



KENDALL COUNTY
ZONING AND PLATTING ADVISORY COMMITTEE
110 West Madison Street • Court Room • Yorkville, IL • 60560
(630) 553-4141 Fax (630) 553-4179

AGENDA

July 1, 2025 - 9:00 a.m.

CALL TO ORDER

ROLL CALL: **County Board:** Seth Wormley, PBZ Committee Chair; **County Highway Department:** Fran Klaas, County Engineer; **WBK Engineering, LLC:** Greg Chismark, Stormwater Consultant; **County Health Department:** Aaron Rybski, Director Environmental Health; **Forest Preserve District:** David Guritz, Director; **SWCD:** Alyse Olson, Resource Conservationist; **Sheriff's Office:** Commander Jason Langston; **GIS:** Meagan Briganti; **PBZ:** Brian Holdiman, Code Official; Matt Asselmeier, PBZ Director

APPROVAL OF AGENDA (VV)

APPROVAL OF MINUTES (VV): Approval of May 6, 2025, ZPAC Meeting Minutes
(Pages 2-16)

PETITIONS (Roll Call Vote):

1. **Petition 21 – 20 – John J. Tebrugge (Petitioner's Engineer) and Jhon Cordero on Behalf of Cordero Real Estate, LLC (Pages 17-70)**
Request: Site Plan Approval
PIN: 02-06-400-007
Location: Approximately 268 Feet West of the Intersection of Galena Road and E. Beecher Road on the South Side of Galena Road, Bristol Township
Purpose: Petitioner Wants To Operate a Tree Service Business and Related Uses; Property is Zoned M-1

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

1. Petition 24-30 Special Use Permit and Variance for Commercial Solar Field on Ament Road

OLD BUSINESS/ NEW BUSINESS

1. None

CORRESPONDENCE

PUBLIC COMMENT

ADJOURNMENT (VV)- Next meeting on August 5, 2025

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)
May 6, 2025 – Unapproved Meeting Minutes

PBZ Chairman Seth Wormley called the meeting to order at 9:00 a.m.

Present:

Matt Asselmeier – PBZ Department
David Guritz – Forest Preserve
Brian Holdiman – PBZ Department
Fran Klaas – Highway Department
Alyse Olson – Soil and Water Conservation District
Aaron Rybski – Health Department
Seth Wormley – PBZ Committee Chair

Absent:

Meagan Briganti – GIS Department
Greg Chismark – WBK Engineering, LLC
Commander Jason Langston – Sheriff's Department

Audience:

Dan Gorman

AGENDA

Mr. Holdiman made a motion, seconded by Mr. Rybski, to approve the agenda as presented.

With a voice vote of seven (7) ayes, the motion carried.

MINUTES

Mr. Guritz made a motion, seconded by Ms. Olson, to approve the November 5, 2025, meeting minutes.

With a voice vote of seven (7) ayes, the motion carried.

PETITIONS

Petition 25-04 Daniel J. Gorman on Behalf of USA Energy Independence, LLC (Prospective Buyer) and Stanley L. Zepelak on Behalf of the Lucaya Asset Management, LLC (Current Owner)

Mr. Asselmeier summarized the request.

The Petitioner is seeking a special use permit for a commercial solar energy facility and a variance to Section 36-282(17)a of the Kendall County Code to allow a commercial solar energy facility on land within one point five (1.5) miles of municipality without an annexation agreement.

The application materials, including the boundary survey, stormwater information, including the wetland delineation report, site plan, vegetative management plan, decommissioning information, and the Agricultural Impact Mitigation Agreement were provided.

The property is located between 9417 and 9221 Corneils Road in Bristol Township.

The property is approximately thirty-seven (37) acres in size with approximately twenty (20) acres inside the fence.

The existing land use is Agricultural and the property is zoned A-1.

The County's Future Land Use Map calls for the property to be Suburban Residential (Max 1.00 DU/Acre) and Yorkville's Future Land Use Map calls for the property to be Estate/Conservation Residential.

Corneils Road is a Minor Collector Road maintained by Bristol Township.

The United City of Yorkville has a trail planned along Corneils Road.

There are no floodplains on the property. There is one (1) farmed wetland on the property and two (2) additional wet areas on the property identified in the wetland delineation report.

The adjacent land uses are Agricultural and Single-Family Residential.

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The adjacent properties are zoned A-1 and R-3 in the County and R-2, R-2D, R-3, and B-3, inside Yorkville.

The County's Land Resource Management Plan calls for the area to be Urbanized Communities, Suburban Residential, and Commercial.

Yorkville's Comprehensive Plan calls for the area to be Estate/Conservation Residential and Metra Station Transit Oriented Development.

Properties within one half (1/2) of a mile are zoned A-1, A-1 SU, R-3, B-1, and B-3 in the County and R-2, R-2D, R-3, R-4, and B-3 inside Yorkville.

The A-1 special use permit to the east is for a landscaping business. The A-1 special use permit to the west is for a welding business.

Approximately thirty-three (33) homes, not including the homes in the original town of Bristol Station are located within half (1/2) of a mile of the subject property. Raging Waves water park is also located within half (1/2) of a mile of the subject property.

EcoCAT Report identified protected resources in the area, but negative impacts were unlikely. The Illinois Department of Natural Resources recommended establishing pollinator friendly habitat as groundcover where feasible and the site should be de-compacted before planting. The letter from the Illinois Department of Natural Resources was provided.

The LESA Score was 179 indicating a low level of protection. The NRI Report was provided.

Petition information was sent to Bristol Township on April 23, 2025.

Prior to submittal to Kendall County, the Bristol Township Board reviewed the proposal on April 7, 2025, but that meeting was for informational purposes only.

Petition information was sent to the United City of Yorkville on April 23, 2025.

Prior to formal application submittal, the United City of Yorkville submitted an email stating they would not pursue annexation at this time. The email notes the proximity of several homes to the subject property; the proposal does not meet Yorkville's one thousand foot (1,000') setback requirement from Corneils Road; the proximity to a wetland was noted; five (5) new utility poles were proposed. Yorkville's email was provided.

On March 25, 2025, Yorkville submitted an email requesting a forty-foot (40') right-of-way dedication. On April 2, 2025, Bristol Township submitted an email agreeing to the requested dedication. These emails were provided.

Petition information was sent to the Bristol-Kendall Fire Protection District on April 23, 2025.

Per § 36-282(17) of the Kendall County Code, commercial solar energy facilities businesses can be special uses on A-1 zoned property subject to the following conditions:

- a. All commercial solar energy facilities and test solar energy systems located within one point five (1.5) miles of a municipality shall either annex to the municipality or obtain an annexation agreement with the municipality requiring the municipality's regulations to flow through the property. Petitioner is requesting a variance.
- b. The setbacks for commercial solar energy facilities shall be measured from the nearest edge of any component of the facility as follows:

Occupied Community Buildings or Dwellings on Nonparticipating Properties-One hundred fifty feet (150') from the nearest point on the outside wall of the structure

Boundary Lines of Participating Properties-None

Boundary Lines of Nonparticipating Properties- Fifty feet (50') to the nearest point on the property line of the nonparticipating property

Public Road Rights-Of-Way-Fifty feet (50') from the nearest edge

The above setbacks do not exempt or excuse compliance with electric facility clearances approved or required by the National Electrical Code, the National Electrical Safety Code, Commerce Commission, Federal Energy Regulatory Commission, and their designees or successors. Per the site plan, the closest nonparticipating structure is greater than two hundred fifty feet (250') from the solar panels. The solar panels are greater than five hundred feet (500') from Corneils Road.

