-1-1 totals for the month of March 2022 were 5.

Closed Session Minutes but do not release – None

Consent Agenda – Flanders called for approval of the consent agenda. Fox made a motion, seconded by Palko to approve the consent agenda, which includes approval of the March 2022 Treasurer's Reports and the March 16th, 2022 Operations Board Minutes. All members present voting aye. Motion carried.

Flanders called for the Standing Committee Reports: Strategic Planning Committee – No Meeting

## Finance Committee Report:

Operation Fund Bills – Norwood made a motion to approve the April 2022 Operation bills, in the amount of \$169,948.48, seconded by Whowell. Discussion. A roll call was taken with all eleven members present voting aye. Motion carried.

Surcharge Fund Bills – Whowell made a motion to approve the April 2022 Surcharge bills, in the amount of \$176,240.92, seconded by Richardson. Discussion. A roll call was taken with all eleven members present voting aye. Motion carried.

Anticipated Expenses – None.

Flanders called for Old Business:

License Plate Reader Release – Discussed in staff report.

Development of Fire 3 to be Digital – Discussed in staff report.

988/Public Act 102-0580-CESSA – Bergeron stated they had a meeting at the Health Department. Currently they are focused on getting 988 up and operational and will turn the focus on CESSA once 988 is up. Discussion ensued. Sergeant Palko mentioned there are pilot programs going on throughout the state.

## Flanders called for New Business:

Policy and Procedures – Stein reviewed the policies contained in the packet. Norwood made a motion to approve the new License Plate Reader Policy; GIS Recommendation Policy and the revised Kendall County Probation Policy, seconded by Jordan. Discussion. All members present voting aye. Motion carried.

GIS – 4062 & 4064 Shoeger Ct. Yorkville – Mikolasek made a motion to remain neutral on 4062 & 4064 Shoeger Ct., seconded by Meyers. Discussion. All members present voting aye. Motion carried.

27 Knollwood Dr Montgomery– Richardson made a motion to recommend a change of 27 Knollwood to 35 Woodcliff for a Public Safety reasons, seconded by Meyers. Discussion. All members present voting aye. Motion carried.

Economic Interest Statement – Bergeron reminded the Board to fill out the Economic Interest Form and submit to the Kendall County Clerk's office by May 2nd.

Other New Business – Mikolasek made a motion to move the Operations Board meeting back to the KenCom Conference Room beginning the June 2022 meeting, seconded by Richardson. All members present voting aye. Motion carried.

## Closed Session – None

Flanders stated the next Operations Board Meeting is Wednesday, May 25th, 2022 at 5:30 p.m. at Sunfield's Restaurant, 382 E Veterans Pkwy, Yorkville. Meyers made a motion to adjourn the meeting, seconded by Mikolasek. All members present voting aye. Meeting adjourned at 2:30 p.m.

Respectively Submitted,

Bonnie Walters Recording Secretary From: Meagan Briganti
To: Matt Asselmeier
Subject: RE: Address Change

**Date:** Thursday, June 2, 2022 12:19:21 PM

Attachments: <u>image003.png</u>

I did not attend their meeting, but they agreed that the two nearby 27's are confusing and pose an issue. Even though 27 Woodcliff is requesting the change, there is no number option for them to switch to. Additionally, 27 Knollwood, while angled, mostly faces Woodcliff, so they should've had a Woodcliff address from the beginning. Their neighbor to the north is similarly angled but they mostly face Fernwood and thus have a Fernwood address.

**Please note that my email address has changed to <a href="mailto:MBriganti@kendallcountyil.gov">MBriganti@kendallcountyil.gov</a>**

Meagan Briganti
Deputy Director
GIS Department
Information & Communication Technology

P: 630-553-4212

https://www.kendallcountyil.gov/departments/geographic-information-systems

## Visit the Kendall County Facebook page!



## § Please consider the environment before printing this e-mail §

**From:** Matt Asselmeier <masselmeier@kendallcountyil.gov>

Sent: Wednesday, June 1, 2022 4:09 PM

To: Meagan Briganti < MBriganti@kendallcountyil.gov>

**Subject:** FW: Address Change

Meagan:

Why does KenCom want this address changed?

Thanks,

Matthew H. Asselmeier, AICP, CFM Senior Planner Kendall County Planning, Building & Zoning 111 West Fox Street Yorkville, IL 60560-1498

PH: 630-553-4139 Fax: 630-553-4179

From: Brian Holdiman

**Sent:** Tuesday, May 24, 2022 9:05 AM

To: Scott Koeppel <<u>skoeppel@kendallcountyil.gov</u>>; Scott Gengler <<u>sgengler@kendallcountyil.gov</u>>

**Cc:** Matt Asselmeier < <u>masselmeier@kendallcountyil.gov</u>>; Meagan Briganti

<MBriganti@kendallcountvil.gov>

**Subject:** Address Change

Scott and Scott,

Attached is a letter we sent to a citizen asking them if they objected to an address change along with their email response. For public safety reasons KenCom's Operations Board voted to recommend the change. By statute the County Board has the authority to make the change. Is this something that should be added to the next PBZ agenda and notice be given to the property owner?

Respectfully,

## **Brian Holdiman**

Code Official - The County of Kendall - Planning, Building & Zoning -111 West Fox Street room 203 Yorkville IL 60560 Office: (630) 553-4134 Cell: (630) 774-1161 Fax: (630) 553-4179



# PLANNING, BUILDING & ZONING DEPARTMENT

111 WEST FOX STREET - ROOM 203 YORKVILLE, ILLINOIS 60560-1498 630/553-4141 • FAX 630/553-4179

April 27, 2022

Miguel and Blanca Mota

Parcel 03-05-277-027

RE: Address Change

The purpose of this letter is to notify you of that as a matter of public safety KenCom's Operations Board voted to recommend changing your address from 27 Knollwood Drive to 35 Woodcliff Drive. The Kendall County Planning, Building and Zoning Department agrees with this recommendation. Please let us know by 5/13/22 if you are in favor of this change. Please email me at <a href="mailto:bholdiman@co.kendall.il.us">bholdiman@co.kendall.il.us</a>.

Respectfully,

Brian Holdiman Kendall County Code Official

## **Brian Holdiman**

From: Blanca M <

Sent: Wednesday, May 4, 2022 6:02 AM

To: Brian Holdiman

Subject: [External]27 Knollwood Dr. Montgomery

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Mr. Holdiman,

We received a letter in regards to a vote to change my address to 35 Woodcliff. My husband and I do **not** agree with this change and would much prefer to keep our address as is.

Thank you,

Blanca and Miguel Mota

(55 ILCS 5/5-1067) (from Ch. 34, par. 5-1067)

Sec. 5-1067. Names of streets and highways; numbers of buildings and lots. A county board may name or may change the name of any street, lane, road or highway and may regulate the numbering of buildings and lots adjacent to any street, lane, road or highway in the unincorporated area of the county.

In counties under 1,000,000 population, a county board may name or change the name of any road in the county highway system or any trail under its jurisdiction.

(Source: P.A. 88-387.)



### **DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 203
Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

### **MEMORANDUM**

To: Kendall County Planning, Building and Zoning Committee From: Matthew H. Asselmeier, AICP, CFM Senior Planner

Date: June 6, 2022

Re: Annual NPDES Survey

Every year at the end of June or beginning of July, Kendall County sends an NPDES survey to the townships.

WBK reviewed the survey and suggested adding question one under Good Housekeeping. WBK also suggested that question two under Good Housekeeping be changed from

"Do you feel the County provides adequate training to staff members to keep them informed on stormwater pollution prevention practices?"

to

"Do you feel you have adequate resources for training of your staff members to keep them informed on stormwater pollution prevention practices?"

The revised survey incorporating WBK's suggestions is attached.

If you have any questions, please let me know.

MHA

Enc. Proposed NPDES Survey

### NPDES Annual Evaluation Survey Questions Kendall County

### **Public Education and Outreach**

Public	Education and Ottreach
1.	What topics are you interested in learning more about that the County could provide information on for the public? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
	<ul> <li>A. How to properly store and dispose of common household products such as fuel, oil, paint, etc</li> <li>B. How to incorporate green infrastructure such as rain gardens, rain barrels, or permeable pavement onto my property to improve rainwater runoff</li> <li>C. How to compost to reduce the amount of waste my household generates</li> </ul>
2.	Do you utilize the stormwater information listed on the County's website at <a href="https://www.kendallcountyil.gov/departments/planning-building-zoning/npdes">https://www.kendallcountyil.gov/departments/planning-building-zoning/npdes</a> ?  A. Yes B. No
3.	Do you find the stormwater information listed on the County's website helpful?  A. Yes B. No C. Do not utilize information on County Website
Public	e Participation/Involvement
	Do you think the County offers enough volunteer opportunities for members of the community?  A. Yes  B. No
	C. Not familiar with County volunteer opportunities
2.	Do you utilize the volunteer opportunities information listed on the County's website at <a href="https://www.kendallcountyil.gov/departments/administration-services/volunteer-opportunities">https://www.kendallcountyil.gov/departments/administration-services/volunteer-opportunities</a> ?  A. Yes B. No
3.	Do you find the volunteer opportunities information listed on the County's website helpful?  A. Yes
	B. No C. Not familiar with County volunteer opportunities
	C. Not familiar with County volunteer opportunities

- 4. What volunteer opportunities would you be interested in in participating in in the future? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
  - A. River clean-up
  - B. Electronic recycling
  - C. Household waste (fuel, oil, paint, etc.) recycling

### **Illicit Discharge Detection & Elimination**

- 1. If an illicit discharge is identified by a Township staff member or reported to the Township office, do you work with the County to get it removed?
  - A. Yes
  - B. No
  - C. Have not identified illicit discharge.
- 2. Do you feel the County is doing a sufficient job in identifying, tracking, and removing illicit discharges and non-stormwater discharges that are significant polluters within the County?
  - A. Yes
  - B. No
  - C. There have not been illicit discharges identified within my Township.
- 3. What can the County do to better identify and track illicit discharges?
  - A. Perform more visual inspections at outfalls throughout the County.
  - B. Once an illicit discharge is identified perform more grab samples downstream of the location.
  - C. Both of the above.
  - D. None of the above.
  - E. Other:

### **Construction and Post-Construction Runoff Control**

- 1. Do you feel that the County does an adequate job inspecting soil erosion and sediment control on construction sites within your township?
  - A. Yes
  - B. No
  - C. There have not been construction projects within my Township during the past year.

2.	What can the County do to better monitor soil erosion and sediment control issues on construction sites?
Pollut	ion Prevention/Good Housekeeping
1.	Do you have a clear understanding of "Good Housekeeping" under the NPDES
	regulation?
	A. Yes
	B. No
2.	Do you feel you have adequate resources for training of your staff members to keep them
	informed on stormwater pollution prevention practices?  C. Yes
	D. No
	D. NO
3.	Do you feel the County is taking necessary measures to reduce flooding throughout the
	County?
	A. Yes
	B. No
Genera	al comments or questions regarding Stormwater Management and/or NPDES
require	ements:
Towns	ship:
TOWIIS	лир
Name	of Person Completing Survey (Optional):

1126 Simons Rd Oswego, IL 60543

### General

5,056 people like this

5,217 people follow this

3,367 people checked in here

Local Business

### Hours

Always open

### **Business details**

Price range · \$\$\$

### Additional contact info

bearcavelake@gmail.com

### More info

About

We are a family farm that is just perfect for relaxing and making memories. Contact us for a visit.

### Additional information

Bear Cave Lake is a rustic lodge that sits on 9 acres in Oswego. There is a 1 acre lake with stunning views. We have a barn that is perfect for outside events. The property is available for rent weddings, corporate events, birthdays, or just for a quick get away. **See less** 

### facebook



Hi! Please let us know how we can help.

:

**Photos** About Home

More ▼ Events See more of Bear Cave Lake on Facebook

Log In

o

### facebook

- We are a family farm that is just perfect for relaxing and making memories. Contact us for a visit.
- lake with stunning views. We have a barn Bear Cave Lake is a rustic lodge that sits on 9 acres in Oswego. There is a 1 acre that is perfect for outsid... See more
- 5,056 people like this
- 5,217 people follow this
- 3,367 people checked in here
- Price range · \$\$\$
- bearcavelake@gmail.com
- Always open
- Local Business

sadly can no longer take new requests to use the barn. We are sad, but make BCL just for our family. As much as we love sharing our property many of you know, our beloved BCL is kind of a one man show and it spring, so after much thought and consideration we have decided to occasions, it's time for us to focus on our family. Going forward we with you and have enjoyed being a part of your very special family has been a bear to keep up with (pun intended 😜 ) this winter and we know this is the right decision. We hope that you all can understand.

We are so thankful for all our your love and support 💜

Share

Comment

Like

Most relevant

Danielle Winski Holman

wonderful memories bring you comfort. Prayers & hugs! Dawn & Andy, we so understand. May your Mom's

So many great memories! Thank you for s... See more You guys are the most selfless, kind & wonderful people! Thank you for opening up BCL to our family & friends...

3w Edited

View 37 more comments

Dhotoe

# See more of Bear Cave Lake on Facebook

Log In

ō

### facebook







C & C 83

16 Comments

Share

Most relevant

Videos

Danielle Winski Holman

So sorry to hear, thinking of you all. Prayers & hugs to

Comment

Like

See all



We love these guys! Thanks for being so...

**600** 15

754 views · a year ago

See all

Page transparency

better understand the purpose of a Page. See actions taken by the people who manage and Facebook is showing information to help you

Unfortunately we have not been able to respond to messages or texts 1/24/22. Please keep us in your thoughts and prayers, and if you wish Attention Bear Cave Lake friends and family... it is with great sadness Those of you who know him know his mom meant the world to him and for that we are truly sorry. We hope to be able to be back work that we have to let you know that Andy's mom has passed away. and our family. We are devastated and heartbroken 顺 to book, please be patient w... See more you & your family. View 7 more comments **Bear Cave Lake** January 5 · 🚱 19w

66 Comments 1 Share € 0 201

Like

Comment

Share

Mant valuent

See more of Bear Cave Lake on Facebook

Log In

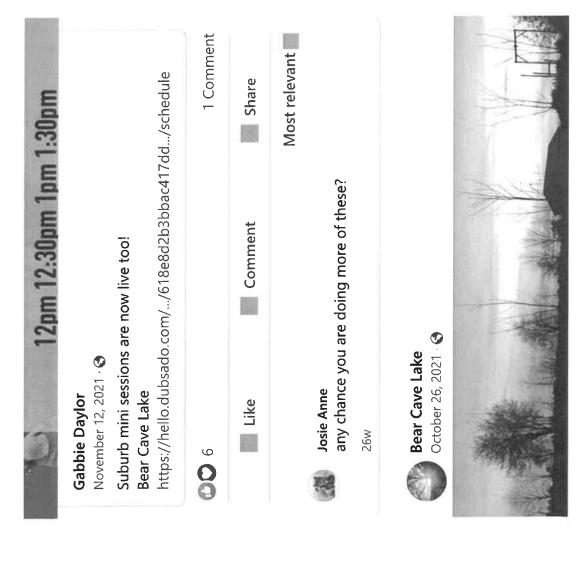
ō



# See more of Bear Cave Lake on Facebook

Log In

o



# See more of Bear Cave Lake on Facebook

Log In

or

# Now it's easier to send Bear Cave Send message 14 Like Comment

### Christina Michelle Photography presents...

Looking for Santa pictures?? Look no further © Please contact Christina directly to book your spot.

Bear Cave Lake October 23, 2021 · 🚱



### Santa sit down Sessions

Come sit with Santa and tell Santa what you want for Christmas! Mall style Sit and go Santa lap sessions.

Includes 1 digital image, high resolution Turn around time 3-5 business days

Must Reserve spot.

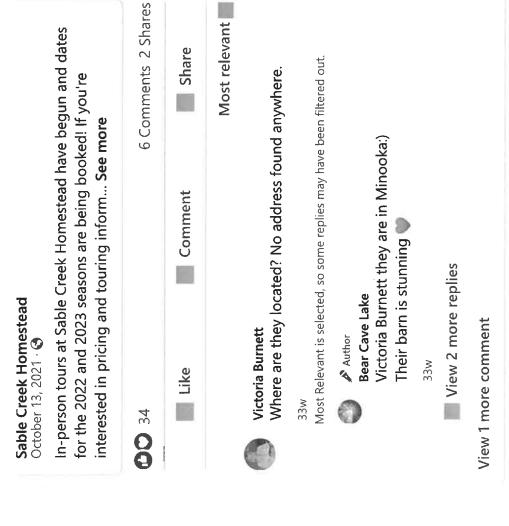
Moccago ma or amail ma to hook

# See more of Bear Cave Lake on Facebook

Log In

Create new account

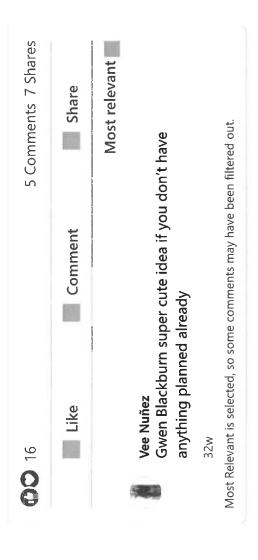
o



# See more of Bear Cave Lake on Facebook

Log In

or





### October 13, 2021 · 🚱 **Bear Cave Lake**

working so hard to make this a reality!!! Make sure to check out their We are SO excited for our friends Jillian & Jamie !!! They have been 🌑 aged



# See more of Bear Cave Lake on Facebook

Log In

Create new account

ō

From: Brian Holdiman
To: Matt Asselmeier

Cc: Scott Koeppel; Scott Gengler

Subject: FW: [External]Regarding Property of Gerald Gapa 19 N. Cherry Drive Oswego IL 60543

**Date:** Wednesday, June 1, 2022 7:29:21 AM

Attachments: SZoningcopi22060106470.pdf

### Matt,

Attached you will find a Warning of Violation Notice dated 1/25/22 for Junk and Debris at 19 North Cherry Drive along with a few photos of the property. The owner of the property requested an extension as he and his wife are elderly and in poor health. I granted the extension until 3/21/22.

To provide some history the owners suffered a fire and a fire repair permit was issued 11/3/2020. The container in the front yard was used for storage of personal possessions during the fire repair. The container has not been removed and can be considered to be junk and debris or a structure which would require a building permit and moving it to a location which would meet setback requirements. The County Health Department and Sheriff's Office have offered assistance to the owner without response. The neighbors emails are below for review.

I am requesting this be added to the next PBZ Committee agenda for discussion and a recommendation if I should move forward with a citation.

Respectfully,

### **Brian Holdiman**

Code Official - The County of Kendall - Planning, Building & Zoning -111 West Fox Street room 203 Yorkville IL 60560 Office: (630) 553-4134 Cell: (630) 774-1161 Fax: (630) 553-4179

From: Brian Holdiman

**Sent:** Thursday, May 5, 2022 5:58 AM

**To:** 'robert patula'

**Cc:** Scott Koeppel <skoeppel@kendallcountyil.gov>; Matt Asselmeier

<masselmeier@kendallcountyil.gov>; Pam Herber <pherber@kendallcountyil.gov>; 'Rob Delong'

<rdelong@oswegotownship.com>

Subject: RE: [External]Regarding Property of Gerald Gapa 19 N. Cherry Drive Oswego IL 60543

Robert,

The building permit for the fire repair at 19 N Cherry is currently open. The owner has requested an extension to his deadline for compliance. This request will be taken to the Kendall County Planning Building and Zoning Committee. I will inform you of the date, time and location when the meeting agenda is approved. In regards to tall grass and weeds Oswego Township Ordinance Enforcement is the Authority having Jurisdiction. Kendall County does not have a property maintenance code therefore the deterioration of the home and structures is not something we can address. Any questions please let me know.

### **Brian Holdiman**

Code Official - The County of Kendall - Planning, Building & Zoning -111 West Fox Street room 203 Yorkville IL 60560 Office: (630) 553-4134 Cell: (630) 774-1161 Fax: (630) 553-4179

From: robert patula

**Sent:** Monday, April 4, 2022 6:48 PM

**To:** Brian Holdiman < <u>BHoldiman@co.kendall.il.us</u>>; Pam Herber < <u>pherber@co.kendall.il.us</u>> **Subject:** [External]Regarding Property of Gerald Gapa 19 N. Cherry Drive Oswego IL 60543

**CAUTION** - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

April 4, 2022

Brian and Pam,

As per my conversation with Pam this morning, I was advised to put my concerns in writing via email to: Brian Holdiman, Code Official for Kendall County.

Back on December 20,2021 I spoke to Pam to advise her of concerns with the property of Gerald Gapa @ 19 N. Cherry Drive in Oswego. I let Pam know that as of July 2020 (almost two years ago) there was a fire at the Gapa residence and shortly thereafter a Rail Container was delivered to the front yard of the residence. The container has now been on the property for over a year and a half. I was advised by Pam that it takes 30 days as someone from the county would take a look at the property and that correspondence to be sent out by Kendall County to the Gapa residence.

My husband Bob called in late January 2022 and also spoke to Pam and he was advised the same information about the 30 days and since it was the holiday season to allow more time for action. Bob also told Pam that whoever came to view the property at 19 N. Cherry Drive had our permission to come on to our property at 9 N. Cherry to view several other code violations on the Gapa property.

As of today, Pam advised once again that Brian told her to call and let me know that it takes 30 days and then it goes to the Court?

How many more 30 days do we need to give Kendall County to take action.

We are now going on four months with no action with regards to the concerns at the property of 19 N. Cherry Drive, Oswego.

We await your response.

Kindly,





### PLANNING, BUILDING & ZONING DEPARTMENT

111 WEST FOX STREET - ROOM 203 YORKVILLE, ILLINOIS 60560-1498 630/553-4141 • FAX 630/553-4179

January 25, 2022

Gerald & Leiann Gapa

RE: JUNK & DEBRIS

### WARNING OF VIOLATION

An inspection of your property at 19 N. Cherry Drive, Oswego, IL. and a violation of Unincorporated Kendall County Ordinance(s) was confirmed:

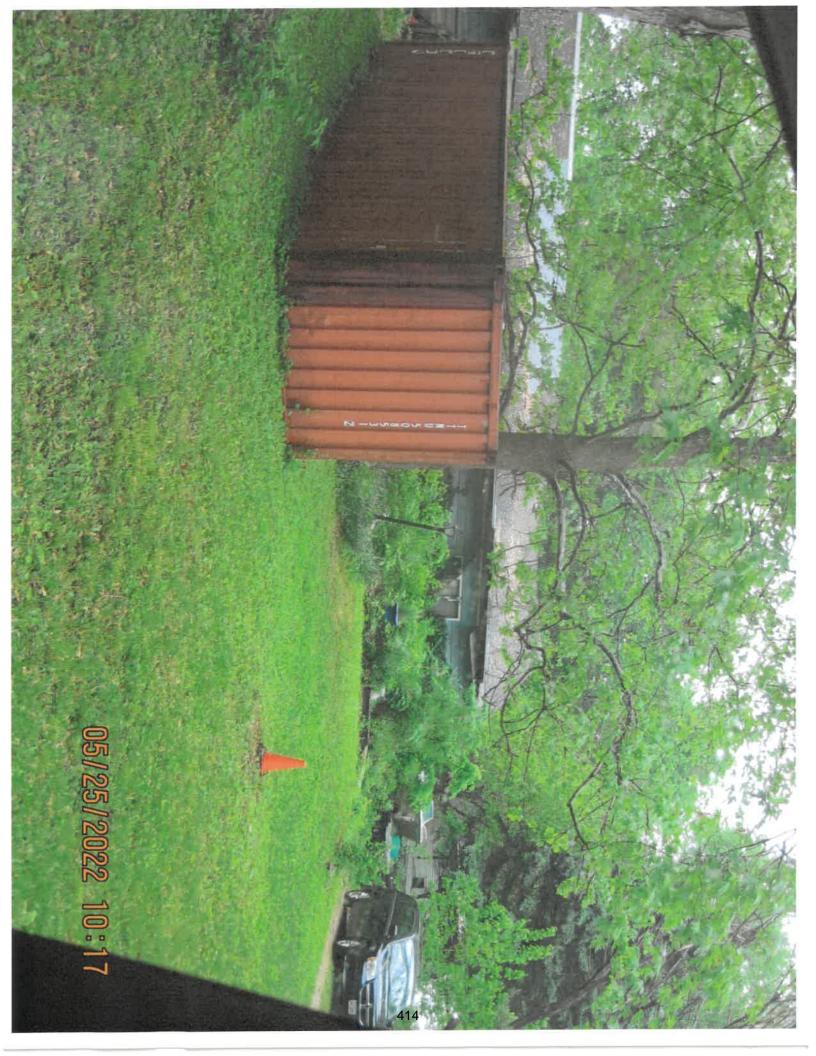
### **KENDALL COUNTY ORDINANCE # 19-12**

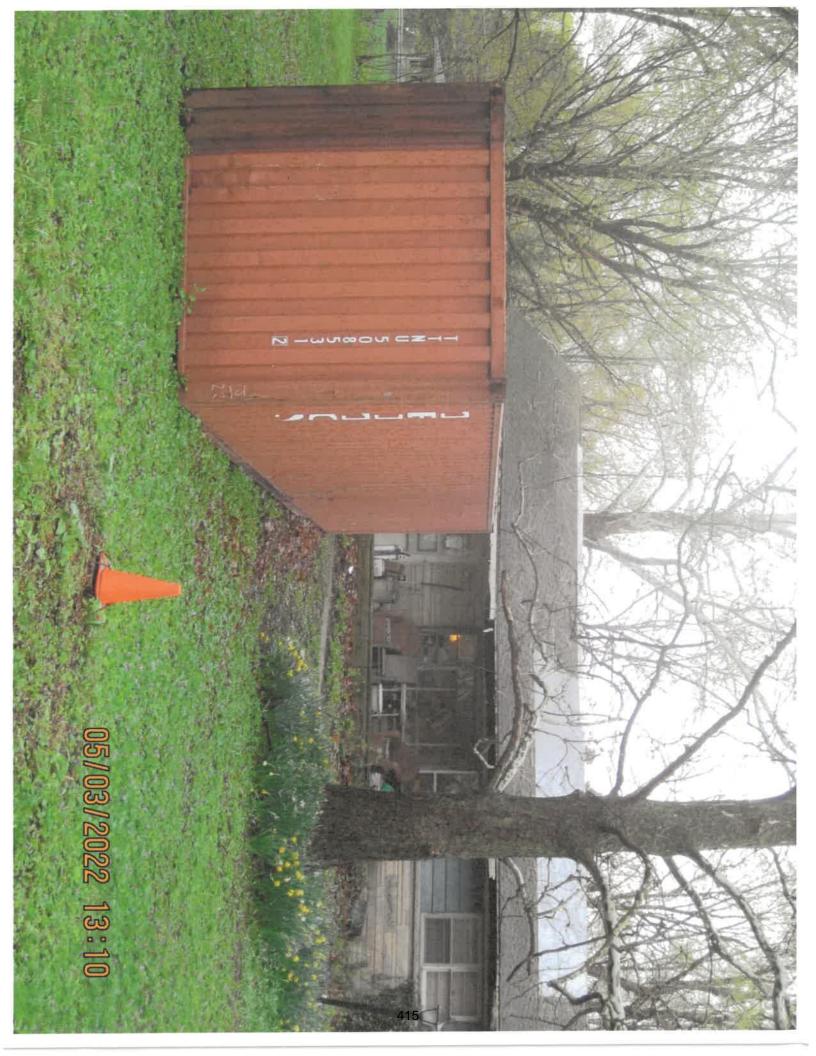
**JUNK & DEBRIS** 

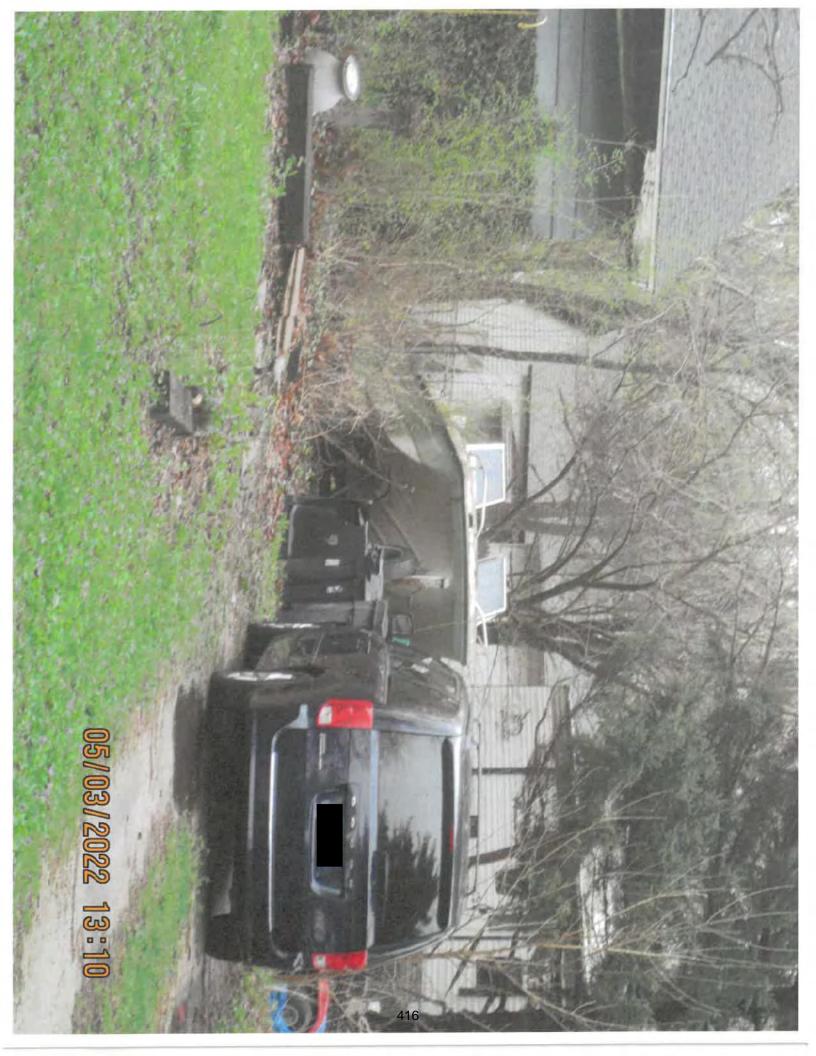
Please abate this violation by (30 days from date of letter) or a written citation may be served with a required date for your appearance in Kendall County Circuit Court to assess fines.