- c. A commercial solar energy facility's perimeter shall be enclosed by fencing having a height of at least six feet (6') and no more than twenty-five feet (25'). This is true. Per the application materials, the fence is proposed to be six feet (6') in height. As noted in the site plan, the fence will be six inches (6") above the finished grade. The fence will be chain link topped with barbed wire.
- d. No component of a solar panel as part of a commercial solar energy facility shall have a height of more than twenty feet (20') above ground when the solar energy facility's arrays are at full tilt. This is true. Per the site plan, the maximum height will be ten feet, eleven and three-eighths inches (10'-11 3/8").
- e. The above setback, fencing, and component height requirements may be waived subject to written consent of the owner of each affected nonparticipating property. This written consent shall be submitted at the time of application submittal. No such consent requested or needed.
- f. Sound limitations for components in commercial solar energy facilities shall follow the sound limitations established by the Illinois Pollution Control Board. A noise study was provided.
- g. The County shall not require standards for construction, decommissioning, or deconstruction of a commercial solar energy system or related financial assurances to be more restrictive than agricultural impact mitigation agreement set in State law. The amount of any decommissioning payment shall be limited to the cost identified in the decommissioning or deconstruction plan, as required by the agricultural impact mitigation agreement, minus the salvage value of the project. A copy of the agricultural impact mitigation agreement shall be submitted with the application materials. The decommissioning plan was provided and was outlined in the Agricultural Impact Mitigation Agreement. The Petitioner is offering a bond of Fifty Thousand Dollars (\$50,000). The Petitioner is agreeable to not fight the County in court, if the County wished to acquire title to the subject property in the event that the decommissioning bond is insufficient to cover all of the costs.
- h. A vegetative screening shall be placed around the commercial solar energy facility. The site plan references a row of Black Hills Spruce and a row Buttonbush. The spruce will be six feet (6') minimum in height within three (3) years of planting and the Buttonbush will be four feet (4') minimum in height within three (3) years of planting. The vegetative management plan was provided. The types of vegetation, timing of planting, and maintenance plan are included in the vegetative management plan.
- i. Commercial solar energy facility applicants shall provide the results and recommendations from consultations with the Illinois Department of Natural Resources obtained through the Ecological Compliance Assessment Tool (EcoCat) or a comparable successor tool. The commercial solar energy facility applicant shall adhere to the recommendations provided through this consultation. The EcoCat was submitted and the recommendation was to establish pollinator friendly habitat as groundcover where feasible and the site should be de-compacted before planting. The letter from the Illinois Department of Natural Resources was provided.
- j. Commercial solar energy facility applicants shall provide the results of the United States Fish and Wildlife Service's Information for Planning and Consulting environmental review or a comparable successor toll that is consistent with the U.S. Fish and Wildlife Service's Land-Based Wind Energy Guidelines and any applicable United States Fish and Wildlife Service solar wildlife guidelines that have been subject to public review. This was provided with the application material. Five (5) threatened or endangered species were in the area.
- k. A facility owner shall demonstrate avoidance of protected lands as identified by the Illinois Department of Natural Resources and the Illinois Nature Preserve Commission or consider the recommendations of the Illinois Department of Natural Resources for setbacks from protected lands, including areas identified by the Illinois Nature Preserve Commission. While the site is designed around one (1) farmed wetland, there are other wet areas on the property that need to be examined through the stormwater permit review process.

- l. A facility owner shall provide evidence at the time of application submittal of consultation with the Illinois State Historic Preservation Office to assess potential impacts on State-registered historic sites under applicable State law. This information was provided. The State Historic Preservation Office is requesting a Phase I Archeological Survey.
- m. A commercial solar energy facility owner shall plant, establish, and maintain for the life of the facility vegetative ground cover consistent with State law and the guidelines of the Illinois Department of Natural Resources' vegetative management plans. The vegetation management plan shall be required at the time of application submittal. The vegetation management plan, including timelines for planting and maintenance of the vegetation, was provided,
- n. The facility owner shall enter into a road use agreement with the jurisdiction having control over the applicable roads. The road use agreement shall follow applicable law. The facility owner shall supply the Kendall County Planning, Building and Zoning Department with a copy of the road use agreement. This provision shall be waived if the jurisdiction having control over the applicable roads does not wish to enter into an agreement. To date, the road use agreement negotiations are ongoing. The application materials and the site plan show a fifteen foot (15') wide gravel road inside a twenty foot (20') road easement on the southeast corner of the property. The entrance off of Corneils Road will be forty feet (40') wide.
- o. The facility owner shall repair or pay for the repair of all damage to the drainage system caused by the construction of the commercial solar energy system within a reasonable time after construction of the commercial solar energy facility is complete. The specific time shall be set in the special use permit. No drain tile information was provided. There is a statement in the application materials saying that no drain tile exists on the property.

No buildings are planned for the site. Any structures proposed for the site, including the solar arrays, shall obtain applicable permits.

The property is presently farmland. No wells, septic systems, or refuse collection points were identified.

The proposed area of disturbance is approximately point six-five acres (0.65). The County has concerns regarding the wet areas identified in the wetland delineation report and the farmed wetland identified on the property. The Petitioner submitted a stormwater permit application.

The temporary laydown area shown on the site plan is not proposed to be gravel.

Four (4) infiltration basins are shown on the site plan. Three (3) of these basins would be installed if required by the stormwater pollution prevention plan. No information regarding the infiltration basin was provided.

The application materials and the site plan show a fifteen foot (15') wide gravel road inside a twenty foot (20') road easement on the southeast corner of the property. The entrance off of Corneils Road will be forty feet (40') wide.

No permanent parking was proposed. There will be a staging area during construction.

No lighting was proposed.

The Petitioner proposed installing one (1) sign at the vehicular access gate stating emergency contact information.

A glare study was provided.

No information was provided regarding impacts on property values

No odors were foreseen.

A noise study was provided.

If approved, this would be the second special use permit for a commercial solar energy facility in unincorporated Kendall County.

The proposed Findings of Fact for the special use permit were as follows:

The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. The Project will generate clean, renewable electricity while producing no air, noise, or water pollution, or ground contamination. The front portion of the parcel closest to Corneils Road will be retained for agricultural use and/or future residential use. The Petitioner submitted a vegetative management plan outlining the types of vegetation that will be planted, the timing of planting, and a maintenance plan for the vegetation.

The special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use makes adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. The proposal will not interfere with the use and enjoyment of nearby properties. The surrounding properties are zoned A-1 and various residential classifications and will not be prevented from continuing any existing use or from pursuing future uses. The proposal's operations would be quiet and minimal traffic will occur after installation is completed. The solar panels are setback from Corneils Road and screened by vegetation from neighboring houses to avoid negative visual impacts.

Adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. The proposal will have adequate utility interconnections designed in collaboration with ComEd. The proposal does not require water, sewer, or any other public utility facilities to operate. The Petitioner will also build all roads and entrances at the facility and will enter into an agreement with Bristol Township regarding road use. After initial construction traffic, landscape maintenance and maintenance to the project components are anticipated to occur on an as-needed basis, consistent with the vegetative management plan. Existing traffic patterns will not be impacted in the post-construction operations phase. While no drain tile is believed to be on the subject property, damaged drain tile will be repaired as outlined in the Agricultural Impact Mitigation Agreement and a condition attached to this special use permit.

The special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. If the requested variance is granted, the proposal meets all applicable regulations.

The special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The proposal is also consistent with a goal and objective found on page 3-4 of the Land Resource Management Plan, "Support the public and private use of sustainable energy systems (examples include wind, solar, and geo-thermal)." However, the proposal is located on property classified as Residential on the Future Land Use Map and the Kendall County Regional Planning Commission recommended denial of similar proposals.

The proposed findings of fact for the variance were as follows:

The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship or practical difficulty upon the owner if the strict letter of the regulations were carried out. The subject property is located within one point five (1.5) miles of the United City of Yorkville. Information was provided stating that the United City of Yorkville did not wish to annex the property or enter into a pre-annexation agreement.

The conditions upon which the requested variation is based would not be applicable, generally, to other property within the same zoning classification. Other A-1 zoned properties within one point five (1.5) miles of a municipality could request a similar variance, if the municipality refuses to annex or enter into a pre-annexation agreement.

The alleged difficulty or hardship has not been created by any person presently having an interest in the property. The difficulty was created because the United City of Yorkville did not wish to enter into a pre-annexation agreement or annex the property.

The granting of the variation will not materially be detrimental to the public welfare or substantially injurious to other property or improvements in the neighborhood in which the property is located. Granting the variance would not be detrimental to the public or substantially injurious to other properties.

That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets or increase the danger of fire, or endanger the public safety or substantially diminish or

impair property values within the neighborhood. The proposed variance would not impair light or air on adjacent property, cause congestion, increase the danger of fire, or negatively impact property values.

Given that the Kendall County Regional Planning Commission previously recommended denial of proposals on properties classified as Residential on the County's Future Land Use Map, and because of lack of clarity in State law regarding using the LaSalle and Sinclair Factors in evaluating applications of special use permits for commercial solar facilities, Staff's recommendation is neutral. Assuming that conditions can be imposed on the special use permit, the proposed conditions and restrictions are as follows:

1. The site shall be developed substantially in accordance with the submitted site plan, vegetative management plan, decommissioning plan, road access plan (yet to be submitted), and Agricultural Impact Mitigation Agreement. The Black Hills Spruce shall be planted in one (1) row and the Buttonbush shall be planted in a second row.
2. A variance to section 36-282(17)(a) of the Kendall County Code is hereby granted allowing a commercial solar energy facility within one point five (1.5) miles of a municipality without an annexation or pre-annexation agreement.
3. In the event that the decommissioning bond is insufficient to cover the costs of decommissioning the site as outlined in the decommissioning plan, the owners of the subject property shall not contest in court if the County wishes to obtain title to the subject property to cover the costs of decommissioning the use allowed by this special use permit.
4. Within ninety (90) days of the approval of the special use permit, the owners of the subject property shall dedicate a strip of land forty feet (40') in depth along the southern property line to Bristol Township. The Kendall County Planning, Building and Zoning Committee may grant an extension to this deadline.
5. None of the vehicles or equipment parked or stored on the subject property allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
6. All of the vehicles and equipment stored on the subject property allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
7. Any structures, including solar arrays, constructed, installed, or used allowed by this special use permit shall not be considered for agricultural purposes and must secure applicable building permits.
8. One (1) warning sign shall be placed near or on the entrance gate. This sign shall include, at minimum, the address of the subject property and a twenty-four (24) hour emergency contact phone number. Additional signage may be installed, if required by applicable law.
9. KenCom and other applicable public safety agencies shall be supplied the access code to the Knox Box/security gate.
10. Damaged drain tile will be repaired on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
11. The operators of the use allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
12. The property owner and operator of the use allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of use.
13. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
14. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
15. This special use permit and variance shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

Mr. Guritz asked what happens if the property changes hands. Mr. Asselmeier responded that the special use permit runs with the land.

Ms. Olson discussed soil limitations on the property. She asked if any soil tests had occurred. Dan Gorman, Petitioner, responded that soil test will occur in the future.

Chairman Wormley requested a condition requiring a community impact agreement to reimburse the County for the loss of development on the property. Mr. Gorman provided a draft agreement.

Mr. Klaas did not agree that the project would generate no air, noise, or water pollution as outlined in the first finding of fact for the special use permit. He believed that the production, installation, and decommissioning of solar panels did create pollution.

Mr. Guritz questioned the installation of the Spruce trees because they do not survive well in the area. He recommended working with local suppliers on trees.

Mr. Guritz made a motion, seconded by Mr. Rybski, to forward the proposal to the Kendall County Regional Planning Commission with a neutral recommendation and the addition of a condition requiring a community impact agreement.

The votes were follows:

Ayes (7): Asselmeier, Guritz, Holdiman, Klaas, Olson, Rybski, and Wormley
Nays (0): None
Abstain (0): None
Absent (3): Briganti, Chismark, and Langston

The motion passed.

The proposal goes to the Kendall County Regional Planning Commission on May 28, 2025.

Petition 25-05 Kendall County Zoning Administrator

Mr. Asselmeier summarized the request.

In an effort to reduce the number of paper copies applicants are required to submit for certain zoning actions, Staff proposes the following amendments to the subdivision and zoning portions of the Kendall County Code:

Section 30-98(c) (Final Plat Submittal)

An application for approval of the final plat, including all engineering drawings and specifications, shall be filed with the Planning, Building, and Zoning Department, and ~~ten (10)~~ **three (3)** copies of the petition shall be filed with the Plat Officer or designee. Attached to each copy shall be copies of the supporting documents and exhibits provided for herein.

Section 30-98(d) (Final Plat Submittal)

Accompanying the copy of the application for approval of the final plat shall be ~~four (4)~~ **three (3)** copies of the final engineering plans and specifications prepared, stamped, and signed by a State-registered professional engineer. Such plans and specifications shall be prepared as specified, and shall be submitted to the Plat Officer within one (1) year after approval of the preliminary plat; otherwise such approval shall become null and void unless application for an extension of time is made to and granted by KCRPC. Such extensions will not require an additional copy of the plat. Engineering plans and specifications must comply with all County ordinances in addition to the design standards in Article IV of this chapter and the improvement standards in Article V of this chapter. Following approval of the final engineering plans, the applicant shall supply the County with a copy of the approved final version in electronic CAD format, NAD 1983 State Plane Illinois East projected coordinate system, as required by the County.

Section 30-197(b)(2) (Standards and Requirements for Restoration, Planting, Maintenance, and Monitoring of Natural Open Space)

~~Five (5)~~ **Three (3)** printed copies and one (1) electronic copy (PDF) of all required submittals shall be provided to the KCPBZ, who shall forward copies to the Director of the County Forest Preserve District, the County Soil and Water Conservation District, and the County Engineer or consultant engineer. Each organization receiving a copy of the plans shall have twenty-one (21) days to provide written comments to the KCPBZ office. The KCPBZ office shall then compile all comments and inform the applicant if the plans are approved, or what changes are needed to receive approval. Within twenty-one (21) days of approval of the landscape/planting plan, the applicant shall provide the KCPBZ office a written cost

estimate by a qualified contractor or contractors, including separate estimates for trees, ornamental plantings, and natural areas.

Section 36-155(c)(1) (Final Plan Approval for Residential Planned Developments)

A copy of the petition shall be filed with the PBZ Department, and ~~ten (10)~~ **three (3)** copies of the petition shall be filed with the Director of PBZ or designee. Attached to each copy shall be copies of the supporting documents and exhibits provided for herein.

Section 36-184(1) (Site Plan Approval)

ZPAC. One (1) copy of the complete application, along with ~~eight (8)~~ **three (3)** copies of the site plan, shall be submitted by the property owner or certified agent to the Zoning Administrator at least fourteen (14) days prior to the ZPAC meeting. The purpose of the ZPAC meeting will be to evaluate the completeness of the application and to provide the applicant with feedback/input on the proposed site plan. Prior to the ZPAC meeting, the Zoning Administrator shall distribute copies of the site plan to Committee members. After discussion on a proposed site plan, the ZPAC may approve, deny, or approve with modifications, or request that the applicant revise the plan and return to a future ZPAC meeting for further review.

Information was sent to the Townships on April 23, 2025.

Mr. Asselmeier noted that other the paper requirements of other applications not listed in the County Code have already been reduced to three (3) copies.

All application materials will still be emailed.

Mr. Klaas made a motion, seconded by Mr. Rybski, to recommend approval of the proposal to the Kendall County Regional Planning Commission.

The votes were follows:

Ayes (7): Asselmeier, Guritz, Holdiman, Klaas, Olson, Rybski, and Wormley
Nays (0): None
Abstain (0): None
Absent (3): Briganti, Chismark, and Langston

The motion passed.

The proposal goes to the Kendall County Regional Planning Commission on May 28, 2025.

Petition 25-06 Kendall County Zoning Administrator

Mr. Asselmeier summarized the request.

In an effort to reduce the number of physical meetings required as part of the development and zoning processes, Staff has been asked to prepare a proposal which would abolish ZPAC as a formal committee of the County and transfer the duties of ZPAC to various Staff members.

A few items to note:

1. The present members of ZPAC and their successors in their respective positions would still receive notification of Petitions and would be allowed to submit comments on the Petitions in the timeframes stated in this proposed text amendment.
2. Since ZPAC would no longer be a formal committee, the Open Meetings Act would no longer apply to the correspondence and gatherings of former ZPAC members as they relate to Planning, Building and Zoning matters.
3. The Planning, Building and Zoning Committee probably would amend the application approval timeline to account for ZPAC not meeting. In such a case, the application deadline for map amendments, text amendments, special use permits, and major amendments to special use permits would be no later than thirty (30) days prior to the Zoning Board of Appeals hearing. For site plan reviews, no specific deadline would exist. For applications for plats of vacations, the deadline would effectively remain unchanged at three (3) weeks prior to the Planning, Building

and Zoning Committee meeting.

The redlined proposal is as follows:

Subdivision Code

Section 30-37 Administration; organization

~~Eight~~ **(7)** offices in the County are concerned with the administration of this chapter. For the purposes of clarity these offices along with their pertinent functions are listed below:

(1) *The Plat Officer.* There is hereby created the Plat Officer who shall exercise the authority and have the responsibility provided in this chapter. The Plat Officer shall administer the provisions of this chapter and, in addition thereto, and in furtherance of said authority, shall:

- a. Maintain permanent and current records of this chapter, including amendments thereto.
- b. Receive and file all preliminary and final plats.
- c. Forward copies of the preliminary plat to other appropriate agencies for their recommendations and report.
- d. Receive and file all final plats and check their compliance with the preliminary plat.
- e. Make all other determinations required of the Plat Officer by the regulations herein.
- f. Discourage the subdividing of lands that are far in advance of the needs of the development of the County; or which, by their locations, cannot be efficiently served by public utilities, fire protection, or other community services; or which are located in areas subject to flooding, or are topographically unsuitable for development; or which, for any other reason, are being unwisely or prematurely subdivided.

(2) *Township Highway Commissioner and County Engineer.* The Township Highway Commissioner and County Engineer shall review with Plat Officer all preliminary subdivision plans and make determinations concerning street and drainage design standards and engineering specifications as stipulated herein.