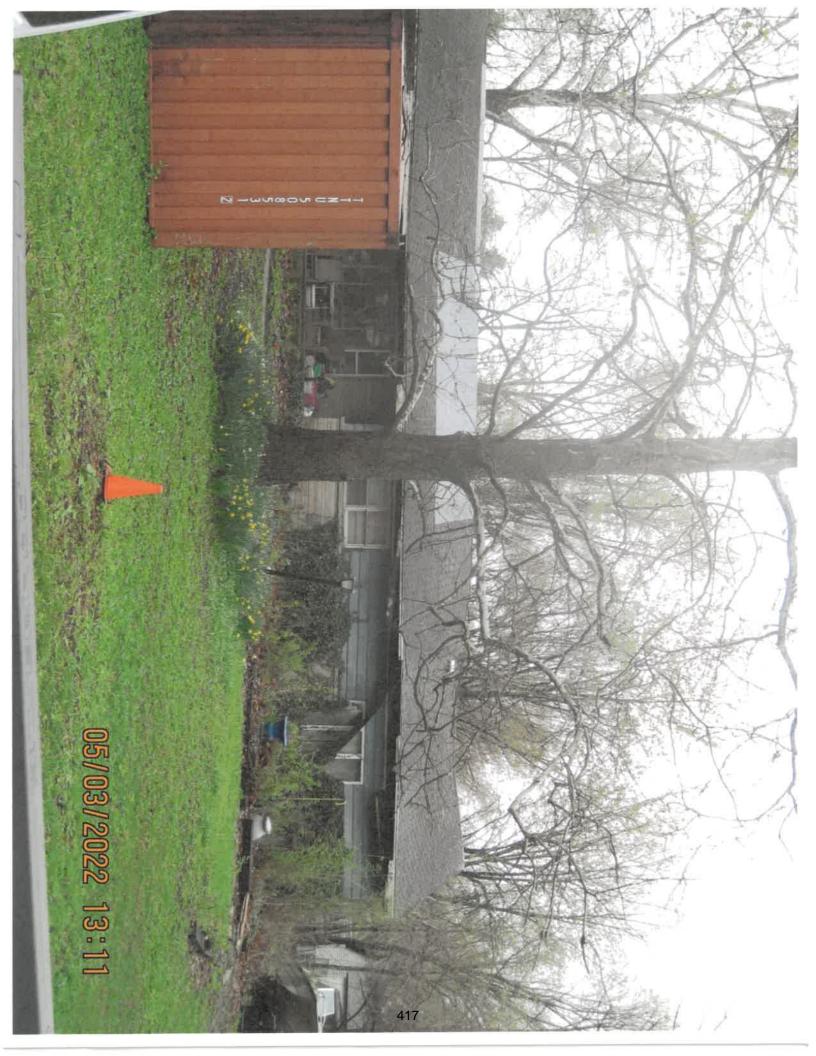
Please EMAIL all questions to:

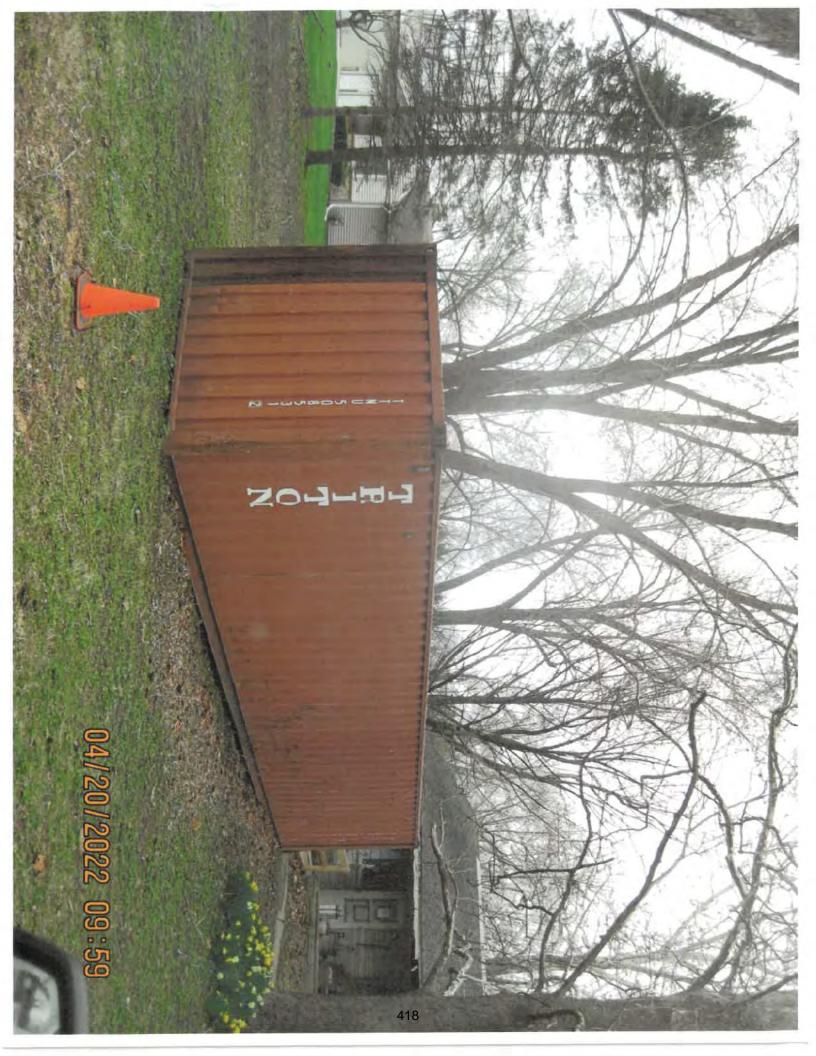
Brian Holdiman Kendall County Code Official BHoldiman@co.kendall.il.us

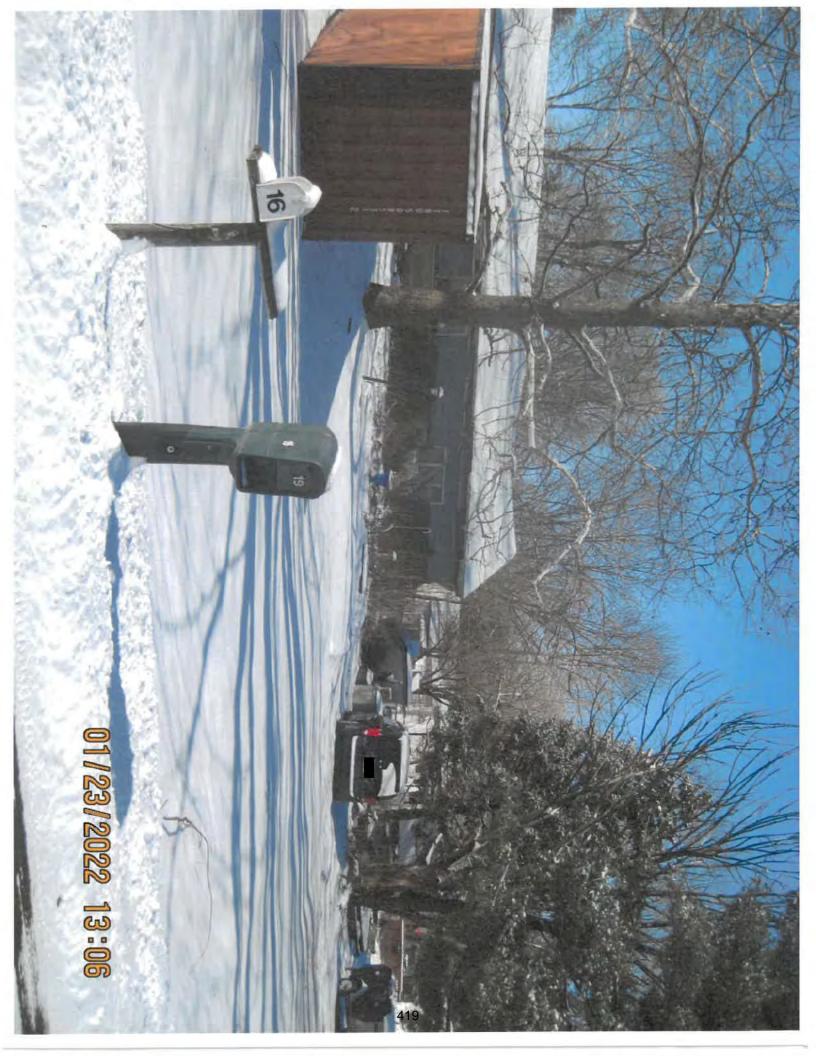


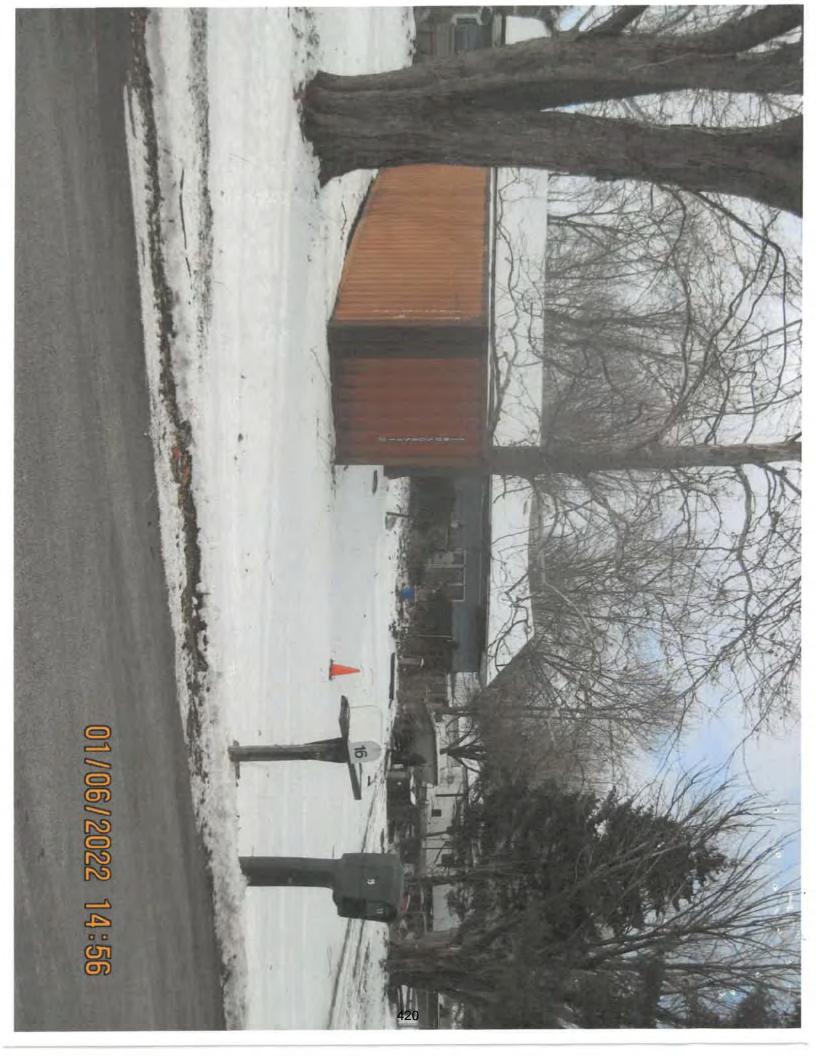














March 21, 2022

Matt Asselmeier, Senior Planner Kendall County 111 West Fox Street Yorkville, IL 60560-1498

### RE: Scope and Budget for LRMP Update - 3 Townships per Year

### Dear Matt:

Good talking with you last week about updating the Kendall County Land Resource Management Plan (LRMP). The following scope, budget and timeline should be helpful in planning for this major update. In the scope below I have made some assumptions, all of which will obviously impact the final cost. Assumptions include:

- Working from the existing plan rather than starting from scratch. This includes the County providing Teska with updated GIS files where available.
- Creating a project web site to assist in gaining community input throughout the County.
   The web site would host surveys, provide contact information, contain draft materials, and generally provide an opportunity for the public to participate throughout the planning effort.
- Dividing the County up into 3 sections for detailed planning efforts, each with 3 townships. We could do this either in and east/west or north/south fashion. In the past we focused more on north/south groupings, but I would like to consider more of an east/middle/west grouping (Oswego, Na-Au-Say, Seward as the east group and so on). This would relate to the Counties primary business corridors, with Ridge to the east, Route 47 in the middle, and Eldamain to the west. We have assumed that we would do 3 townships per year, and conduct the overall LRMP update over 3 years.
- Consolidating demographics and trends. Rather than as they are now in each subarea (3 township section), have one section on demographics up-front that can be used throughout the plan. It is our understanding that County staff has already begun this process, and it is not included in our scope.
- Utilizing a committee to work though the details of the plan this could be the old Ad Hoc committee, or some other group formed to guide the planning effort. The full Regional Planning Commission (RPC) should also be heavily involved throughout the effort, but I think a smaller working group will be helpful in keeping things on track while allowing the RPC to handle their normal case load.

• Efforts to keep the County Board, through the Planning, Building and Zoning Committee, updated throughout the process

### **Project Scope**

### 1. Kick-off Meeting

This meeting with the Regional Planning Commission will review the existing LRMP structure, overall project timeline and approach, and existing county-wide conditions (development trends, demographics, etc.).

### 2. Community Engagement

This task will focus on obtaining input from County residents and businesses through creation of an interactive web site, surveys, and development of materials for in-person meetings. It will also involve the use of social media (Facebook, Twitter, etc.) to maximize input from all areas of the County. Regarding budget, this task line only includes creation of the initial project web site. All other engagement efforts are included within the township clusters and overall plan adoption (Tasks 4-7 below)

3. Review and Update Countywide Policy Framework, Goals & Objectives, Policies
Sections 1 through 5 of the Existing LRMP focus on countywide policies, goals, and
objectives. This task will review those existing plan components, working closely with
both the Steering Committee and the RPC to refine, focus and clarify the Counties
overall vision for future growth and development.

### 4. Township Cluster 1 Plan

This effort will develop a detailed Future Land Use and Transportation plan for 3 of the Counties Townships following this approach:

- Where We Are A closer look at existing development patterns, trends, and existing plans with the 3 townships.
- <u>Vision</u> Development of an overall vision for future development. This vision will largely be driven by a workshop held in one of the three clustered townships and refined through work with the Steering Committee.
- <u>Plan</u> Development of a detailed future land use and transportation plan for the three townships. This plan will be reviewed at a workshop held within one of the subarea townships and refined with the Steering Committee and RPC.
- Engagement This will include an interactive project web site, with distinct tabs for each cluster, on-line surveys and polls, and on-line mapping tool, one workshop in each township, and steering committee (Ad-Hoc), RPC, PBZ, and County Board meetings as noted in the timeline.

### 5. Township Cluster 2 Plan

Same processes as in Task 4 above, for the middle three townships.

### 6. Township Cluster 3 Plan

Same processes as in Task 4 above, for the three remaining townships.

### 7. Overall Plan Refinement and Adoption

This task will involve pulling all the pieces of the plan together into a complete LRMP, including an executive summary and a section on implementation. This task will also take the draft plan through a process of review, public hearing, revision, and ultimately approval by the County Board.

### Timeline and Budget

We have assumed completing one set of 3 townships per year, plus some initial work on the overall plan in year 1 and work to wrap it into a complete plan with summary in year 3. The table below provides a cost summary per year, with an overall cost of \$150,315. As I am sure you will notice, this total is about \$25,000 less than our earlier estimate. This assumes that County staff will assist with demographics, some GIS work like existing land use, and coordinate meeting locations. We have also assumed less time to review the overall LRMP goals and objectives and inclusion of a reduced contingency into each task. The timeline, and draft budget, are included in the attached spreadsheet.

	Year 1	Year 2	Year 3	Total
Tasks 1-4	\$ 53,665			
Task 5		\$ 40,025		
Task 6-7			\$ 56,625	
Total				\$ 150,315

There are obviously a lot of variables and options available to update the LRMP, and I would be happy to discuss these in more detail with you. Hopefully, this information will be helpful in budgeting and planning for the effort. Feel free to give me a call or shoot me an e-mail anytime.

Sincerely,



Mike Hoffman, AICP, PLA Vice President

### KENDALL COUNTY LRMP UPDATE TIMELINE

						-	MONTH										
TASK	1	2	3	4	2	9	7	8	6	10	11	12	32	33	34	32	36
Kick-off Meeting with RPC - Review LRMP structure, updated Countywide demographics		RPC															
2. Engagement (web site, survey, meeting materials)																	
3. Review and Update Countywide Policy Framework, Goals & Objectives,																	
Policies					RPC	PBZ											
4. Township Cluster 1 Plan										Public	County						
			RPC	RPC		RPC			H	Hearing	Board						
5. Township Cluster 2 Plan					Repeat	Repeat Cluster 1 approach for Cluster 2 in Year 2	proach for	Cluster 2 in	Year 2								
6. Township Cluster 3 Plan					Repeat	Repeat Cluster 1 approach for Cluster 3 in Year 3	proach for	Cluster 3 in	Year 3								
7. Overall Plan Refinement and Adoption														RPC	Public Hearing	PBZ	County Board

Notes: Each Township cluster would contain 3 townships - either divided east/west or north/south

RPC Meeting - County Building
RPC Meeting - In Cluster
Committee Meeting
PBZ Committee Meeting
County Board Meeting



### **DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204 Yorkville, IL • 60560 (630) 553-4141 Fax (630) 553-4179

**MEMORANDUM** 

To: Planning, Building and Zoning Committee

From: Matthew H. Asselmeier, AICP, CFM, Senior Planner

Date: June 7, 2022

Re: Proposed Intergovernmental Agreement Between Kendall County and the Village of

Millbrook

The agreement between the Village of Millbrook and Kendall County allowing the County to provide Planning, Building and Zoning Department related services expires in August.

No changes from the previous contract are proposed.

During the current agreement period, the County conducted zero (0) investigations in Millbrook and issued three (3) permits with nine (9) inspections.

The Village of Millbrook will be reviewing the proposal in June.

A copy of the proposed Intergovernmental Agreement is attached.