(3) *Planning, Building, and Zoning Committee (PBZC).* The Planning, Building, and Zoning Committee shall review the preliminary plat and final plat and exercise the authority and have the responsibilities provided in this chapter.

(4) *Kendall County Regional Plan Commission (KCRPC).* The Kendall County Regional Plan Commission shall review the preliminary plat and exercise the authority and have the responsibilities provided in this chapter.

(5) *County Soil and Water Conservation District.* The County Soil and Water Conservation District shall review the preliminary plat and exercise the authority and have the responsibilities provided in this chapter.

(6) *County Health Department.* The County Health Department shall review the preliminary plat and exercise the authority and have the responsibilities provided in this chapter.

~~**(7) Zoning and Platting Advisory Committee (ZPAC).** The Zoning and Platting Advisory Committee shall review the preliminary plat and exercise the authority and have the responsibilities provided in this chapter.~~

~~**(8)**~~ **(7)** *Sanitary and/or water reclamation districts.* Sanitary and/or water reclamation districts shall review the preliminary plat and exercise the authority and have the responsibilities provided in this chapter.

Section 30-76 Preliminary Plat Procedure

The procedure for preliminary plats shall be as follows:

(1) The applicant shall prepare a preliminary plat, which shall include all of the property to be subdivided, properties that are adjacent and considered to be contiguous to the proposed subdivision, together with improvement plans and other supplementary material as specified.

(2) The applicant shall submit to the Plat Officer this preliminary plat accompanied with a completed application for a preliminary plat of subdivision with the appropriate filing fees.

~~**(3) The application will be placed on the agenda for the next regularly scheduled meeting of the Zoning and Platting Advisory Committee (ZPAC) for review and recommendation.**~~

~~**(4)**~~ **(3)** *At the same time, the* The Plat Officer and the County Engineer will collaborate with the subdivider in assembling plans for the design and construction of streets, drainage systems and other such improvements as may be required by ordinance.

~~(5)~~ (4) A copy of the application and preliminary plat shall also be submitted, by the applicant, to the plan Commission of the townships in which the proposed subdivision is located and submit to the nearest municipality, if the corporate limits of the municipality are not more than one and one-half (1½) miles from the property lines of the proposed development.

~~(6)~~ (5) The application shall be reviewed by **ZPAC County Staff** for compliance with the regulations of this chapter and all other ordinances of the County ~~during a regularly scheduled meeting~~ within thirty (30) days of the date of the submittal of the completed application of the preliminary plat.

~~(7)~~ (6) Following ~~a recommendation by ZPAC review by County Staff~~, the application shall be placed on the agenda of the next regularly scheduled meeting of the Kendall County Regional Plan Commission (KCRPC).

~~(8)~~ (7) The application shall be reviewed by KCRPC for compliance with the regulations of this chapter and all other ordinances of the County within thirty (30) days of ~~the recommendation made by ZPAC receipt of comments from County Staff~~, provided that all necessary revisions and/or supplemental information requested by **ZPAC County Staff** has been supplied to the Plat Officer.

~~(9)~~ (8) KCRPC, within a reasonable time after the first discussion of the proposal, shall:

a. Recommend approval or disapproval of the proposed preliminary subdivision plat and record in the official minutes its recommendation, which may include the recommendations of the County Engineer, the County Engineering Consultant, other affected agencies and/or the Plat Officer.

b. If KCRPC finds that changes, additions or corrections are required on the preliminary plat prior to a recommendation being made by KCRPC, KCRPC shall so advise the applicant. The applicant may resubmit the preliminary plat with revisions for its consideration at the next available regular meeting of KCRPC.

~~(10)~~ (9) Upon recommended approval of the preliminary plat by KCRPC, an application for the final plat of subdivision shall be filed within one (1) year, unless otherwise extended per the provisions of this chapter per [Section 30-98](#).

~~(11)~~ (10) The following qualifications shall govern approval of the preliminary plat:

a. Approval of a preliminary plat by KCRPC is tentative only, involving merely the general acceptability of the layout as submitted. Final approval of the preliminary plat shall be granted by the County Board at the time of final plat approval. An applicant may seek approval from KCRPC of the preliminary plat simultaneously with the final plat and/or rezoning petition at the applicant's choosing.

b. KCRPC shall require such changes or revisions as are deemed necessary in the interest of the needs of the County.

c. Approval of the preliminary plat shall be effective for a maximum period of one (1) year, unless upon application of the developer, KCRPC grants an extension. The application for said extension shall not require the submittal of additional copies of the plan of subdivision.

~~(12)~~ (11) The final approval of the preliminary plat is contingent upon payment of all fees for review and approval in accordance with [Section 30-39](#).

Section 30-78 Other Plat (vacation, dedication, etc.) procedure

(e) Upon receiving the complete application and review by the PBZ (Planning, Building and Zoning) staff for compliance with the regulations of this section and all other ordinances of the County the item will be ~~placed on the agenda for the next regularly scheduled meeting of the Zoning, Platting and Advisory Committee (ZPAC) forwarded to appropriate departments~~ or review and recommendation to the Planning, Building and Zoning Committee (PBZC) of the County Board. After ~~the ZPAC meeting review by appropriate departments~~, this item will be placed on the agenda for the next regularly scheduled meeting of the PBZ for review and recommendation to the full County Board.

(f) Upon completion of the review by the PBZC a recommendation shall be made and the minutes of the ~~ZPAC and~~ PBZC meeting containing such recommendations shall be submitted to the full County Board.

Section 30-98 Generally (Final Plats)

(d) Accompanying the copy of the application for approval of the final plat shall be ~~four (4)~~ **three (3)** copies of the final engineering plans and specifications prepared, stamped, and signed by a State-registered professional engineer. Such plans and specifications shall be prepared as specified, and shall be submitted to the Plat Officer within one (1) year after approval of the preliminary plat; otherwise such approval shall become null and void unless application for an extension of time is made to and granted by KCRPC. Such extensions will not require an additional copy of the plat. Engineering plans and specifications must comply with all County ordinances in addition to the design standards in Article IV of this chapter

and the improvement standards in Article V of this chapter. Following approval of the final engineering plans, the applicant shall supply the County with a copy of the approved final version in electronic CAD format, NAD 1983 State Plane Illinois East projected coordinate system, as required by the County.

(f) The application will be ~~placed on the agenda of the next Zoning and Platting Advisory Committee (ZPAC) meeting forwarded to other appropriate departments for review and comment.~~

(g) The application shall be reviewed by ~~ZPAC County Staff~~ within thirty (30) days of the date of the complete original submission of the final plat. ~~A recommendation shall be made by ZPAC and the minutes of ZPAC meeting containing such a recommendation~~ Comments from County Staff shall be submitted to KCRPC for review and recommendation.

(h) Following ~~a recommendation by ZPAC~~ comments from County Staff, the application shall be placed on the agenda for the next regular meeting of KCRPC.

(i) The application shall be reviewed by KCRPC within sixty (60) days of ~~ZPAC recommendation receipt of comments from County Staff by the Plat Officer~~ provided any necessary revisions or supplemental information requested by ~~ZPAC County Staff~~ have been supplied prior to KCRPC meeting.

Section 30-135 Blocks

(c) Pedestrian crosswalks not less than ten (10) feet wide shall be required where deemed necessary by the ~~Zoning and Platting Advisory Committee~~ County Staff to provide for pedestrian circulation or access to schools, playgrounds, shopping centers, transportation and other community facilities.

Zoning Code

Section 36-2 Definitions

~~Zoning and Platting Advisory Committee (ZPAC) means an informal, strictly advisory committee and not a County Board committee comprised primarily of County staff and advisors. Membership includes, but is not limited to, representatives from the County PBZ Department, the Highway Department, the Health Department, the Sheriff's Department, Forest Preserve District, Soil and Water Conservation District, and the County Engineer or consultants. The PBZ Chairman or designee, as needed, from the Planning, Building and Zoning (PBZ) Committee shall serve on ZPAC.~~

Section 36-35 (b) Zoning Administrator Powers and Duties

(5) Receive, file and forward applications for zoning map and text amendments, special uses, variances, planned developments and other matters which under this chapter require referral to the Regional Planning Commission, the ZBA, ~~the ZPAC~~, the PBZ Committee, or the full County Board.

Section 36-36 County Regional Planning Commission Duties

(1) To receive from the Zoning Administrator copies of all applications for amendments and special use permits along with the ~~Committee report from the ZPAC and report thereon with its recommendations~~ comments and recommendations of other appropriate departments.

Section 36-42 (c) Amendments

(2) A copy of such application shall thereafter be forwarded to ~~the ZPAC County Staff~~, the Regional Planning Commission and to the County ZBA with a request to hold a public hearing and submit to the County Board a report of its findings and recommendations.

Section 36-112 (Processing Special Use and Planned Developments)

a) An application for a special use shall be filed with the Zoning Administrator.

~~(b) A copy of such application shall be forwarded to the ZPAC for review, comment, and recommendation.~~

~~(e) (b)~~ A copy of such application ~~and the Committee report from the ZPAC~~ shall thereafter be forwarded to the Regional Planning Commission for review, comment, and recommendation.

~~(d) (c)~~ A copy of such application and the ~~reports report~~ from the ~~ZPAC and~~ Regional Planning Commission shall thereafter be forwarded to the ZBA with a request to hold a public hearing and submit to the County Board a report of its findings and recommendations.

~~(e)~~ (d) The recommendation and findings of the ZBA shall be forwarded to the PBZ Committee of the County Board for review and recommendation prior to final action by the County Board.

Section 36-125 (c) Planned Developments

(2) The applicant shall request a concept review of the planned development/special use, by letter addressed to the Secretary of the Regional Planning Commission, to be ~~placed on the agenda of ZPAC reviewed by County Staff~~ and the next regular meeting of the Regional Planning Commission for a preliminary discussion and concept review of the proposed planned development at such meeting, which may be continued from time to time. The applicant shall present such exhibits and written information as may be necessary to fully acquaint the Regional Planning Commission with the proposed development, which shall include, but not necessarily be limited to, the following:

- a. A tentative sketch plan, which may be in freehand sketch form, showing the location and extent of the types of land uses proposed.
- b. The existing topography at five (5) foot contour intervals which may be taken from USGS information.
- c. Existing streets surrounding the subject property.
- d. Existing utilities, including storm drainage facilities.
- e. The following shall be provided by either graphic exhibits or written statement:
 1. The density of commercial uses, including maximum lot coverage and building height.
 2. The off-street parking and other service facilities proposed.
 3. The exception or variations to the County zoning or subdivision requirements being requested as part of the planned development application.

(4)

a. The formal petition for a planned development shall be filed with the Zoning Administrator. The Zoning Administrator or deputies shall be responsible for distributing the complete application to the following at the appropriate time:

~~1. ZPAC.~~

~~2. 1.~~ Members of the Regional Planning Commission.

~~3. 2.~~ ZBA.

~~4. 3.~~ The County Board.

Section 36-154 (c) Preliminary Site Plan/Plat Approval

(1) The applicant shall request the preliminary plan/plat approval in addition to a petition for a zoning map amendment, by letter addressed to the PBZ or designee, ~~to be placed on the agenda of the next regular meeting of the ZPAC for a preliminary discussion of the proposed planned development. The applicant shall present such exhibits and written information as may be necessary to fully acquaint the ZPAC with the proposed development.~~

(4) The petition shall be reviewed by ~~the ZPAC County Staff~~ within thirty (30) days of the date of the complete original submission of the final plan, and a recommendation shall be made, accompanied by such plats, exhibits and supporting documents as shall have been presented by the petitioner, each identified for reference by letter or number, together with any suggested changes therein. The director or staff shall submit ~~minutes of the ZPAC meeting applicable documents~~ containing such recommendation ~~shall be submitted~~ to the Regional Planning Commission for review and recommendation, along with any written correspondence received from any municipality or township.

(5) The petition shall be heard by the Regional Planning Commission within sixty (60) days of ~~the ZPAC meeting receipt of comments from County Staff~~ provided any necessary revisions or supplemental information requested by ~~ZPAC have County Staff has~~ been supplied at least thirty (30) days in advance the Regional Planning Commission meeting. Upon completion of their review of the preliminary plan or plat, a recommendation shall be made, accompanied by such plats, exhibits and supporting documents as shall have been presented by the petitioner, each identified for reference by letter or number, together with any suggested changes therein. The minutes of the Regional Planning Commission meeting containing such recommendation shall be submitted to the ZBA, along with any written correspondence received from any municipality or township.

Section 36-155 (c) Final Plat Approval

(4) The petition will be ~~placed on the agenda of the next regular meeting of the ZPAC for a preliminary discussion of the proposed planned development. The applicant shall present such exhibits and written information as may be necessary to fully acquaint the ZPAC with the final plat for the proposed development, forwarded to other appropriate departments for review and comment.~~

(5) The petition shall be reviewed by ~~the ZPAC County Staff~~ within thirty (30) days of the date of the complete original submission of the final plan, and a recommendation shall be made, accompanied by such plats, exhibits and supporting

documents as shall have been presented by the petitioner, each identified for reference by letter or number, together with any suggested changes therein. The ~~minutes of the ZPAC meeting comments of County Staff~~ containing such recommendation shall be submitted to the Regional Planning Commission for review and recommendation, along with any written correspondence received from any municipality or township.

(6) The petition shall be reviewed by the Regional Planning Commission within sixty (60) days of the ~~date of the ZPAC meeting receipt of comments from County Staff by the Plat Officer~~ provided any necessary revisions or supplemental information requested by ~~ZPAC have~~ County Staff has been supplied at least thirty (30) days in advance the Regional Planning Commission meeting. Upon completion of their review of the final plat, a recommendation shall be made, accompanied by such plats, exhibits and agreements as shall have been presented by the petitioner, each identified for reference by letter or number, together with any suggested changes therein. The minutes of the Regional Planning Commission meeting containing such recommendation shall be submitted to the PBZ Committee of the County Board for review and recommendation to the County Board.

Section 36-182 (2) (d) Site Design Standards

Traffic studies may be required by the **ZPAC County Staff** or the PBZ Committee. Such traffic studies should address:

1. Projected number of motor vehicle trips to enter or leave the site, estimated for daily and peak hour traffic levels;
2. Projected traffic flow patterns, including vehicular movements at all major intersections likely to be affected by the proposed use of the site.

Existing and proposed daily and peak hour traffic levels as well as road capacity levels shall also be provided.

Section 36-183 (b) Filing (for Site Plan Approval)

(b) *Filing*. Petitions for site plan review shall be filed in writing with the Zoning Administrator and shall be accompanied by such documents and information as the **ZPAC County Staff** or the PBZ Committee may require. Such documents and information shall include, but are not limited to, the following:

- (1) Completed petition for site plan review in a format developed by the County;
- (2) Application fee;
- (3) Generalized location map;
- (4) Plats and drawings depicting compliance with the aforementioned site design standards.

Section 36-184 Procedure (Site Plan Approval)

A written application for site plan review shall be submitted to the PBZ Department, which will schedule the item for review. Consultation with the appropriate County staff and consultants is encouraged throughout this process to ensure a minimum delay. If requested by the applicant, the County will review applications for site plan review concurrently with separate requests for rezoning or platting. The review process will include the following:

(1) ~~**ZPAC, Zoning Administrator.**~~ One (1) copy of the complete application, along with ~~eight (8)~~ **three (3)** copies of the site plan, shall be submitted by the property owner or certified agent to the Zoning Administrator ~~at least fourteen (14) days prior to the ZPAC meeting. The purpose of the ZPAC meeting will be to evaluate the completeness of the application and to provide the applicant with feedback/input on the proposed site plan. Prior to the ZPAC meeting, the Zoning Administrator shall distribute copies of the site plan to Committee members. After discussion on a proposed site plan, the ZPAC may approve, deny, or approve with modifications, or request that the applicant revise the plan and return to a future ZPAC meeting for further review. Upon submittal of a complete application, the Zoning Administrator shall forward the application and other relevant material to appropriate departments for review and comment. The appropriate departments will be given fourteen (14) days from the date that the Zoning Administrator submitted documents to them to submit comments to the Zoning Administrator. If all applicable regulations have been addressed, the Zoning Administrator shall approve the site plan. If changes are required to bring the site plan into compliance, the Zoning Administrator shall inform the applicant of the required changes and give the applicant an opportunity to amend the site plan. If the applicant fails to bring the site plan into compliance with applicable regulations, the site plan application will be denied.~~

(2) *PBZ Committee*. Site plan decisions by **ZPAC the Zoning Administrator** may be appealed to the PBZ Committee.

Information was sent to the Townships on April 23, 2025.

Mr. Asselmeier outlined the process for reviewing applications, if this proposal was approved.

Chairman Wormley felt that the proposal created more efficiencies of County employees' and related agencies' time.

Mr. Klaas felt that Departments could still provide necessary review without officially meeting. Group emails could occur because ZPAC would no longer be an official committee of the County.

Discussion occurred regarding the lack of rural subdivision applications and concerns related to platting could be addressed by email correspondence.

Applicants for special use permit, major amendments to special use permits, map amendments and text amendments would be saved two (2) weeks, but there would be less time for applicants to resolve issues, if any issues arose with a given application.

Mr. Rybski asked if the Petitioners' information will be emailed to ZPAC members. Mr. Asselmeier responded yes.