Thanks,

MHA

**ENC.: Proposed IGA** 

### INTERGOVERNMENTAL AGREEMENT BETWEEN THE VILLAGE OF MILLBROOK AND THE COUNTY OF KENDALL

THIS AGREEMENT, made this ____ day of August, 2022 by and between the VILLAGE OF MILLBROOK, a body corporate and politic, and the COUNTY OF KENDALL, a body corporate and politic, WITNESSETH:

WHEREAS, the Village of Millbrook was incorporated by act of the voters on November 5th, 2002, and

WHEREAS, Article VII, Section 10 of the Illinois Constitution and the Intergovernmental Cooperation Act (5 ILCS 220/1 *et seq.*) permits units of local government to obtain or share services and to jointly contract, combine or transfer any power, privilege, function or authority among themselves, and

WHEREAS, the Local Land Resource Management Planning Act (50 ILCS 805/6) provides that a municipality and a County may enter into intergovernmental agreements for joint or compatible planning, local land resource management administration and zoning ordinance enforcement, and

WHEREAS, the Village of Millbrook adopted a Comprehensive Plan on August 22, 2009, and

WHEREAS, all the property located within the described boundaries of the Village of Millbrook have been heretofore subject to the building and zoning codes of the County of Kendall, and to the County Flood Plain, Soil Erosion and Stormwater Management Ordinances, and

WHEREAS, the parties desire to continue that relationship,

NOW, THEREFORE, it is hereby agreed as follows:

- 1) The above recitals are incorporated by reference as if fully set forth herein.
- 2) That the Village of Millbrook has by ordinance duly adopted the Zoning Ordinance of the County of Kendall, the Building Code of the County of Kendall, the Comprehensive Plan of the County of Kendall, the Subdivision Control Ordinance of the County of Kendall, the Countywide Stormwater Management Ordinances as its own and further agrees that any subsequent text amendments to said ordinances and plans as may be adopted by Kendall County from time to time shall be adopted and incorporated by the Village of Millbrook as its own.

- 3) That for the consideration of \$1 the receipt and sufficiency of which is hereby acknowledged, the County of Kendall agrees to continue administering the County Ordinances for the Village of Millbrook as described in Paragraph (2) above and in accordance with the procedures attached hereto as Exhibit A and incorporated herein by reference all of which have been duly adopted by the Village of Millbrook, and apply them to all properties located within the municipal boundaries of the Village of Millbrook.
- 4) In addition to the consideration set forth in Paragraph 3 above, the Village of Millbrook shall be responsible for all costs associated with the enforcement of the Zoning Ordinance of the County of Kendall, the Subdivision Control Ordinance of the County of Kendall, and the Countywide Stormwater Management Ordinance for cases within the boundaries of the Village of Millbrook. At the written request of the Village of Millbrook, Kendall County shall provide an estimated cost for investigating individual alleged violations. Upon approval of the cost estimate by the Village of Millbrook, Kendall County will conduct the necessary investigation and bill the Village of Millbrook accordingly. The Village of Millbrook shall reimburse the County of Kendall for any actual costs incurred acting on behalf of the Village of Millbrook as provided herein.
- 5) The Village of Millbrook shall defend with counsel of the County's own choosing, indemnify and hold harmless the County of Kendall, its past, present, and future board members, elected officials, insurers, employees and agents from and against any and all claims, liabilities, obligations, losses, penalties, fines, damages, and expenses and costs relating thereto including, but not limited to, attorney's fees and other legal expenses which the County, its board members, elected officials, insurers, employees and/or agents may sustain, incur or be required to pay arising in any manner out of the County's performance or alleged failure to perform its obligations pursuant to the Agreement.
- 6) That the Village of Millbrook shall secure, pay for and maintain throughout the period during which services are provided under this Agreement, general liability insurance with minimum limits of coverage equal to or greater than those limits maintained by the Village on the date of the execution of this agreement attached hereto as Ex. B and incorporated herein by reference. The Village's general liability coverage shall be primary coverage in circumstances of alleged or proved errors or negligence by the County or the County's employees, arising out of the County's performance or alleged failure to perform its obligations pursuant to this Agreement. The Village's coverage shall name the County of Kendall as an additional insured, with its members, representatives, officers, agents and employees. A certificate of insurance evidencing the required coverage and the appropriate additional insurer's endorsement shall be furnished to the County upon execution of this Agreement. Such insurance shall be modifiable or cancelable only upon written notice by registered mail, mailed to the County at least ninety (90) days in advance of such modification or cancellation. The Village shall furnish a copy of its insurance policies for examination by the County at any time upon demand of the County.
- 7) Kendall County shall maintain auto liability coverage for all County owned vehicles used by the County to perform its obligations pursuant to this Agreement. However, the Village of

Millbrook shall pay the full cost of the deductible incurred by the County for any auto insurance claims arising out of or related to the County's performance of its obligations pursuant to this Agreement.

- 8) That this Agreement shall be for a term of one (1) year, commencing on the date of execution hereof, subject to annual renewal by the parties at least 30 days before the anniversary date each year, said renewal to be in writing.
- 9) This Agreement may be terminated by either party upon 30 days' written notice to the other party.
- 10) This Agreement represents the entire Agreement between the parties and there are no other promises or conditions in any other Agreement whether oral or written. This Agreement supersedes any prior written or oral agreements between the parties and may not be modified except in writing acknowledged by both parties.
- 11) This Agreement may be executed in counterparts (including facsimile signatures), each of which shall be deemed to be an original and both of which shall constitute one and the same Agreement.
- 12) The County of Kendall and the Village of Millbrook each hereby warrant and represent that their respective signatures set forth below have been and are on the date of this Agreement duly authorized by all necessary and appropriate corporate and/or governmental action to execute this Agreement.
- 13) This Agreement shall be construed in accordance with the law and Constitution of the State of Illinois and if any provision is invalid for any reason such invalidations shall not render invalid other provisions which can be given effect without the invalid provision.
- 14) Any notice from either party to the other party hereto shall be in writing and shall be deemed served if mailed by prepaid certified mail addressed as follows:

Kendall County Administrator 111 West Fox Street Yorkville, Illinois 60560

Village of Millbrook PO Box 51 Millbrook, Illinois 60536

VILLAGE OF MILLBROOK	COUNTY OF KENDALL
BY:	BY:
Village President- Jackie Kowalski	Chairman of Kendall County Board
ATTEST:	ATTEST:
Village Clerk	Kendall County Clerk

### Exhibit A

### Procedure for Processing Zoning & Subdivision Cases For The Village Of Millbrook Under County/Municipal Intergovernmental Agreement

Under the terms of the intergovernmental Agreements executed between the Village of Millbrook and Kendall County, the County PBZ staff as well as the Kendall County ZPAC, Concept Review Committee, Regional Planning Commission, and Zoning Board of Appeals, will serve as the municipal staff and the municipal recommending bodies in providing the Village Board with recommendations on applications for zoning map amendments, Special Uses, subdivision plat approvals and zoning variance requests involving properties within the corporate boundaries or proposed for annexation into the corporate boundaries of the municipality. In each instance, the Village Board of the municipality shall be responsible for acting on the recommendations supplied and adopting any related ordinances approving such requests. The following outline shall be followed when filing and processing such applications:

### 1. Pre-Application Meeting:

Prior to the submission of any applications, the petitioner shall schedule a joint "pre-application" meeting with County staff and representatives of the affected municipality to review the proposed request and provide preliminary feedback as well as guidance regarding the steps involved in the processing of the application.

### 2. Filing of an Application:

- a.) Using the applicable application forms and handouts provided by the County, the petitioner will submit the requisite number of copies of application and supporting documents and plans along with all required fees to the Kendall County Planning Building and Zoning Department (PBZ).
- b.) Simultaneous to that filing, the applicant shall forward an original copy of the application forms along with a copy of all related plans and supporting documents to the Village Clerk of the affected municipality for creation of the Village's Official file on the matter.

### 3. Review and Processing of Zoning Map Amendments and Special Uses:

a.) Zoning Map Amendments and Special Uses, shall first be forwarded to the Zoning and Platting Advisory Committee (ZPAC) for review and recommendation. In addition to the regular attendees of the County's ZPAC Committee, representatives from

### **Exhibit A**

- the affected municipality will be invited to participate as sitting members of the committee.
- b.) The PBZ staff will prepare a preliminary staff report and schedule the matter for review at the next available ZPAC meeting.
- c.) The County will prepare and post the required agendas and will forward a copy of the agenda and staff report to the affected Village Clerk for filing of the report and posting of the agenda in an approved municipal location.
- d.) After review by ZPAC, their recommendation shall be forwarded to the next available meeting of the Kendall County Regional Plan Commission (KCRPC) for conduct of a public meeting, review and recommendation.
- e.) All notices required per the Kendall County Zoning Ordinance and Plan Commission By-Laws shall be mailed and published prior to the meeting by the petitioner. Copies of the notices shall be supplied by the petitioner to both the county and affected municipality for inclusion in the related case files.
- f.) The County shall forward copies of the agenda, staff report and minutes of the ZPAC meeting to KCRPC as well as the Clerk of the affected municipality along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application for inclusion the Official Village file.
- g.) The County shall post copies of the agenda as required per County policies.
- h.) The Village Clerk shall also be responsible for posting of the agenda in an approved municipal location.
- i.) Following review and recommendation by the Regional Plan Commission, petitions involving a zoning map amendment shall be forwarded to the next available meeting of the Kendall County Zoning Board of Appeals (ZBA) for the conduct of the formal Public Hearing on the zoning matter as well as a review of the findings of fact and development of a recommendation to be submitted to the Village Board for their consideration and action.
- j.) All notices required per State Statute, the County Zoning Ordinance and ZBA By-Laws shall be mailed and published prior

### Exhibit A

- to the meeting by the petitioner. Copies of the notices shall be supplied by the petitioner to both the county and affected municipality for inclusion in the related case files.
- k.) The County shall be responsible for posting of the hearing sign on the affected property at least 15 days prior to the hearing.
- 1.) The County shall forward copies of the agenda, staff report and copy of the minutes of the KCRPC meeting to the ZBA as well as to the Clerk of affected municipality for filing along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application.
- m.) The County shall post copies of the ZBA agenda as required per County policies. The Village clerk shall also be responsible for posting of the agenda in an approved municipal location.
- n.) If the application involves a request for a Special Use, the petition shall be forwarded to the next available meeting of the Kendall County Zoning Board of Appeals (ZBA) for the conduct of the formal Public Hearing on the Special Use as well as a review of the findings of fact and development of a recommendation to be submitted to the Village Board for their consideration and action.
- o.) All required notices required per State Statute and the County Zoning Ordinance shall be mailed and posted prior to the meeting by the petitioner. Copies of the notices shall be supplied by the petitioner to both the county and affected municipality for inclusion in the related case files.
- p.) The County shall be responsible for posting of the hearing sign on the affected property at least 15 days prior to the hearing.
- q.) The County shall forward copies of the agenda, staff report and minutes of the KCRPC meeting to the ZBA as well as the Clerk of affected municipality for filing along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application.
- r.) The County shall post copies of the agenda as required per County policies.
- s.) The Village clerk shall also be responsible for posting of the agenda in an approved municipal location.

- t.) Following review and recommendation by the ZBA, PBZ staff will forward to the appropriate Village Board a report summarizing all of the recommendations and actions taken by each of the review and recommending bodies along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application.
- u.) Along with the report, PBZ staff will prepare a draft ordinance approving the requested map amendment or Special Use for action by the Village Board. The summary report and draft ordinance in addition to a copy of the minutes of the ZBA meeting shall be forwarded to the appropriate Village Clerk for filing and scheduling of the matter for action by the Village Board at the next available Board meeting.
- v.) In the event a related annexation hearing is required, the Clerk shall coordinate with the applicant to insure proper notice has been supplied and shall be responsible for the preparation and posting of Board's Agenda.
- w.) Following action by the Village Board, the Village Clerk shall submit certified copies of any ordinances adopted by the Board in approving the request, to the County Clerk for recording.
- x.) The Village Clerk shall also submit a copy of the ordinance(s) to the PBZ office for inclusion in the related case file.
- 4. Review and Processing of Preliminary and Final Subdivision Plats:
  - a.) Preliminary and/or Final Plats, shall first be forwarded to the Zoning and Platting Advisory Committee (ZPAC) for review and recommendation. In addition to the regular attendees of the County's ZPAC Committee, representatives from the affected municipality will be invited to participate as sitting members of the committee.
  - b.) The PBZ staff will prepare a preliminary staff report and schedule the matter for review at the next available ZPAC meeting.
  - c.) The County will prepare and post the required agendas and will forward a copy of the agenda and staff report to the ZPAC members and the affected Village Clerk for filing of the report and posting of the agenda in an approved municipal location.

- d.) After review by ZPAC, their recommendation shall be forwarded to the next available meeting of the Kendall County Regional Plan Commission (KCRPC) for conduct of a public meeting, review and recommendation.
- e.) All required notices required per the Kendall County Zoning Ordinance and Plan Commission By-Laws shall be mailed and published prior to the meeting by the petitioner.
- f.) The County shall forward copies of the agenda, staff report and a copy of the minutes of the ZPAC meeting to the KCRPC as well as the Clerk of affected municipality along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application for inclusion the Official Village file.
- g.) The County shall post copies of the agenda as required per County policies.
- h.) The Village clerk shall also be responsible for posting of the agenda in an approved municipal location.
- i.) Following review and recommendation by the KCRPC, PBZ staff will prepare a report to the appropriate Village Board summarizing all of the recommendations and actions taken by each of the review and recommending bodies.
- j.) In addition to the summary the report, PBZ staff will prepare a draft ordinance approving the requested Preliminary and/or Final Plat for action by the Village Board. The summary report and draft ordinance shall NOT be forwarded to the appropriate Village Clerk for scheduling of the matter for action by the Village Board until such time as formal approval of the related preliminary and/or final engineering plans and or other supporting documents or agreements has been granted.
- k.) Once these approvals are received, PBZ staff will forward the summary report and draft ordinance in addition to a copy of the minutes of the KCRPC meeting to the appropriate Village Clerk along with copies of any revised plans, documents or supporting information submitted by the petitioner in support of the application.

- 1.) The Village Clerk shall then schedule the matter for action by the Village Board and prepare the related agendas for posting.
- m.) Following action by the Village Board, the Village Clerk shall submit certified copies of any ordinances adopted by the Board in approving the request, to the County Clerk for recording.
- n.) The Village Clerk shall also submit a copy of the ordinance(s) to the PBZ office for inclusion in the related case file.
- 5. Review and Processing of Zoning Variance:
  - a.) Zoning Variances shall be forwarded to the next available meeting of the Kendall County Zoning Board of Appeals (ZBA) for the conduct of the formal Public Hearing on the matter as well as a review of the findings of fact and development of a recommendation to be submitted to the Village Board for their consideration and action.
  - b.) All notices required per State Statute, the County Zoning Ordinance and ZBA By-Laws shall be mailed and published prior to the meeting by the petitioner. Copies of the notices shall be supplied by the petitioner to both the county and affected municipality for inclusion in the related case files.
  - c.) The County shall be responsible for posting of the hearing sign on the affected property at least 15 days prior to the hearing.
  - d.) The County shall prepare and forward copies of the agenda and staff report to the ZBA as well as the Clerk of affected municipality for filing along with copies of any related plans, documents or supporting information submitted to the county by the petitioner in support of the application.
  - e.) The County shall post copies of the agenda as required per County policies.
  - f.) The Village clerk shall also be responsible for posting of the agenda in an approved municipal location.
  - g.) Following review and recommendation by the ZBA, the PBZ staff will forward a report summarizing the findings and recommendations made by ZBA along with copies of any related plans, documents or supporting information submitted to the

county by the petitioner in support of the application. Along with the report, PBZ staff will prepare a draft ordinance approving the variance for action by the Village Board.

- h.) The summary report, draft ordinance and minutes of the ZBA meeting shall be forwarded to the appropriate Village Clerk for filing and scheduling of the matter for action by the Village Board at the next available Board meeting.
- i.) The Village Clerk shall be responsible for the preparation and posting of Board's Agenda.
- j.) Following action by the Village Board, the Village Clerk shall submit certified copies of any ordinances adopted by the Board in approving the request, to the County Clerk for recording.
- k.) The Village Clerk shall also submit a copy of the ordinance(s) to the PBZ office for inclusion in the related case file.