Mr. Asselmeier noted that the earliest the proposal could be approved by the County Board is July 15, 2025. There could still be ZPAC meetings in June, July, and August.

Mr. Guritz made a motion, seconded by Mr. Klaas, to recommend approval of the proposal to the Kendall County Regional Planning Commission.

The votes were follows:

Ayes (7): Asselmeier, Guritz, Holdiman, Klaas, Olson, Rybski, and Wormley
Nays (0): None
Abstain (0): None
Absent (3): Briganti, Chismark, and Langston

The motion passed.

The proposal goes to the Kendall County Regional Planning Commission on May 28, 2025.

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

Mr. Asselmeier reported that Petition 24-13 was withdrawn by the Petitioner.

Mr. Asselmeier reported that Petitions 24-26, 24-28, 24-31, 24-32, 24-33, 24-34, and 24-35 were approved by the County Board.

OLD BUSINESS/NEW BUSINESS

Follow-Up from the February 1, 2025, Kendall County Regional Planning Commission Annual Meeting

The Committee reviewed the report and minutes from the meeting.

CORRESPONDENCE

None

PUBLIC COMMENT

None

ADJOURNMENT

Mr. Holdiman made a motion, seconded by Mr. Guritz, to adjourn.

With a voice vote of seven (7) ayes, the motion carried.

The ZPAC, at 9:41 a.m., adjourned.

Respectfully Submitted,
Matthew H. Asselmeier, AICP, CFM
Director

Enc.



**KENDALL COUNTY
ZONING & PLATTING ADVISORY COMMITTEE
MAY 6, 2025**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
<i>Daniel J. Gorman</i>	<div></div>	



DEPARTMENT OF PLANNING, BUILDING & ZONING

807 West John Street • Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

Petition 21-20**Jhon Cordero on Behalf of Cordero Real Estate, LLC
Site Plan Approval****INTRODUCTION**

The Petitioner purchased the subject property in 2020 and wishes to operate a tree service business onsite. The subject property was rezoned in 2021 by Ordinance 2021-09.

The Petitioner submitted the original application in 2021 and did not finalize the application until 2025.

The application materials are included as Attachment 1. The two (2) response letters from the 2021 submittal are included as Attachment 2. The site plan is included as Attachment 3. The stormwater information is included as Attachment 4. The landscaping plan is included as Attachment 5. The photometric plan is included as Attachment 6.

The septic system for the adjoining property is located on the subject property. The plans to relocate this septic system are included as Attachment 7.

The buildings shown on the site plan are speculative, as of the date of this memo. While the Petitioner plans to operate a tree service business at the property, no timeline exists for the construction of the buildings.

SITE INFORMATION

PETITIONER: Jhon Cordero on Behalf of Cordero Real Estate, LLC

ADDRESS: No Address Assigned

LOCATION: Approximately 268 Feet West of the Intersection of Galena Road and East Beecher Road



TOWNSHIP: Bristol

PARCEL #: 02-06-400-007

LOT SIZE: 25.4 +/- Acres (13.4 +/- Acres will be Disturbed)

EXISTING LAND USE: Agricultural/Farming/Vacant (Historic Aerials Show a House Formerly Standing at the North Side of the Property)

ZONING: M-1 Limited Manufacturing District

LRMP:	Future Land Use	Mixed Use Business (County) Estate/Conservation Residential (Yorkville)
	Roads	Galena Road is a County Maintained Major Collector Road. East Beecher is a Township Maintained Local Road.
	Trails	Yorkville has a Trail Planned Along Galena Road. The Kendall County Forest Preserve has a Trail Planned Along East Beecher Road.
	Floodplain/ Wetlands	There are no Floodplains on the property. There are Three (3) Wetlands on the Property Totaling Approximately Ten (10) Acres in Size. Two (2) of the Wetlands are Farmed Wetlands.

REQUESTED ACTION: Site Plan Approval

APPLICABLE REGULATIONS: Chapter 36, Article II, Division 4 – Site Plan Review

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural and Single Family Residential	A-1 (County) R-2, R-3, and B-3 (Yorkville)	Mixed Use Business and Commercial (County) Estate/Conservation Residential (Yorkville)	A-1 (Kendall County) R-2, R-3, and B-3 (Yorkville)
South	Agricultural and Commercial	A-1 SU and M-2	Mixed Use Business (County) Estate/Conservation Residential (Yorkville)	A-1 SU, M-2, and M-3 SU
East	Agricultural	A-1	Suburban Residential (Max Density 1.00 DU/Acre) and Commercial (County) Estate/Conservation Residential	A-1

			(Yorkville)	
West	Agricultural and ComEd ROW	A-1	Mixed Use Business and ComEd (County) Estate/Conservation Residential (Yorkville)	A-1

The A-1 Special Use Permits to the south are for a gravel mining operation and compost facility. The M-3 Special Use Permit to the south is for asphalt production.

There is a proposed data center north of the subject property.

Galena Road will be widened in this area and additional right-of-way will be needed from the subject property. The site plan was designed with the widening plan in mind.

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report was submitted and identified the Mottled Sculpin and Rusty Patched Bumble Bee in the vicinity. Adverse impacts were considered unlikely, but IDNR recommended any mowed areas or areas that could be mowed be kept to a maximum height of six inches (6"). The EcoCat is included as Attachment 1, Pages 16-18.

ACTION SUMMARY

BRISTOL TOWNSHIP

Petition information was sent to Bristol Township on June 18, 2025.

UNITED CITY OF YORKVILLE

Petition information was sent to the United City of Yorkville on June 18, 2025.

BRISTOL-KENDALL FIRE PROTECTION DISTRICT

Petition information was sent to the Bristol Kendall Fire Protection on June 18, 2025.

DESIGN STANDARDS

Pursuant to Section 36-182 of the Kendall County Code, the following shall be taken into account when reviewing Site Plans (Staff comments in bold):

*Responsive to Site Conditions-Site plans should be based on an analysis of the site. Such site analysis shall examine characteristics such as site context; geology and soils; topography; climate and ecology; existing vegetation, structures and road network; visual features; and current use of the site. In addition to the standards listed below, petitioners must also follow the regulations outlined in this Zoning Ordinance. To the fullest extent possible, improvements shall be located to preserve the natural features of the site, to avoid areas of environmental sensitivity, and to minimize negative effects and alteration of natural features. Fragile areas such as wetlands and flood plains should be preserved as open space. Slopes in excess of 20 percent as measured over a 10-foot interval also should remain as open space, unless appropriate engineering measures concerning slope stability, erosion and safety are taken. **The property was rezoned to M-1 Limited Manufacturing District in 2021. The property drains towards the south. Development is occurring away from the wetlands on the property.***

*Traffic and Parking Layout-Site plans should minimize dangerous traffic movements and congestion, while achieving efficient traffic flow. An appropriate number of parking spaces shall be provided while maintaining County design standards. The number of curb cuts should be minimized and normally be located as far as possible from intersections. Connections shall be provided between parking areas to allow vehicles to travel among adjacent commercial or office uses. Cross-access easements or other recordable mechanisms must be employed. **The site plan (Attachment 3, Page 3) shows one (1) right-in, right-out access from Galena***

Road and access from East Beecher Road, a twenty-four foot (24') wide asphalt drive. The number of parking spaces is thirty-eight (38) with four (4) additional handicapped accessible parking spaces. Based on the proposed use and the parking schedule in Section 36-1015 of the Kendall County Code, the number of parking spaces is adequate. However, if the Petitioner decides to sublease one (1) or more of the buildings in the future, the number of parking spaces would need to be evaluated based on the use of the property.

Conflicts between pedestrians and vehicular movements should be minimized. When truck traffic will be present upon the site, the road size and configuration shall be adequate to provide for off-street parking and loading facilities for large vehicles. Barrier curbs should be employed for all perimeters of and islands in paved parking lots, as well as for all service drives, loading dock areas, and the equivalent. Parking lots in industrial or commercial areas shall be paved with hot-mix asphalt or concrete surfacing. No conflicts are foreseen.

Site Layout-Improvements shall be laid out to avoid adversely affecting ground water and aquifer recharge; minimize cut and fill; avoid unnecessary impervious cover; prevent flooding and pollution; provide adequate access to lots and sites; and mitigate adverse effects of shadow, noise, odor, traffic, drainage and utilities on neighboring properties. The site plan (Attachment 3) shows the improvements away from the wetlands on the property. The total disturbed area is approximately thirteen point four (13.4) acres and the impervious area is approximately two point nine (2.9) acres. The buildings are setback at least one hundred fifty feet (150') from the center of Galena Road and the asphalt area is setback thirty feet (30') from E. Beecher Road. The site plan shows a right-in right-out entrance on Galena Road. A gated entrance is proposed off of E. Beecher. One (1) freestanding sign is shown south of the driveway off of Galena Road and second freestanding sign is shown east of the driveway off of E. Beecher Road. The landscaping plan (Attachment 5) shows vegetation along E. Beecher and Galena Roads. The photometric plan (Attachment 6) shows no light at the property lines. The Petition plans to relocate the septic system of the neighboring property from the subject property as outlined in Attachment 7. Outstanding drainage issues could be addressed by stormwater management permit.