## **DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 204 Yorkville, IL • 60560 (630) 553-4141 Fax (630) 553-4179

#### **MEMORANDUM**

To: Planning, Building and Zoning Committee

From: Matthew H. Asselmeier, AICP, CFM, Senior Planner

Date: June 6, 2022

Re: Plumbing Contract

The Planning, Building and Zoning Department has been informed that Randy Erickson was no longer available to do plumbing inspections.

Brian Holdiman researched possible replacements and recommended Anthony Mayer of Mayer Construction, LLC, D.B.A. Mayer Plumbing, LLC.

The proposed contract is attached.

Pete Ratos from the United City of Yorkville is presently doing plumbing inspections for the County under the terms of the existing intergovernmental agreement between the County and Yorkville.

If you have any questions regarding this memo, please let me know.

MHA

Enc.: Proposed Contract

# PLUMBING INSPECTIONS AGREEMENT BETWEEN KENDALL COUNTY, ILLINOIS AND MAYER CONSTRUCTION L.L.C., D.B.A. MAYER PLUMBING LLC

THIS Agreement is entered into the day and year set forth below between *KENDALL COUNTY, ILLINOIS* (hereinafter "Kendall County") and MAYER CONSTRUCTION L.L.C. d.b.a MAYER PLUMBING LLC, with its principal offices at 39 E Pleasantview Dr., Oswego, IL 60543 (hereinafter referred to as "Inspector"). In consideration of the mutual covenants hereinafter set forth, and other good and valuable consideration, the parties hereto agree as follows:

1. Scope of Services: Inspector will provide Kendall County with necessary inspection services to ensure the adherence to minimum regulations governing the design, installation and construction of plumbing systems to protect the public health against the hazards of inadequate, defective or unsanitary plumbing installations. In doing so, Inspector shall perform inspections of properties in conformance with the, Kendall County Building Code and Illinois State Plumbing Code (77 III. Adm. Code 890), as may be amended from time to time. Such inspections shall include, but not be limited to, rough plumbing inspections, under floor plumbing inspections, final plumbing inspections before occupancy, and necessary re-inspections along with any other inspections that are requested by Kendall County to ensure compliance with, and enforcement of, the Kendall County Building Code and Illinois State Plumbing Code.

Inspector shall not subcontract the services provided under this agreement to a third-party inspector or plumber without the prior written consent of Kendall County. It is also understood and agreed that Anthony Mayer shall be the only plumber authorized to perform inspections on behalf of MAYER CONSTRUCTION L.L.C. d.b.a MAYER PLUMBING LLC pursuant to this contract, and that Inspector shall not employ another plumber or plumbing inspector to fulfill the duties prescribed herein. Anthony Mayer shall maintain an Illinois Plumber's license in good standing at all times in which this Agreement is in effect and shall upon demand provide a copy to Kendall County at no additional cost.

- 2. Inspections must be completed using the proper Kendall County reports/forms. Prior to the commencement of any requested inspection, Kendall County will prepare and provide all necessary inspection reports/forms for use by the inspector. Following an inspection, the original, completed inspection reports/forms shall be returned to the Kendall County Planning, Building & Zoning Department within twenty-four (24) hours after completion of the inspection.
- 3. Fees & Reimbursements for the above described work shall be a \$150.00 flat fee per inspection or re-inspection performed, regardless of size, type or time necessary to complete inspection. Inspector shall issue monthly invoices to Kendall County for his services, unless no inspections were performed in a given month.
- 4. Payment shall be made in accordance with the Illinois Local Government Prompt Payment Act, as amended (50 ILCS 505/1 *et seq.*).

- 5. Kendall County shall provide notice at least one (1) business day prior to when there is a foreseeable need for an inspection to take place. However, should an emergency inspection be necessary as determined by a Kendall County Code Official, Inspector agrees to provide such service upon notification.
- 6. Inspector's availability is to be 7:00 AM 5:00 PM, Monday Friday, except on County Holidays. Inspector must also be available in the case of emergency as determined by the Kendall County Code Official.
- 7. Inspector must make himself available to testify in any court proceedings within Kendall County in respect to plumbing inspections and enforcement of the Kendall County Building Code and Illinois State Plumbing Code.
- 8. Inspector must provide a current telephone number at all times to the Kendall County Administration office, and be available at that number to communicate with Planning, Building & Zoning Department staff.
- 9. Should inspector not be available to perform inspections at any time, Inspector is to provide the County with notice of his unavailability at least forty-eight (48) hours in advance.
- 10. Inspector shall maintain an Illinois Plumber's license in good standing at all times in which this Agreement is in effect and shall upon demand provide a copy to Kendall County at no additional cost. As of the time of signing this Agreement, Inspector is certifying that its plumbing license is current and in good standing.
- 11. Inspector shall not perform inspections for work previously performed by or on behalf of Inspector, Anthony Mayer, or any current apprentice of Inspector or Anthony Mayer ("Inspection Conflict"). Should Inspector be called upon to perform an inspection that would result in an Inspection Conflict, Inspector shall promptly notify Kendall County of such Inspection Conflict and Kendall County shall make alternative arrangements for the performance of the inspection. Inspector shall not be entitled to any fee or reimbursement for its inability to perform an inspection due to an Inspection Conflict.
- 12. Inspections performed under this Agreement shall be completed using Inspector's own equipment, tools and vehicles, and Kendall County shall not be responsible for reimbursing the Inspector for mileage or any other expenses incurred.
- 13. Inspector is an Independent Inspector and is not an employee of, partner of, agent of, or in a joint venture with Kendall County. Inspector understands and agrees that Inspector is solely responsible for paying all wages, benefits and any other compensation due and owing to Inspector's officers, employees, and agents for the performance of services set forth in the Agreement. Inspector further understands and agrees that Inspector is solely responsible for making all required payroll deductions and other tax and wage withholdings pursuant to state and federal law for Inspector's officers, employees and/or agents who perform services as set forth in the

Agreement. Inspector also acknowledges its obligation to obtain appropriate insurance coverage for the benefit of Inspector, Inspector's officers, employees and agents and agrees that Kendall County is not responsible for providing any insurance coverage for the benefit of Inspector, Inspector's officers, employees and agents. Inspector hereby indemnifies and agrees to waive any right to recover alleged damages, penalties, interest, fees (including attorneys' fees), and/or costs from Kendall County, and their past, present and future board members, officials, employees, insurers, and agents for any alleged injuries that Inspector, its officers, employees and/or agents may sustain while performing services under the Agreement. Inspector shall exercise general and overall control of its officers and employees.

- 14. This Agreement shall be construed in accordance with the law and Constitution of the State of Illinois and if any provision is invalid for any reason such invalidations shall not render invalid other provisions which can be given effect without the invalid provision. The parties agree that the venue for any legal proceedings between them shall be the Circuit Court of Kendall County, Illinois, Twenty-Third Judicial Circuit, State of Illinois.
- 15. Inspector agrees to indemnify and hold harmless, and defend with counsel of Kendall County's own choosing, Kendall County, including their past, present, and future board members, elected officials, insurers, employees, and agents from and against claims, liabilities, obligations, losses, penalties, fines, damages, and expenses and costs relating thereto, including but not limited to reasonable attorneys' fees and other legal expenses, which Kendall County, their board members, elected officials, insurers, employees, and/or agents may sustain, incur or be required to pay arising out of Inspector's performance or failure to adequately perform its obligations pursuant to this Agreement.

Nothing contained herein shall be construed as prohibiting Kendall County, its past, present, and future board members, elected officials, directors, officers, agents and employees, from defending through the selection and use of their own agents, attorneys and experts, any claims, suits, demands, proceedings and actions brought against them. Pursuant to Illinois law, 55 ILCS 5/3-9005, any attorney representing the County, under this paragraph, shall be approved by the Kendall County State's Attorney and shall be appointed a Special Assistant State's Attorney. Kendall County's participation in its defense shall not remove Inspector's duty to indemnify, defend, and hold Kendall County harmless, as set forth above.

Kendall County does not waive its defenses or immunities under the Local Government and Governmental Employees Tort Immunity Act (745 ILCS 10/1 et seq.) by reason of indemnification or insurance. Indemnification shall survive the termination of this contract.

16. Inspector will obtain and continue in force, during the term of this Agreement, all insurance as set forth below. Each insurance policy shall not be cancelled or changed

without thirty (30) days prior written notice, given by the Inspector to Kendall County at the address set forth below for receipt of notice. Before starting work hereunder, Inspector shall deposit with Kendall County certificates evidencing the insurance it is to provide hereunder:

Coverage shall be at least as broad as:

- 1. Commercial General Liability (CGL): Insurance Services Office Form CG 00 01 covering CGL on an "occurrence" basis, including products and completed operations, property damage, bodily injury and personal & advertising injury with limits no less than \$2,000,000 per occurrence. If a general aggregate limit applies, either the general aggregate limit shall apply separately to this project/location (ISO CG 25 03 or 25 04) or the general aggregate limit shall be twice the required occurrence limit.
- 2. Automobile Liability: ISO Form Number CA 00 01 covering any auto (Code 1), or if Inspector has no owned autos, hired, (Code 8) and non-owned autos (Code 9), with limit no less than \$1,000,000 per accident for bodily injury and property damage.
- 3. Workers' Compensation: as required by the State of California, with Statutory Limits, and Employer's Liability Insurance with limit of no less than \$1,000,000 per accident for bodily injury or disease.

If the Inspector maintains broader coverage and/or higher limits than the minimums shown above, Kendall County requires and shall be entitled to the broader coverage and/or the higher limits maintained by the Inspector. Any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to Kendall County.

#### Other Insurance Provisions

The insurance policies are to contain, or be endorsed to contain, the following provisions:

#### Additional Insured Status

Kendall County, its officers, officials, employees, and volunteers are to be covered as additional insureds on the CGL policy with respect to liability arising out of work or operations performed by or on behalf of the Inspector including materials, parts, or equipment furnished in connection with such work or operations. General liability coverage can be provided in the form of an endorsement to the Inspector's insurance (at least as broad as ISO Form CG 20 10 11 85 or if not available, through the addition of both CG 20 10, CG 20 26, CG 20 33, or CG 20 38; and CG 20 37 if a later edition is used).

#### **Primary Coverage**

For any claims related to this contract, the Inspector's insurance coverage shall be primary coverage at least as broad as ISO CG 20 01 04 13 as respects Kendall County, its officers, officials, employees, and volunteers. Any insurance or self-insurance maintained by Kendall County, its officers, officials, employees, or

volunteers shall be excess of the Inspector's insurance and shall not contribute with it.

#### Notice of Cancellation

Each insurance policy required above shall provide that coverage shall not be canceled, except with notice to Kendall County.

#### Waiver of Subrogation

Inspector hereby grants to Kendall County a waiver of any right to subrogation which any insurer of said Inspector may acquire against Kendall County by virtue of the payment of any loss under such insurance. Inspector agrees to obtain any endorsement that may be necessary to affect this waiver of subrogation, but this provision applies regardless of whether or not Kendall County has received a waiver of subrogation endorsement from the insurer.

#### **Self-Insured Retentions**

Self-insured retentions must be declared to and approved by Kendall County. Kendall County may require the Inspector to purchase coverage with a lower retention or provide proof of ability to pay losses and related investigations, claim administration, and defense expenses within the retention. The policy language shall provide, or be endorsed to provide, that the self-insured retention may be satisfied by either the named insured or Kendall County.

#### Acceptability of Insurers

Insurance is to be placed with insurers authorized to conduct business in the state with a current A.M. Best's rating of no less than A:VII, unless otherwise acceptable to Kendall County.

#### Verification of Coverage

Inspector shall furnish Kendall County with original Certificates of Insurance including all required amendatory endorsements (or copies of the applicable policy language effecting coverage required by this clause) and a copy of the Declarations and Endorsement Page of the CGL policy listing all policy endorsements to Kendall County before work begins. However, failure to obtain the required documents prior to the work beginning shall not waive the Inspector's obligation to provide them. Kendall County reserves the right to require complete, certified copies of all required insurance policies, including endorsements required by these specifications, at any time.

#### **Special Risks or Circumstances**

Kendall County reserves the right to modify these requirements, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.

Kendall County shall be named as Additional Insured on a Primary and Non-Contributory basis with respect to the general liability, business auto liability and excess liability insurance, as well as a waiver of subrogation with respect to the general liability and workers' compensation in favor of Kendall County. Also, Kendall County shall be designated as the certificate holder.

- 17. Neither party will be responsible to the other for damage, loss, injury, or interruption of work if the damage, loss, injury, or interruption of work is caused solely by conditions that are beyond the reasonable control of the parties, and without the intentional misconduct or negligence, of that party (hereinafter referred to as a "force majeure event"). To the extent not within the control of either party, such force majeure events may include: acts of God, acts of any governmental authorities, fire, explosions or other casualties, vandalism, riots or war, and unavailability of parts, materials, or supplies. A party claiming a force majeure event ("the claiming party") shall promptly notify the other party in writing, describing the nature and estimated duration of the claiming party's inability to perform due to the force majeure event. The cause of such inability to perform will be remedied by the claiming party with all reasonable dispatch.
- 18. Upon the occurrence of any material default or breach of Agreement by either party, the injured party (i.e., the non-breaching and/or non-defaulting party) may, at its option, upon notice to the other in writing, declare this Agreement to be in default, and at any time thereafter, so long as the other party shall not have remedied or caused to be remedied all outstanding defaults and/or breaches within a reasonable period of time as determined by Kendall County, the injured party may elect, in accordance with law and any other Agreement between the parties to: (a) Proceed by appropriate court action at law or in equity to enforce performance by the defaulting party of its obligations under this Agreement and/or to recover damages for breach thereof; and/or (b) By notice in writing to the defaulting party, cancel or terminate this Agreement. In any action with respect to this Agreement, the parties are free to pursue any legal remedies at law or in equity. If Kendall County is required to take legal action to enforce performance of any of the terms, provisions, covenants and conditions of this Agreement, and by reason thereof, Kendall County is required to use the services of an attorney, then Kendall County shall be entitled to reasonable attorneys' fees, court costs, and expenses incurred by Kendall County pertaining thereto and in enforcement of any remedy, including costs and fees relating to any appeal.
- 19. Inspector agrees to comply with any and all applicable federal, state or local laws and regulatory requirements and to secure such licenses as may be required for its employees to conduct business in the state, municipality, county, or location. Such obligation includes, but is not limited to, environmental laws, civil rights laws, prevailing wage and labor laws.
- 20. Inspector certifies that Inspector, its parent companies, subsidiaries, and affiliates are not barred from entering into this Agreement as a result of a violation of either 720 ILCS 5/33E-3 or 5/33E-4 (bid rigging or bid rotating) or as a result of a violation of 820 ILCS 130/1 et seq. (the Illinois Prevailing Wage Act).
- 21. Inspector, its officers, employees, and agents agree not to commit unlawful discrimination and agree to comply with all applicable provisions of the Illinois Human Rights Act, Title VII of the Civil Rights Act of 1964, as amended, the Americans with Disabilities Act, the Age Discrimination in Employment Act, Section 504 of the Federal Rehabilitation Act, and all applicable rules and regulations.

- 22. Nothing contained in this Agreement, nor any act of Kendall County or Inspector pursuant to this Agreement, shall be deemed or construed by any of the parties hereto or by third persons, to create any relationship of third party beneficiary, principal, agent, limited or general partnership, joint venture, or any association or relationship involving Kendall County and the Inspector.
- 23. When performing inspections under the terms of this Agreement, the Inspector intends that any injuries to its respective employees shall be covered and handled exclusively by Inspector's own worker's compensation insurance in place at the time of such injury. It is further agreed that all employee benefits, wage and disability payments, pension and worker's compensation claims, damage to or destruction of equipment, facilities, clothing and related medical expenses of the inspector, which may result from its activities under this Agreement, shall be the responsibility of inspector.
- 24. This Agreement represents the entire understanding between the parties hereto, and any modification or amendment hereof must be made in writing, and executed by both parties hereto. Furthermore, this Agreement supersedes any prior written or oral agreements between the parties, and there are no other promises or conditions in any other agreement whether oral or written.
- 25. Neither party shall assign, sublet, sell, or transfer its interest in this Agreement without the prior written consent of the other.
- 26. Any notice required or permitted to be given pursuant to this Agreement shall be duly given if sent by fax, certified mail, or courier service and received, in the case of notice to Kendall County, Kendall County Planning Building & Zoning Department, Attention: Code Enforcement Official, 111 West Fox Road, Room 203, Yorkville, Illinois, 60560, fax: (630) 553-4179 with copy sent to: County Administrator, 111 West Fox Road, Room 316, Yorkville, Illinois, 60560 and to Kendall County State's Attorney, 807 John Street, Yorkville, Illinois, 60560, fax (630) 553-4204. And, in the case of Inspector, to: Anthony Mayer, d.b.a. Mayer Plumbing LLC, 4 Hickory Lane Oswego, IL 60543.
- 27. This Agreement may be executed in counterparts (including facsimile signatures), each of which shall be deemed to be an original and both of which shall constitute one and the same Agreement.
- 28. Kendall County and Inspector each hereby warrant and represent that their respective signatures set forth below have been and are on the date of this Agreement duly authorized by all necessary and appropriate corporate and/or governmental action to execute this Agreement.
- 29. In the event Kendall County is in default under the Agreement because funds are not appropriated for a fiscal period subsequent to the one in which the Agreement was entered into which are sufficient to satisfy all or part of the County's obligations

under this Agreement during said fiscal period, the County agrees to provide prompt written notice of said occurrence to Inspector. In the event of a default due to non-appropriation of funds, Kendall County has the right to terminate the Agreement upon providing thirty (30) days written notice to Inspector. No additional payments, penalties and/or early termination charges shall be required upon termination of the Agreement.

- 30. This Agreement shall be in full force and effect for a period of two (2) years from the date of the last signature below, however it may be renewed for subsequent one (1) year terms upon written agreement signed by both parties.
- 31. This Agreement may be terminated by Kendall County upon written notice delivered to Inspector at least thirty (30) calendar days prior to the effective date of termination. No additional payments, penalties and/or early termination charges shall be required upon termination of the Agreement.

**IN WITNESS WHEREOF**, the parties hereto caused this Agreement to be executed as set forth below.

MAYER CONSRUCTION L.L.C. D.B.A. MAYER PLUMBING LLC	KENDALL COUNTY, ILLINOIS
BY:	BY:
NAME: ANTHONY MAYER	NAME: SCOTT R. GRYDER
TITLE:	TITLE: KENDALL COUNTY BOARD CHAIRMAN
DATE:	DATE:

# PUBLIC NOTICE INVITATION TO BID

Kendall County Planning, Building and Zoning Department is seeking sealed bids for an historic structure survey in unincorporated Kendall and Bristol Townships as per specifications. Visit <a href="https://www.kendallcountyil.gov/departments/administration-services/rfp-rfq-call-for-bids">https://www.kendallcountyil.gov/departments/administration-services/rfp-rfq-call-for-bids</a> for bid information.

# Kendall County, Illinois Planning, Building and Zoning Department

Historic Structure Survey in Unincorporated Bristol and Kendall Townships

Invitation to Bid (ITB) Number: PBZ202201

June 14, 2022

# **SECTION 1: INTRODUCTION**

#### A. <u>DEFINITIONS:</u>

"Addenda" or "Addendum" means written or graphic instruments issued by Kendall County, Illinois ("County"), which by additions, deletions, clarifications or corrections, modify or interpret the Bidding Documents. All Addenda shall be incorporated herein by reference as part of the ITB.

"Bid" means a complete and properly executed proposal to complete the Project for the sums stipulated therein, submitted in accordance with the Bidding Documents.

"Bidder" means a person or entity who submits a Bid and who meets the requirements set forth in the Bidding Documents.

"Bidding Documents" means this ITB, Grant Agreement between the State of Illinois and Kendall County (Kendall County Structure Survey – 22-005 CLG), and all Addenda, which shall hereinafter be referred to collectively as "Bidding Documents".

"County" means Kendall County, Illinois and its elected officials, departments, employees, and agents.

"ITB" means this Invitation to Bid and any documents specifically incorporated by reference or attached hereto.

"Project" means the Scope of Work described in the Bidding Documents.

"Project site" means the location where the Project will be performed, which is the following location: unincorporated Bristol and Kendall Townships.

"Procurement Ordinance" refers to the Kendall County Procurement Ordinance, as amended from time to time.

#### B. SCOPE OF WORK:

The County, by and through its Planning, Building and Zoning Department, seeks a qualified business to provide the following scope of services in accordance with the requirements set forth in this ITB and the Bidding Documents:

The Kendall County Historic Preservation Commission seeks professional services to conduct an intensive-level historical and architectural survey of Kendall and Bristol Townships, two of the nine townships within Kendall County. Kendall Township has an area of 39-1/4 square miles and includes all of Township 36 North Range 7 East as well as a small portion of Township 37 North Range 7 East lying south of the Fox River. Bristol Township, just to the north, has an area of 28-1/2 square miles and includes the portion of Township 37 North Range 7 East lying north of the Fox River.

The intent of the survey project is to document resources in the historically rural portions of each township. Based on a preliminary review of historic aerial photography, the number of properties to be documented is estimated as follows:

160 properties in Kendall Township 80 properties in Bristol Township

For rural properties of this type, each site will typically contain multiple structures, such as a farmhouse, garage, barn, and other outbuildings. Therefore, the number of structures to be documented is likely in the range of 700 to 1,200 structures covering approximately 240 properties.

The proposed survey project will include the following tasks:

Historical research will be completed to develop a summary context history for Kendall County overall as well as for Kendall and Bristol Townships. It is anticipated that local volunteers will participate in the historical research.

A database and GIS mapping will be developed for the survey, to allow for compilation and presentation of the survey data. The survey scope will be developed based upon a review of 1939 aerial photography and historic atlas and plat maps, to identify potential sites where structures more than fifty years old may exist.

A field survey will be conducted. Each existing structure on a potentially historic site will be documented with notes and photographs from the public right-of-way, or with the owner's permission at close range. The existing materials, condition, architectural style, and obvious alterations or additions will be noted

Based on the field survey and historical research, the integrity and significance of each site will be assessed.

The context history and survey results will be compiled in a summary report, accompanied by reference maps as well as survey forms and photographs for each property documented.

The survey results will be presented at a public meeting of the Kendall County Historic Preservation Commission.

The successful bidder must have experience conducting similar structure surveys in rural settings in Illinois and must provide evidence to that effect.

The cost to complete the project shall not exceed \$42,500.

The Project is being financed, in part, with funds from the Certified Local Government grant program ("Grant"). By submitting an ITB, the Bidder must agree to comply with all applicable requirements set forth in the terms and conditions of the Grant.

Minority business firms are encouraged to submit Bids on the Project, and Bidders are encouraged to utilize minority businesses as sub-contractors, suppliers, and for services related to the Project. Businesses located in Kendall County, Illinois are also encouraged to submit Bids for the Project.

Also, the Bidding Documents incorporate by reference herein all requirements of the Kendall County Procurement Ordinance, as amended. In the event of any conflict between the Bidding Documents and the Kendall County Procurement Ordinance, the terms of the Kendall County Procurement Ordinance, as amended, shall control.

#### C. BASIS OF BIDS:

Bids will be a single contract, stipulated sum.

The specifications described herein are what the County determined are necessary to meet the performance requirements of the County. Bidders desiring to bid on items which deviate from these specifications, but which they believe to be equivalent, are requested to submit alternate bids. However, alternate bids must be clearly marked as such and deviations from the specifications must be plainly noted. The bid must be accompanied by complete technical specifications of the alternate item(s) offered. Equivalency shall be at the County's sole discretion, and it shall be the County's sole decision whether to accept an alternate or not.

Unit prices shall be shown for each item as applicable and for which vendor is offering a bid. The unit price shall include all packing, crating, freight/shipping charges, and cost of unloading supplies at destination unless otherwise expressly stated in the Bid proposal. Unit prices shall not include any local, state or federal taxes. In case of a mistake in the extension of price, the unit price shall govern. All prices must be typewritten or written in ink adjacent thereto and initialed in ink by the party signing the Bid.

#### D. IMPORTANT DATES:

The following table identifies several important dates and deadlines related to the Bidding Documents:

DATE	EVENT
	Bidding Documents available at Planning, Building and Zoning
	Department, 111 W. Fox Street, Room 203, Yorkville, IL 60560 or
	https://www.kendallcountyil.gov/departments/administration-
	services/rfp-rfq-call-for-bids
	Questions due to Matthew Asselmeier at
	masselmeier@kendallcountyil.gov no later than 12:00 p.m. (CDT) on
	June 22, 2022
	Questions answered via addendum and posted on the County's website
	no later than 12:00 p.m. (CDT) on June 22, 2022 at
	https://www.kendallcountyil.gov/departments/administration-
	services/rfp-rfq-call-for-bids
	Sealed Bids due no later than 4:00 p.m. (CDT) on June 29, 2022.
	Bid opening conducted at 11:00 a.m. (CDT) on June 30, 2022, at 111 W.
	Fox Street, Yorkville, Illinois 60560.

#### E. EXAMINATION AND PROCUREMENT OF DOCUMENTS:

Bidding documents can be viewed during normal business hours (8:00 a.m. until 4:30 p.m. CDT, excluding holidays) at 111 W. Fox Street, Room 203, Yorkville, IL 60560 or https://www.kendallcountyil.gov/departments/administration-services/rfp-rfq-call-for-bids.

#### F. ADDENDUM:

Any and all changes to the Bidding Documents are valid only if they are included by written addendum to all Bidders. Addenda are written instruments issued by the County prior to the date for receipt of Bids, which modify or interpret the Bidding Documents by addition, deletions, clarifications, and/or corrections. All addenda so issued shall become part of the Bidding Documents. Only Scott Koeppel, County Administrator, and Matthew Asselmeier, Senior Planner have the authority to issue an addendum for these Bidding Documents.

No interpretation of the meaning of the plans, specifications, or other Bidding Documents will be made orally. All Addenda will be posted at <a href="https://www.kendallcountyil.gov/departments/administration-services/rfp-rfq-call-for-bids">https://www.kendallcountyil.gov/departments/administration-services/rfp-rfq-call-for-bids</a>.

Each Bidder shall confirm prior to submitting a Bid that all Addenda issued by the County have been received and, by submission of a Bid, such act shall be taken to mean that such Bidder has received all Addenda; is familiar with the terms thereof; and understands and agrees to comply fully with the contents of the Bidding Documents and Addenda. Failure of the Bidder to receive and review any addendum or interpretation issued by the County shall not relieve the Bidder from the obligation under their Bid as submitted. Failure of a Bidder to request an interpretation constitutes a waiver to a later claim that ambiguities or misunderstandings caused a Bidder to submit a Bid improperly.

#### G. **QUESTIONS**

Should a Bidder require any additional information about this ITB or any other Bidding Documents, such questions should be directed in writing to the County. All questions should be sent to:

Kendall County Planning, Building and Zoning Department Attention: Matthew Asselmeier, Senior Planner E-mail address: masselmeier@kendallcountyil.gov

Questions must be received by the County at the above-referenced email address no later than 12:00 p.m. (CDT) on June 22, 2022.

Questions timely received by the County will be answered at the discretion of the County. Any answers provided by the County will be given by means of an addendum published at <a href="https://www.kendallcountyil.gov/departments/administration-services/rfp-rfq-call-for-bids">https://www.kendallcountyil.gov/departments/administration-services/rfp-rfq-call-for-bids</a>.

# **SECTION 2: SUBMITTAL OF BIDS**

#### A. Submittal of Sealed Bid

Bidders are required to submit Bids electronically in .PDF format via email to: masselmeier@kendallcountyil.gov. The subject of a Bidder's email should read "Bid for Historic Structure Survey Question".

All Bids must be received by the above-referenced email address no later than 4:00 p.m. (CDT) on June 29, 2022 (hereinafter referred to as the "Due Date"). Bids received after the Due Date will not be considered.

#### B. <u>Modification or Withdrawal of Bids</u>:

Prior to the date and time designated for receipt of Bids, a Bidder may submit a new Bid to replace a Bid previously submitted, or withdraw its Bid entirely, by sending written notice to the person designated to receive Bids on behalf of the County. Such notice must be received by the County on or before the date and time set for receipt of Bids. The person receiving Bids shall verify that the replaced/withdrawn Bid is removed from the other submitted Bids and not considered. Notice of submission of a replacement Bid or withdrawal of a Bid shall be worded so as not to reveal the amount of the original Bid.

#### C. Opening of Sealed Bids:

The sealed Bids timely received by the County shall be opened and publicly read on **June 30, 2022 at 11:00 a.m. CDT at 111 W. Fox Street, Yorkville, Illinois 60560.** Each sealed Bid received by the County shall be analyzed to ensure that all stipulations have been satisfied by the Bidder. The results shall be recorded and forwarded with all Bidding Documents to the appropriate County official. Bidder attendance is NOT required at the opening of sealed Bids.

# **SECTION 3: INSTRUCTIONS TO BIDDERS**

- **A.** What Information Must Be Included In The Bids: All Bids must comply with the following requirements:
  - 1. The Bidder must complete and include all of the following documents with their Bid:
    - Mandatory Cover Sheet (The Cover Sheet form to complete is attached to the ITB as Exhibit A)
    - Completed Bid Forms (the Bid Forms are attached to the ITB as Exhibit B)
    - Resume or Curriculum Vitae showing prior experience of conducting historic structure surveys in rural, unincorporated locations within the State of Illinois
    - All other requirements included in the Bidding Documents
  - 2. All sealed Bids must be comprehensive and complete for the services requested in the Bidding Documents. All Bids shall provide a straightforward, concise delineation of the Bidder's capabilities to satisfy the requirements of the Bidding Documents and the services requested therein. Emphasis should be on completeness and clarity of content.
  - 3. Any proposed reduction in price or any proposed donation of materials, supplies and/or labor by the Bidder shall be specified in the completed Bid Forms. Any reduction or donation provided by a Bidder to the County shall not relieve Bidder of their obligations to comply with existing local, state of federal laws, including but not limited to the Illinois Prevailing Wage Act (820 ILCS 130/.01 *et seq.*). The County shall only consider any reduction or donation in determining the lowest responsible Bidder to the extent that the reduction or donation effects the stipulated sum Bid by a Bidder.
  - 4. The "Terms and Conditions" set forth in the Bidding Documents will apply to the contract between the County and the successful Bidder. By submitting a Bid, a Bidder agrees to the Terms and Conditions. Any Bid that conflicts with the Terms and Conditions may be deemed an unresponsive Bid.
  - 5. All sealed Bids shall be submitted on forms included in these Bidding Documents unless otherwise specified.
  - 6. All information requested on Bid forms shall be typewritten or written in ink. Where both written words and numerical figures are required, the written words shall apply in the event of a conflict.
  - 7. The County will not be responsible for any expenses incurred by the Bidder in preparing and submitting Bids.
  - 8. The Bidder must sign their Bid in their business or corporation's name and must bear the original longhand signature of a principal legally authorized to sign contracts on behalf of the Bidder. The name of each person signing should be typed or printed below the signature.
  - 9. The individual signing the document for the Bidder shall initial all erasures and/or corrections in their sealed Bid.
  - 10. All variations to the stated specifications must be described in detail (free from ambiguity).

- 11. All Bidders must confirm they are appropriately licensed and authorized to conduct business within the State of Illinois. Bidders shall be prepared to furnish evidence of the foregoing upon request.
- 12. The Bidder acknowledges that all materials submitted with the Bid become the property of the County and, as such, may be available to the public pursuant to applicable law.
- 13. The Bidder is expected to comply with the true intent of this ITB and the Bidding Documents taken as a whole and shall not avail itself of any errors or omission to the detriment of the services or to the County. Should the Bidder suspect any error, omission, or discrepancy in the specifications or instructions, the Bidder shall immediately notify the County in writing, and the County will issue written corrections or clarifications. The Bidder is responsible for the contents of its Bid and for satisfying the requirements set forth in the ITB and Bidding Documents. Bidder will not be allowed to benefit from errors in the document that could have been reasonably discovered by the Bidder in the process of putting the Bid together.

#### **B.** Modification or Interpretation of Bidding Documents:

The Bidder acknowledges that some of the existing conditions shown in the Bidding Documents are presented for information as an approximation and are not a substitute for the Bidder's required field verification of existing conditions relating to the Project. Failure to make the necessary field examinations will not relieve the Bidder from any of the requirements of the Bidding Documents or any contract entered into by the County and the successful Bidder.