Consistent with the Land Resource Management Plan-The proposed use and the design of the site should be consistent with the Land Resource Management Plan. This is true.

Building Materials-The proposed site plan design shall provide a desirable environment for its occupants and visitors as well as its neighbors through aesthetic use of materials, textures and colors that will remain appealing and will retain a reasonably adequate level of maintenance. Buildings shall be in scale with the ultimate development planned for the area. Monotony of design shall be avoided. Variations in detail, form, and setting shall be used to provide visual interest. Variation shall be balanced by coherence of design elements. Per the response letter from 2021, no building elevations have been prepared. The four (4) buildings are planned to be four thousand nine hundred fifty (4,950) square feet in size with eaves at twenty feet (20') above the ground.

Relationship to Surrounding Development-A site shall be developed in harmony with neighboring street pattern, setbacks and other design elements. This is not an issue.

Open Space and Pedestrian Circulation-Improvements shall be designed to facilitate convenient and safe pedestrian and bicycle movement within and to the property. This is not an issue.

Buffering-Measures shall be taken to protect adjacent properties from any undue disturbance caused by excessive noise, smoke, vapors, fumes, dusts, odors, glare or stormwater runoff. Incompatible, unsightly activities are to be screened and buffered from public view. The landscaping plan (Attachment 5) shows six (6) Autumn Blaze Maples, six (6) Thornless Honeylocusts, one (1) Tulip tree, and two (2) Colorado Blue Spruce trees along East Beecher and Galena Roads. In addition, one (1) eight foot (8') tall board-on-board fence is planned along the Galena Road and E. Beecher Roads sides of the property. One (1) gate is also planned at the E. Beecher Road entrance. The septic field will be between the parking lots and Galena Road. The development is occurring on the northern portion of the property away from the commercial neighbors to the south. The photometric plans (Attachment 6) show nine (9) lights attached to the buildings and no glare at the property lines. Stormwater issues can be addressed in the stormwater management permit.

*Emergency Vehicle Access-Every structure shall have sufficient access for emergency vehicles. **Staff would like comments from the Bristol-Kendall Fire Protection District and Sheriff's Department on this matter.***

*Mechanical Equipment Screening-All heating, ventilation and air conditioning equipment shall be screened on sides where they abut residential districts. **The location of mechanical equipment was not shown on the site plan. Given the size and location of the buildings on the property, the fencing, and landscaping, the mechanical equipment could be placed on the south sides of the buildings and the equipment would be screened from neighboring properties.***

*Lighting-The height and shielding of lighting fixtures shall provide proper lighting without hazard to motorists on adjacent roadways or nuisance to adjacent residents by extending onto adjacent property. Cut-off lighting should be used in most locations, with fixtures designed so that the bulb/light source is not visible from general side view. **The photometric plans (Attachment 6) show nine (9) lights attached to the buildings and no glare at the property lines. Stormwater issues can be addressed in the stormwater management permit.***

*Refuse Disposal and Recycling Storage Areas-All refuse disposal and recycling storage areas should be located in areas designed to provide adequate accessibility for service vehicles. Locations should be in areas where minimal exposure to public streets or residential districts will exist. Screening shall be required in areas which are adjacent to residential districts or are within public view. Such enclosures should not be located in landscape buffers. Refuse containers and compactor systems shall be placed on smooth surfaces of non-absorbent material such as concrete or machine-laid asphalt. A concrete pad shall be used for storing grease containers. Refuse disposal and recycling storage areas serving food establishments shall be located as far as possible from the building's doors and windows. The use of chain link fences with slats is prohibited. **One (1) refuse location is shown near the northeast corner of the eastern-most building (Attachment 3, Page 3). The dumpster enclosure will be inside an area with board-on-board fencing.***

RECOMMENDATION

Pending review by ZPAC, Staff recommends approval of the site plan subject to the following conditions:

1. The site shall be developed substantially in accordance with the attached site plan (Attachment 3), landscaping plan (Attachment 5), and photometric plan (Attachment 6).
2. If additional freestanding signage, other than the signage shown on the site plan and directional or emergency related signage, is proposed in the future, an amendment to the site plan will be required.
3. Damaged or dead plantings shown on the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
4. Mechanical equipment related to the HVAC systems of the buildings shall be screened as required by the Kendall County Code using the regulations in place at the time of building permit application.
5. The site shall be developed in accordance with all applicable federal, state, and local laws related to site development.

ATTACHMENTS

1. Application Materials
2. Response Letters from 2021 Submittal
3. Site Plan
4. Stormwater Information
5. Landscaping Plan
6. Photometric Plan
7. Septic Relocation Information



DEPARTMENT OF PLANNING, BUILDING & ZONING

807 West John Street • Yorkville, IL • 60560
(630) 553-4141 Fax (630) 553-4179

APPLICATION

PROJECT NAME JPC Tree Site Development

FILE #: _____

NAME OF APPLICANT (Including First, Middle Initial, and Last Name)

Cordero Real Estate LLC

CURRENT LANDOWNER/NAME(s)

Cordero Real Estate, LLC

SITE INFORMATION

ACRES	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
24.973	Galena Road & East Beecher Road	02-06-400-007
EXISTING LAND USE	CURRENT ZONING	LAND CLASSIFICATION ON LRMP
Tree storage & mulching	M-1	M-1

REQUESTED ACTION (Check All That Apply):

☐ SPECIAL USE ☐ MAP AMENDMENT (Rezone to _____) ☐ VARIANCE
☐ ADMINISTRATIVE VARIANCE ☐ A-1 CONDITIONAL USE for: _____ ☒ SITE PLAN REVIEW
☐ TEXT AMENDMENT ☐ RPD (☐ Concept; ☐ Preliminary; ☐ Final) ☐ ADMINISTRATIVE APPEAL
☐ PRELIMINARY PLAT ☐ FINAL PLAT ☐ OTHER PLAT (Vacation, Dedication, etc.)
☐ AMENDMENT TO A SPECIAL USE (☐ Major; ☐ Minor)

¹PRIMARY CONTACT

John Tebrugge

PRIMARY CONTACT MAILING ADDRESS

PRIMARY CONTACT EMAIL

PRIMARY CONTACT PHONE

PRIMARY CONTACT FAX

PRIMARY CONTACT OTHER #(Cell, etc.)

630-417-7281

²ENGINEER CONTACT

ENGINEER MAILING ADDRESS

ENGINEER EMAIL

John Tebrugge

ENGINEER PHONE

ENGINEER FAX

ENGINEER OTHER # (Cell, etc.)

I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.

I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES. THE APPLICANT ATTESTS THAT THEY ARE FREE OF DEBT OR CURRENT ON ALL DEBTS OWED TO KENDALL COUNTY AS OF THE APPLICATION DATE.

SIGNATURE OF APPLICANT

DATE

6/9/25

FEE PAID: \$ _____
CHECK #: _____

¹Primary Contact will receive all correspondence from County

²Engineering Contact will receive all correspondence from the County's Engineering Consultants

LEGAL DESCRIPTION:

That Part of the East Half of the East Half of Section 6, Township 37 North, Range 7 East of the Third Principal Meridian, lying Southerly of the present centerline of Galena Road, described as follows: Beginning at the intersection of the center line of Galena Road with the East Line of said Section; thence North $70^{\circ}55'$ West along said center line, 276.0 feet; thence South parallel to the East Line of said Section 6, 200 feet; thence South $70^{\circ}55'$ East, 276.0 feet to the East Line of said Section; thence South along the East Line of said Section, 1456.6 feet to the Southeast Corner of said Section; thence West along the South Line of said Section, 470.51 feet to the Easterly Line of Parcel Two of property conveyed to Chicago Title and Trust Company, as trustee under Trust Number 45553 by Conservators Deed recorded September 17, 1973 as Document 73-4671; thence Northerly along said Easterly Line, 1006.52 feet to the Northeasterly Corner of said Parcel; thence Westerly along the North Line of said Parcel Two, 388.83 feet to the intersection of said North Line with the Easterly Line of the property described in Parcel One of said Document 73-4671; thence Northeasterly along said Easterly Line of Parcel One, a distance of 115.02 feet to an angle point on said Easterly Line of Parcel One, which is 1112.06 perpendicularly distant North of the South Line of said Section; thence North along a line forming an angle of $26^{\circ}45'38''$ to the left with the prolongation of the last described course, a distance of 2329.35 feet to the South Line of property conveyed to Diane R. Kapchinski by Trustee's Deed recorded June 14, 1973 as Document 73-2843; thence East along the South Line of property conveyed to Diane R. Kapchinski by Trustee's Deed recorded June 14, 1973 as Document 73-2843; thence East along the South Line of property conveyed to Diane R. Kapchinski, 812.68 feet to the East Line of said Section 6; thence Southerly along the East Line of said Section 6, 1319.90 feet to the point of beginning, in the Township of Bristol, Kendall County, Illinois.