The Bidder shall carefully study the Bidding Documents, shall examine the site and local conditions, and shall notify the County of errors, inconsistencies, or ambiguities discovered and request clarification or interpretation pursuant to the procedures set forth in these Bidding Documents.

#### C. Award of Bid:

It is the intent of the County to award the Bid to the lowest responsible bidder who has met all specifications, terms, and conditions of this ITB and all other Bidding Documents. The County reserves the right to issue its award on a per item basis or total low bid overall. The quality of the articles to be supplied, their conformity with specifications, their suitability to the requirements of the County, and delivery and discount terms will be taken into consideration in making the award(s).

Submission of a bid confers no rights on the bidder to selection or to a subsequent contract. This ITB process is for the County's benefit only, and it is intended to provide the County with competitive information to assist in selection of services. All decisions on compliance, evaluation, and responsiveness shall be made solely at the County's discretion. By submitting a Bid, Bidder acknowledges the County's decision is final, binding, and conclusive upon the Bidder for all purposes.

All bids submitted shall be considered firm offers and will be binding for ninety (90) calendar days following the due date for submittal of sealed bids, unless, upon the County's request, the Bidder agrees in writing to an extension.

The failure of a Bidder to promptly supply information requested in the Bidding Documents may result in the Bidder being eliminated from consideration.

The County reserves the right to reject any or all bids, to waive any or all irregularities, to waive or deviate from the procedures or timetable identified in the Bidding Documents, or to supplement, amend, or otherwise modify the Bidding Documents, without notice. The County may seek additional information or clarification from a bidder at any time and failure to respond promptly may be cause for rejection of the bid.

The County reserves the right to disqualify bids, before or after opening, upon evidence of collusion with intent to defraud or other illegal practices upon the part of the Bidder. The Bidder's failure to agree to the Terms and Conditions included in the Bidding Documents or to otherwise meet the requirements of the Bidding Documents may result in the disqualification of the Bidder's bid from further consideration as an unresponsive bid.

### D. <u>Execution of Contract:</u>

The accepted Bid shall be contracted by the County for the total stipulated sum set forth in the accepted Bid. The County will not be responsible for any additional charges above the accepted Bid unless additional services are negotiated and accepted by the County by written addendum to the original contract.

The contents of the Bid submitted by the successful Bidder and the Bidding Documents (including, but not limited to the Terms and Conditions set forth below in this ITB) will become a part of the contract awarded as a result of the Bid process.

#### **E.** Prevailing Wage Notice:

This project calls for the construction of a "public work," within the meaning of the Illinois Prevailing Wage Act, 820 ILCS 130/.01 et seq. ("the Act"). The Act requires contractors and subcontractors to pay laborers, workers and mechanics performing services on public works projects no less than the current "prevailing rate of wages" (hourly cash wages plus amount for fringe benefits) in the county where the work is performed. The Illinois Department of Labor ("Department") publishes the prevailing wage rates on its website at <a href="http://labor.illinois.gov/">http://labor.illinois.gov/</a>. The Department revises the prevailing wage rates and the contractor/subcontractor has an obligation to check the Department's web site for revisions to prevailing wage rates. For information regarding current prevailing wage rates, please refer to the Illinois Department of Labor's website. The successful Bidder will be required to ensure that all of its contractors and subcontractors rendering services under the contract must comply with all requirements of the Act, including but not limited to, all wage requirements and notice and record keeping duties.

# **SECTION 4: TERMS AND CONDITIONS**

The Bidder's failure to agree to the following terms and conditions may result in the disqualification of the Bidder's proposal from further consideration as an unresponsive Bid.

By submitting a Bid, Bidders represent that:

- 1. Bidder has read and understands the Bidding Documents;
- 2. The Bid complies with the Bidding Documents;
- 3. Bidder has visited the Project site; is familiar with local conditions under which the Project is to be performed; and has correlated the Bidder's observations with the requirements of the Bidding Documents and the Bidder's Bid; and
- 4. The Bid is based upon the materials, equipment, and systems required by the Bidding Documents, as may be amended by written addendum, without exception.

By submitting a Bid, Bidders agree to accept and comply with the following Terms and Conditions that shall be incorporated by reference herein to the contract between Kendall County and the successful Bidder:

- 1. These Terms and Conditions, along with the ITB, the Bidding Documents, and the Bidder's Bid, represent the entire understanding between the parties hereto (collectively, the "Agreement"), and any modification or amendment hereof must be made in writing, signed and executed by both parties hereto. Furthermore, this Agreement supersedes any prior written or oral agreements between the parties, and there are no other promises or conditions in any other agreement whether oral or written. In the event of a conflict, the documents shall control in the following order of descending precedence: the Agreement, the Terms and Conditions set forth in the ITB, the remaining portions of the Bidding Documents, and the Bidder's Bid.
- 2. This Agreement shall be effective as of the date of final signature below and shall continue in force and effect until the Project has been fully completed to the satisfaction of the County but no later than the dates specified in the Grant or as terminated by either party pursuant to the terms in the Agreement, whichever occurs first.
- 3. Pursuant to, and as set forth in this Agreement, Bidder will provide the County the following services:

The proposed survey project will include the following tasks:

Historical research will be completed to develop a summary context history for Kendall County overall as well as for Kendall and Bristol Townships. It is anticipated that local volunteers will participate in the historical research.

A database and GIS mapping will be developed for the survey, to allow for compilation and presentation of the survey data. The survey scope will be developed based upon a review of 1939 aerial photography and historic atlas and plat maps, to identify potential sites where structures more than fifty years old may exist.

A field survey will be conducted. Each existing structure on a potentially historic site will be documented with notes and photographs from the public right-of-way, or with the owner's permission at close range. The existing materials, condition, architectural style, and obvious alterations or additions will be noted

Based on the field survey and historical research, the integrity and significance of each site will be assessed.

The context history and survey results will be compiled in a summary report, accompanied by reference maps as well as survey forms and photographs for each property documented.

The survey results will be presented at a public meeting of the Kendall County Historic Preservation Commission.

All reports, maps, and related materials will be turned over to Kendall County upon completion of the project.

(Hereinafter referred to collectively as "the Scope of Work" or "the Project").

4. As consideration for the services to be performed by Bidder pursuant to the terms and conditions set forth in this Agreement, the County agrees to pay Bidder as follows:

A maximum of Forty-Two Thousand, Five Hundred Dollars (\$42,500), subject to the terms and conditions of the Grant.

The County shall not be responsible for any costs in excess of the payment schedule set forth above unless the County agrees to said increase in writing before such expense is incurred. All payments shall be made in accordance with the Illinois Local Government Prompt Payment Act, as amended (50 ILCS 505/1 *et seq.*).

- 5. The County reserves the right to make changes in the Scope of Work (increases and decreases of any kind) and alterations in material and product selections. Bidder, its contractors, and subcontractors and their respective employees and agents shall make no changes in the Scope of Work without issuance of a written change order that is first executed by both the County and the Bidder. The County will not pay for verbal change orders. Bidder must obtain written change orders or, at minimum, email authorization of additional fixed-price change order work from the County *before* proceeding with any additional work or any variations in specified materials. Furthermore, Bidder understands and agrees that any public works change orders that total fifty percent (50%) or more of original contract price must be rebid in same manner as the original contract. *See* 50 ILCS 525/5. Bidder also understands and agrees that any change orders of more than \$10,000 or 30 days (more or less) in completion time, must be pre-approved in writing by the County. *See* 720 ILCS 5/33E-9.
- 6. Bidder is an Independent Contractor and is not an employee of, partner of, agent of, or in a joint venture with the County. Bidder understands and agrees that Bidder is solely responsible for paying all wages, benefits and any other compensation due and owing to Bidder's officers, employees, and agents for the performance of services set forth in the Agreement. Bidder further understands and agrees that Bidder is solely responsible for making all required payroll deductions and other tax and wage withholdings pursuant to state and federal law for Bidder's officers, employees and/or agents who perform services as set forth in the Agreement. Bidder also acknowledges its obligation to obtain appropriate insurance coverage for the benefit of Bidder, Bidder's officers, employees and agents and agrees the County is not responsible for providing any insurance coverage for the benefit of Bidder, Bidder's officers, employees and agents. Bidder hereby indemnifies and agrees to waive any right to recover alleged damages, penalties, interest, fees (including attorneys' fees), and/or costs from the County, its board members, officials, employees, insurers, and agents for any alleged injuries that Bidder, its officers, employees

and/or agents may sustain while performing services under the Agreement. Bidder shall exercise general and overall control of its officers and employees.

- 7. For public safety reasons and to the extent permitted by law, Bidder agrees that no one shall be assigned to perform work at the County's facilities on behalf of Bidder, Bidder's consultants, subcontractors and their respective officers, employees, agents and assigns unless Bidder has completed a criminal background investigation for each individual to be performing work at the site. To the extent permitted by law, in the event that the individual's criminal background investigation reveals that the individual has a conviction record that has not been sealed, expunged or impounded under Section 5.2 of the Criminal Identification Act, Bidder agrees that the individual shall not be assigned to perform work on or at the County's properties and/or facilities absent prior written consent from the County. The County, at any time, for any reason and in the County's sole discretion, may require Bidder, Bidder's contractors, and Bidder's subcontractors to remove any individual from performing any further work under this Agreement. Should the County have a complaint regarding the performance of the services or the behavior of Bidder's officers, employees, contractors, subcontractors, and/or agents performing services under this Agreement, or should the County request a change in the manner in which services are being performed pursuant to this Agreement, the County shall transmit the same to the Bidder's on-site foreman and/or to any other member of Bidder's management, who shall take immediate action and shall promptly resolve the problem to the County's satisfaction. Bidder's failure to take immediate action and/or to resolve the problem to the County's satisfaction shall be considered a material breach of the Agreement.
- 8. Bidder shall indemnify, hold harmless and defend with counsel of the County's own choosing, the County, its past, present and future elected officials, department heads, employees, insurers, and agents (hereinafter collectively referred to as "Releasees") from and against all liability, claims, suits, causes of action, demands, proceedings, set-offs, liens, attachments, debts, expenses, judgments, or other liabilities including costs, reasonable fees and expense of defense, arising from any loss, damage, injury, death, or loss or damage to property, of whatsoever kind or nature as well as for any breach of any covenant in the Agreement or ancillary documents and any breach by Bidder of any representations or warranties made within the contract documents (collectively, the "Claims"), to the extent such Claims result from any act or omission, neglect, willful acts, errors, or misconduct of Bidder in its performance under this Agreement or the contract documents. Pursuant to 55 ILCS 5/3-9005, no attorney may be assigned to represent the Releasees pursuant to this Section of the Agreement unless the attorney has been approved in writing by the Kendall County State's Attorney. Releasees' participation in its defense shall not remove Bidder's duty to indemnify, defend, and hold Releasees harmless, as set forth above. Releasees do not waive their defenses or immunities under the Local Government and Governmental Employees Tort Immunity Act (745 ILCS 10/1 et seq.) by reason of this indemnification provision. Indemnification shall survive the termination of this Agreement.
- 9. Bidder will obtain and continue in force, during the term of this Agreement, all insurance as set forth below:
  - a. All coverage shall be placed with insurers authorized to conduct business in Illinois with a current A.M. Best's rating of no less than A:VII. Each insurance policy shall not be cancelled or changed without thirty (30) calendar days' prior written notice, given by the insurance carrier to the County at the address set forth herein.
  - b. Minimum Scope and Limit of Insurance. All coverage shall be at least as broad as the following:i. Commercial General Liability ("CGL"): Insurance Services Office Form CG 00 01
    - covering CGL on an "occurrence" basis, including products and completed operations, property damage, bodily injury and personal & advertising injury with limits no less than

- \$1,000,000 per occurrence. If a general aggregate limit applies, either the general aggregate limit shall apply separately to this project/location (ISO CG 25 03 or 25 04) or the general aggregate limit shall be \$2,000,000.
- ii. Umbrella/Excess Liability: Limits of liability equal to or greater than \$5,000,000 per occurrence and \$5,000,000 in aggregate.
- iii. Automobile Liability: Insurance Services Office Form Number CA 0001 covering, Code 1 (any auto), or if Bidder has no owned autos, Code 8 (hired) and 9 (non-owned), with limit no less than \$1,000,000 per accident for bodily injury and property damage.
- iv. Workers' Compensation Insurance: Insurance as required by the State of Illinois, with Statutory Limits, and Employer's Liability Insurance with limit of no less than \$1,000,000 per accident for bodily injury or disease. (Not required if company provides written verification it has no employees.)
- v. Professional Liability (Errors and Omissions) Insurance: Professional insurance appropriate to Bidder's profession, with limit no less than \$2,000,000 per occurrence or claim and \$2,000,000 aggregate.
- c. If Bidder maintains broader coverage and/or higher limits than the minimums shown above, the County shall be entitled to the broader coverage and/or the higher limits maintained by the Bidder. Any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the County. The County and its, past, present, and future its officers, officials, employees, and volunteers are to be covered as additional insureds on the CGL policy with respect to liability arising out of work or operations performed by or on behalf of Bidder including materials, parts, or equipment furnished in connection with such work or operations. General liability coverage can be provided in the form of an endorsement to Bidder's insurance (at least as broad as ISO Form CG 20 10 11 85 or both CG 20 10, CG 20 26, CG 20 33, or CG 20 38; and CG 20 37 forms if later revisions used).
- d. For any claims related to this Agreement, the Bidder's insurance coverage shall be primary insurance primary coverage at least as broad as ISO CG 20 01 04 13 with respect to the Releasees. Any insurance maintained by the Releasees shall be in excess of the Bidder's insurance and shall not contribute with it.
- e. Bidder hereby grants to the Releasees a waiver of any right to subrogation which any insurer of said Bidder may acquire against Releasees by virtue of the payment of any loss under such insurance. Bidder agrees to obtain any endorsement that may be necessary to affect this waiver of subrogation, but this provision applies regardless of whether or not Releasees have received a waiver of subrogation endorsement from the insurer.
- f. Self-insured retentions must be declared to and approved by the County. The County may require the Bidder to provide proof of ability to pay losses and related investigations, claim administration, and defense expenses within the retention. The policy language shall provide, or be endorsed to provide, that the self-insured retention may be satisfied by either the named insured or the County.
- g. If any of the required policies provide coverage on a claims-made basis, (1) the Retroactive Date must be shown and must be before the date of the Agreement or the beginning of the contracted work; (2) insurance must be maintained and evidence of insurance must be provided for at least

- five (5) years after completion of the contract of work; and (3) if coverage is canceled or non-renewed, and not replaced with another claims-made policy form with a Retroactive Date prior to the Agreement's effective date, the Bidder must purchase "extended reporting" coverage for a minimum of five (5) years after completion of the contracted work.
- h. Bidder shall furnish the County with original Certificates of Insurance including all required amendatory endorsements (or copies of the applicable policy language effecting coverage required by this clause) and a copy of the Declarations and Endorsement Page of the CGL policy listing all policy endorsements to the County before work begins. However, failure to obtain the required documents prior to the work beginning shall not waive the Bidder's obligation to provide them. The County reserves the right to require complete, certified copies of all required insurance policies, including endorsements required by these specifications, at any time.
- i. Subcontractors: Bidder shall require and verify that all subcontractors maintain insurance meeting all the requirements stated herein, and Bidder shall ensure that the County is an additional insured on insurance required from subcontractors.
- j. The County reserves the right to modify these requirements, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.
- 10. Neither party will be responsible to the other for damage, loss, injury, or interruption of work if the damage, loss, injury, or interruption of work is caused solely by conditions that are beyond the reasonable control of the parties, and without the intentional misconduct or negligence, of that party (hereinafter referred to as a "force majeure event"). To the extent not within the control of either party, such force majeure events may include: acts of God, acts of any governmental authorities, fire, explosions or other casualties, vandalism, riots or war. A party claiming a force majeure event ("the claiming party") shall promptly notify the other party in writing, describing the nature and estimated duration of the claiming party's inability to perform due to the force majeure event. The cause of such inability to perform will be remedied by the claiming party with all reasonable dispatch.
- 11. Upon the occurrence of any material default or breach of Agreement by either party, the injured party (i.e., the non-breaching and/or non-defaulting party) may, at its option, upon notice to the other in writing, declare this Agreement to be in default, and at any time thereafter, so long as the other party shall have not remedied or caused to be remedied all outstanding defaults and/or breaches within a reasonable period of time as determined by the County, the injured party may elect, in accordance with law and any other agreement between the parties to: (a) Proceed by appropriate court action at law or in equity to enforce performance by the defaulting party of its obligations under this Agreement and/or to recover damages for breach thereof; and/or (b) By notice in writing to the defaulting party, cancel or terminate this Agreement. For purposes of this Paragraph, "reasonable period of time" will be dependent on the type of service being provided but, in any event, the reasonable period of time may be no less than one hour but no more than thirty (30) calendar days.
- 12. Notwithstanding any other provision of this Agreement, this Agreement may be terminated by the County upon written notice delivered to Bidder at least thirty (30) days prior to the effective date of termination. No additional payments, penalties and/or early termination charges shall be required upon termination of the Agreement under this paragraph.
- 13. Bidder agrees to comply with all applicable federal, state or local laws and regulatory requirements and to secure such licenses as may be required for its employees and to conduct business in the state,

municipality, county, or location where the work is to be performed. Such obligation includes, but is not limited to, environmental laws, civil rights laws, prevailing wage and labor laws.

- 14. This contract calls for the construction of a "public work" within the meaning of the Illinois Prevailing Wage Act, 820 ILCS 130/.01 *et seq.* ("the Act"). The Act requires the Bidder and Bidder's contractors and subcontractors to pay their respective laborers, workers and mechanics performing services on this public works project no less than the current "prevailing rate of wages" (hourly cash wages plus fringe benefits) in the county where the work is performed. The Illinois Department of Labor ("Department") publishes the prevailing wage rates on its website at <a href="http://labor.illinois.gov/">http://labor.illinois.gov/</a>. The Department revises the prevailing wage rates, and the Bidder and Bidder's contractors and subcontractors have an obligation to check the Department's website for revisions to prevailing wage rates. For information regarding current prevailing wage rates, please refer to the Department's website. The Bidder and all of the Bidder's contractors and subcontractors rendering services under this Agreement must comply with all requirements of the Act, including, but not limited to, all wage requirements and notice and record keeping duties. Failure to comply with all applicable requirements of the Act will be considered a material breach of this Agreement.
- 15. When applicable, Bidder shall furnish Material Safety Data Sheets for their products, in compliance with the Illinois Toxic Substance Disclosure to Employee Act, Safety Inspection and Education Act & "Right to Know" law, 820 ILCS 255/1 et seq., 820 ILCS 220/0.01 et seq. and 820 ILCS 225/0.1 et seq.
- 16. Bidder, its officers, employees, contractors, subcontractors, and agents agree not to commit unlawful discrimination and unlawful harassment and further agree to comply with all applicable provisions of the Illinois Human Rights Act, Title VII of the Civil Rights Act of 1964, as amended, the Americans with Disabilities Act, the Age Discrimination in Employment Act, Section 504 of the Federal Rehabilitation Act, the Illinois Public Works Employment Discrimination Act, 775 ILCS 10/0.01 et seq., as amended, and all applicable rules and regulations. Also, Bidder and Bidder's subcontractors shall maintain a written sexual harassment policy that complies with the requirements of 775 ILCS 5/2-105 and shall comply with all other fair employment practices and equal employment opportunity/affirmative action requirements set forth in applicable state and federal laws and regulations.
- 17. All services to be undertaken by Bidder shall be carried out by competent and properly trained personnel of Bidder to the highest standards and to the satisfaction of the County. All services, materials and components shall conform to relevant manufacturers' and equipment suppliers' specifications, and all materials and spare parts shall be obtained from the original equipment manufacturers or from suppliers approved by them. No warranties implied or explicit may be waived or denied.
- 18. Neither party shall assign, sublet, sell, or transfer its interest in this Agreement without the prior written consent of the other.
- 19. This Agreement shall be construed in accordance with the laws and Constitution of the State of Illinois and if any provision is invalid for any reason such invalidations shall not render invalid other provisions which can be given effect without the invalid provision. The parties agree that the venue for any legal proceedings between them shall be the Circuit Court of Kendall County Illinois, Twenty-Third Judicial Circuit, State of Illinois.
- 20. In the event the County is in default under the Agreement because funds are not appropriated for a fiscal period subsequent to the one in which the Agreement was entered into which are sufficient to satisfy all or part of the County's obligations under this Agreement during said fiscal period, the County agrees to provide prompt written notice of said occurrence to Bidder. In the event of a default due to non-

appropriation of funds, the County has the right to terminate the Agreement upon providing thirty (30) days written notice to Bidder. No additional payments, penalties and/or early termination charges shall be required upon termination of the Agreement.

21. Any notice required or permitted to be given pursuant to this Agreement shall be duly given if sent by fax, certified mail, or courier service and received, in the case of notice to the County, to the County's Representative, Matthew Asselmeier, Kendall County Planning, Building and Zoning Department, 111. W. Fox Street, Room 203, Yorkville, IL 60560, with copy sent to: Kendall County State's Attorney, 807 W. John Street, Yorkville, Illinois, 60560, fax (630) 553-4204. And, in the case of Bidder, to:

- 22. Bidder certifies that Bidder, its parent companies, subsidiaries, and affiliates are not barred from entering into this Agreement as a result of a violation of either 720 ILCS 5/33E-3 or 5/33E-4 (Bid rigging or Bid rotating) or as a result of a violation of 820 ILCS 130/1 et seq. (the Illinois Prevailing Wage Act). Bidder further certifies by signing the Agreement, the Bidder, its parent companies, subsidiaries, and affiliates have not been convicted of, or are not barred for attempting to rig bids, price-fixing or attempting to fix prices as defined in the Sherman Anti-Trust Act and Clayton Act. 15 U.S.C. § 1 et seq.; and has not been convicted of or barred for bribery or attempting to bribe an officer or employee of a unit of state or local government or school district in the State of Illinois in that officer's or employee's official capacity. Also, by signing this Agreement, Bidder affirms that Bidder has not made any admission of guilt of such conduct which is a matter of record, nor has any official, officer, agent, or employee of the Bidder's company been so convicted nor made such an admission.
- 23. Both parties affirm no Kendall County officer or elected official has a direct or indirect pecuniary interest in Bidder or this Agreement, or, if any Kendall County officer or elected official does have a direct or indirect pecuniary interest in Bidder or this Agreement, that interest, and the procedure followed to effectuate this Agreement has and will comply with 50 ILCS 105/3.
- 24. In any action with respect to this Agreement, the parties are free to pursue any legal remedies at law or in equity. If Kendall County is required to take legal action to enforce performance of any of the terms, provisions, covenants and conditions of this Agreement, and by reason thereof, the County is required to use the services of an attorney, then Kendall County shall be entitled to reasonable attorneys' fees, court costs, and expenses incurred by the County pertaining thereto and in enforcement of any remedy, including costs and fees relating to any appeal.
- 25. Vendor Information Reporting Requirements. Pursuant to 35 ILCS 200/18-50.2, the County must collect and electronically publish certain data from all vendors and subcontractors doing business with the County. To comply with this statutory obligation, the Bidder agrees to provide the County with written answers to the following questions within ten (10) business days after the parties' execution of this Agreement:
  - 1. Is the Bidder and/or any of the Bidder's subcontractors a minority-owned, women-owned, or veteran-owned business, as defined in the Business Enterprise for Minorities, Women, and Persons, with Disabilities Act? If so, please describe.

- 2. If the answer to Question (1) is "yes", does the Bidder and/or any of the Bidder's subcontractors hold any certifications for those categories or are they self-certifying? If the entity holds any certifications, please describe with sufficient detail each certification received.
- 3. If the Bidder and/or the Bidder's subcontractors self-certify, do they qualify as a small business under the federal Small Business Administration standards?
- 26. Bidder and its consultants, employees, contractors, subcontractors, and agents agree to comply with all provisions of the Substance Abuse Prevention on Public Works Act, 820 ILCS 265/1 *et seq.* and the Illinois Drug Free Workplace Act, 30 ILCS 580/1 *et seq.*
- 27. The County and/or Bidder's waiver of any term, condition, or covenant or breach of any term, condition, or covenant, shall not constitute a waiver of any other term, condition, or covenant, or the breach thereof.
- 28. Bidder warrants to the County that all construction and related services provided shall be performed in a good workman like manner, in accordance with the terms of the contract documents, and all applicable law, codes, regulations, and other requirements, including safety standards.
- 29. Bidder understands the County will be utilizing funds received pursuant to the Certified Local Government grant ("Grant") to pay, in whole or in part, for the services set forth in this Agreement. Thus, Bidder agrees to comply with all applicable provisions of the County's Grant requirements. Also, Bidder agrees to promptly provide the County, at the County's request, with any documentation and any other information necessary for the County to comply with the County's Grant reporting requirements.
- 30. It is understood and agreed to by the parties that all contracts entered into by a government body, such as the County, are open to public review and may be discussed in open session pursuant to the Illinois Open Meetings Act (5 ILCS 120/1 *et seq.*) and/or may be released pursuant to the Illinois Freedom of Information Act (5 ILCS 140/1 *et seq.*), any other applicable state or federal law, and/or pursuant to subpoena and/or court order.
- 31. This Agreement may be executed in counterparts (including facsimile signatures), each of which shall be deemed to be an original and both of which shall constitute one and the same Agreement.
- 32. The County and the Bidder each hereby warrant and represent that their respective signatures set forth below have been and are on the date of this Agreement duly authorized by all necessary and appropriate corporate and/or governmental action to execute this Agreement. Furthermore, Bidder hereby affirms that Bidder is legally authorized to transact business in the State of Illinois.

# EXHIBIT A — BID SUBMISSION COVER SHEET

ITB N	lumber & Name	PBZ202201 Historic S	tructure Survey in Unin	acorporated Bristol and Kendall Townships	
Bidde	r Name (printed):				
Addre	ess:		City, State, Zip:	•	
Bid C	larification Contact	Person:	Telep	phone:	
Email	:				
State o	of Incorporation:		Entity T	ype:	
Federa	al Employer Identif	ication Number (FEIN):	:		
Any i	individual signin	g below hereby certif	fies they are an auth	norized representative of Bidder and that:	
1. 2. 3.	Bidder agrees to Bidder acknown Bidder certifies Documents), a independently f Subject to accessibilities	o be bound by all required be bound by all required all contents of the Bid nd this Bid Submission all other Bidders, eptance by a majority	irements and terms and all Addenda to the dincluding any other sion Cover Sheet and without collusion vote of the Kendal	TB and all Bidding Documents. By submitting a B and conditions set forth in the Bidding Documents his ITB. The forms or documentation, if required under the E re truthful and accurate and have been prepared on, fraud, or other dishonesty.  Il County Board, the Bidder acknowledges that the Bidder is contractually obligated to comply w	Bic ec
	Authorized S	Signature		Date	
	(Printed Nam	ne and Title)		Email Address	

## **EXHIBIT B - Bid Form**

BIDDER'S NAME:	
KENDALL COUNTY ITB NUMBER: PBZ202201	

ITB PROJECT NAME: Historic Structure Survey in Unincorporated Bristol and Kendall Townships

1. <u>COST OF WORK</u>: The undersigned Bidder having familiarized themselves with the conditions affecting the cost of the work and its performance and having carefully examined and fully understood the Bidding Documents, hereby affirms and agrees to enter into a contract with Kendall County, Illinois to provide all supervision, labor, material, equipment, and all other expense items to perform completely the entire work covered by all specifications for the entire work

FOR THE LUMP SUM OF FORTY-TWO THOUSAND FIVE HUNDRED Dollars (\$ 42,500).

[Please include a breakdown of unit and total prices for items as required as an attachment to this Bid Form.]

- 2. <u>COSTS</u>: The undersigned hereby affirms and states that the prices quoted herein constitute the total cost to Kendall County, Illinois for all work involved in the respective items and that this cost also includes all insurance, royalties, transportation charges, use of all tools and equipment, overhead expense, all profits, and all other work, services, and conditions necessarily involved in the work to be done and materials to be furnished in accordance with the requirements of the Bidding Documents.
- **3. PROFESSIONAL REFERENCES:** The undersigned shall provide at least three (3) professional references that can provide Kendall County, Illinois with information regarding the bidder's experience with this type of project, and these professional references are attached to this Bid Form.
- **4.** <u>COMPLIANCE CERTIFICATIONS</u>: By initialing below, the undersigned hereby certifies all of the following in accordance with applicable state and federal law:
  - A. COMPLIANCE WITH ILLINOIS DRUG FREE WORKPLACE ACT: The undersigned, having 25 or more employees, does hereby certify pursuant to section 3 of the Illinois Drug Free Workplace Act (30 ILCS 580/3) that it shall provide a drug-free workplace for all employees engaged in the performance of the work under the contract by complying with the requirements of the Illinois Drug-Free Workplace Act and, further certifies, that it is not ineligible for award of this contract by reason of debarment for a violation of the Illinois Drug-Free Workplace Act.

 (Initials)
 (IIIIIIIII)

B. COMPLIANCE WITH THE ILLINOIS HUMAN RIGHTS ACT: The undersigned does hereby certify pursuant to Section 2-105 of the Illinois Human Rights Act (775 ILCS 5/2-105) that it has a written sexual harassment policy that includes, at a minimum, the following information: (i) the illegality of sexual harassment; (ii) the definition of sexual harassment under State law; (iii) a description of sexual harassment, utilizing examples; (iv) an internal complaint process including penalties; (v) the legal recourse, investigative and complaint process available through the Illinois Department of Human Rights and Human Rights Commission; (vi) direction on how to contact the Illinois Department of Human Rights and Human Rights Commission; and (vii) protection against retaliation.

	The undersigned also further certifies that, pursuant to Section 2-105 of the Illinois Human Rights Ac (775 ILCS 5/2-105), it has a written equal employment opportunity policy that is in compliance with al terms and conditions of the Equal Employment Opportunity provisions of the Illinois Human Rights Act.		
	(Initials)		
C.	C. CERTIFICATION REGARDING BIDDER ELIGIBILITY: The undersigned does hereby certify that it has not been barred from bidding on a public contract as a result of a violation of eithe Section 33E-3 (Bid-rigging) or Section 33E-4 (Bid rotating) of the Illinois Criminal Code, contained in Chapter 38 of the Illinois Revised Statues.		
	(Initials)		
D.	<b>NON-COLLUSION AFFIDAVIT:</b> The undersigned's completed Non-Collusion Affidavit is attached to this Bid Form.		
Bidder's Name	e:		
Telephone Nu	mber: Facsimile Number:		
Email Address	s:Website:		
Type of Busin	ess Organization: (Check the box that applies)  Sole Proprietor  Corporation		
П	LLC		
	Partnership		
	Limited Partnership		
	Other:		
Signature of A	authorized Representative:		
Printed Name:	Title:		
Attested by: _	Title:		

## NON-COLLUSION AFFIDAVIT

(Complete and Submit with Bid Form)

STATE OF)		
STATE OF		
		, being duly sworn, says that he/she is
(sole owner, member of firm, corporation which has by the enactment of this	orate official) document affirmed tha tten agreement with a	(individual, firm or corporate name) at he/she, in the preparation of the Bid estimates, has not any of the other bidders or their agents for the specific
or employee of the State of Illinois, admission of guilt of such conduct	or any unit of governit which is a matter of empted bribery on be	een convicted of bribery or attempting to bribe an officer ment in the State of Illinois, nor has the Bidder made an of record, nor has an official, agent, or employee of the ehalf of the Bidder and pursuant to the direction or
The undersigned Bidder further c conviction for the violation of state		barred from bidding on this contract as a result of a -rigging or bid-rotating.
	Printed Name:	
	Title:	
	Signature:	
Subscribed and sworn to me this	day of	, 2022.
Notary Public (seal)	_	

## **Bidder's Professional References**

As part of their Bid package, the Bidder must provide at least three (3) professional/client references for services the Bidder has performed within the past five (5) years that are similar in size, scope, and type of

Reference #1:		
Professional Reference Name:		
Contact Person's Name:		
Telephone Number:	Facsimile Number:	
Mailing Address:	Email:	
Description and date(s) of services:		
Reference #2:		
Professional Reference Name:		
Contact Person's Name:		
Telephone Number:	Facsimile Number:	
Mailing Address:	Email:	
Description and date(s) of services:		
Reference #3:		
Professional Reference Name:		
Contact Person's Name:		
Telephone Number:	Facsimile Number:	
Mailing Address:	Email:	
Description and date(s) of services:		