20 CSA 6201 96 AM
1/1 CR

WARRANTY DEED
Statutory (Illinois)

202000016040
DEBBIE GILLETTE
RECORDER - KENDALL COUNTY, IL
RECORDED: 8/24/2020 1:47 PM
REC FEE: 57.00 RHSPS: 10.00
STATE TAX: 110.00
COUNTY TAX: 55.00
PAGES: 13

SEND SUBSEQUENT TAX BILLS TO:
Cordero Real Estate, LLC

THIS DOCUMENT PREPARED BY:
AFTER RECORDING RETURN TO:
Law Offices of Daniel J. Kramer

THE GRANTOR,

As Trustee of the Daniel P. Schultz Living Trust dated 8/8/2017,
Daniel P. Schultz, a single person, Edward F. Schultz, a single person, Anna Marie Ostreko, a married person, Gerald H. Hanks, a married person, Mary V. Harker, a married person, Rita J. Rios, a married person, John D. Hanks, a married person, Lawrence P. Hanks, a married person, Francis Schultz a Single Person, and Rosemary Svanovick, a married person

for and in consideration of Ten and 00/100 Dollars in hand paid, **CONVEY AND WARRANT TO**

Cordero Real Estate, LLC

whose address is:

all interest in the following described Real Estate situated in the County of Kendall In the State of Illinois, to wit:

See attached legal description

SUBJECT TO: Existing easements, covenants, and restrictions of record, and 2019 and subsequent years real estate taxes.

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Permanent Real Estate Index Number: 02-06-400-007

Address of Real Estate: 24.973 acres vacant land Galena Road and East Beecher Road, Bristol Township, Illinois

THE PROPERTY IS NOT HOMESTEAD PROPERTY



Dated this 6 Day of 19th, 2020.


Francis Schultz

Warranty Deed - Statutory


STATE OF ILLINOIS)
) SS.
COUNTY OF KENDALL)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT Frances Schultz personally known to me to be the same person whose name subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that signed, sealed and delivered this instrument as free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal this 19 Day of June, 2020.


Notary Public

Prepare By: Denise J. Knepper
+ Return To 

Future Tax Bills To: Cordus Real Estate, LLC


Dated this 13 Day of June, 2020.


Mary V. Harker

Warranty Deed - Statutory

STATE OF ~~ILLINOIS~~)
Ohio) SS.
COUNTY OF ~~KENDALL~~)
Montgomery

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT Mary Harker personally known to me to be the same person whose name X subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that X signed, sealed and delivered this instrument as X free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal this 13th Day of June, 2020.



RAVEN CLARK
Notary Public, State of Ohio
My Commission Expires 11-04-2023


Notary Public

Dated this 12 Day of June, 2020.

[Redacted Signature]

Rita J. Rios

Warranty Deed - Statutory

STATE OF ILLINOIS)
) SS.
COUNTY OF KENDALL)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT Rita J. Rios personally known to me to be the same person whose name IS subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that she signed, sealed and delivered this instrument as her free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal this 12th Day of June, 2020.

[Redacted Signature]

Notary Public



Dated this 5 Day of June, 2020.

[Redacted Signature]

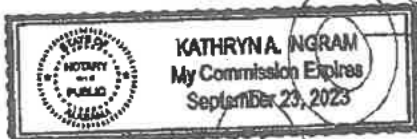
Gerald H. Hanks

Warranty Deed - Statutory

STATE OF ^{Alabama}~~ILLINOIS~~)
 Lee) SS.
COUNTY OF ~~KENDALL~~)


I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT Gerald H. Hanks personally known to me to be the same person whose name ___ subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that ___ signed, sealed and delivered this instrument as ___ free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal this 5 Day of June, 2020.



[Redacted Signature]
Notary Public

Dated this 10 Day of June, 2020.



Edward F. Schultz

Warranty Deed - Statutory

STATE OF ILLINOIS)
) SS.
COUNTY OF KENDALL)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT Edward F. Schultz personally known to me to be the same person whose name ___ subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that ___ signed, sealed and delivered this instrument as ___ free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal this 10 Day of June, 2020.


Notary Public

OFFICIAL SEAL
MARGARET ROSE DAWE
NOTARY PUBLIC, STATE OF ILLINOIS
My Commission Expires July 5, 2020

Dated this 8th Day of June, 2020.

[REDACTED]
Daniel P. Schultz, as Trustee 3

Warranty Deed - Statutory

STATE OF ILLINOIS)
) SS.
COUNTY OF KENDALL)

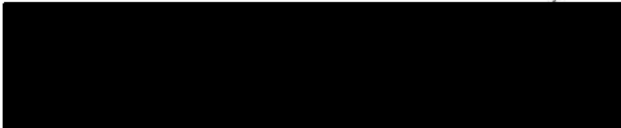
I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT Daniel P. Schultz personally known to me to be the same person whose name ___ subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that ___ signed, sealed and delivered this instrument as ___ free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal this 8th Day of June, 2020.



[REDACTED]
Notary Public

Dated this 11 Day of June, 2020.


Anna Marie Ostreko

Warranty Deed - Statutory

STATE OF ILLINOIS)
) SS.
COUNTY OF KENDALL)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT Anna M Ostreko personally known to me to be the same person whose name ___ subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that ___ signed, sealed and delivered this instrument as ___ free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal this 11 Day of June, 2020.


Notary Public



Dated this 10th Day of JUNE, 2020.

[REDACTED]

Lawrence F. Hanks

Warranty Deed - Statutory

STATE OF ILLINOIS)
) SS.
COUNTY OF KENDALL)

I, the undersigned, a Notary Public in and for said County in the State aforesaid, CERTIFY THAT Lawrence F. Hanks personally known to me to be the same person whose name he subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that is signed, sealed and delivered this instrument as is free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.


Given under my hand and notarial seal this 10th day of JUNE, 2020.

[REDACTED]

Notary Public



Dated this 4 Day of June, 2020.



Rosemary Svanovick

Warranty Deed - Statutory

STATE OF ILLINOIS)
) SS.
COUNTY OF KENDALL)


I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT Rosemary Svanovick personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that she signed, sealed and delivered this instrument as a free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal this 4th Day of June, 2020.


Notary Public



Dated this 10th Day of June, 2020.


John D. Hanks

Warranty Deed - Statutory

STATE OF ILLINOIS)
) SS.
COUNTY OF KENDALL)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY
THAT John D. Hanks personally known to me to be the same person
whose name is subscribed to the foregoing instrument, appeared before me this day in person, and
acknowledged that he signed, sealed and delivered this instrument as his free and voluntary act, for
the uses and purposes therein set forth, including the release and waiver of the right of homestead.
Given under my hand and notarial seal this 10th Day of June, 2020.


Notary Public



EXHIBIT A

Order No.: [REDACTED]

For APN/Parcel ID(s): 02-06-400-007-0000 and 02-06-400-003 (PARENT)

THAT PART OF THE EAST HALF OF SECTION 6, TOWNSHIP 37 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTHERLY OF THE PRESENT CENTERLINE OF GALENA ROAD, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTER LINE OF GALENA ROAD WITH THE EAST LINE OF SAID SECTION; THENCE NORTH 70 DEGREES 55 MINUTES WEST ALONG SAID CENTER LINE 276 FEET; THENCE SOUTH PARALLEL TO THE EAST LINE OF SAID SECTION 8, 200 FEET; THENCE SOUTH 70 DEGREES 55 MINUTES EAST 270 FEET TO THE EAST LINE OF SAID SECTION; THENCE SOUTH ALONG THE EAST LINE OF SAID SECTION 1456.6 FEET TO THE SOUTHEAST CORNER OF SAID SECTION; THENCE WEST ALONG THE SOUTH LINE OF SAID SECTION 470.51 FEET TO THE EASTERLY LINE OF PARCEL TWO OF THE PROPERTY CONVEYED TO CHICAGO TITLE AND TRUST COMPANY TRUSTEE UNDER TRUST NUMBER 45553 BY CONSERVATOR'S DEED RECORDED SEPTEMBER 17, 1973 AS DOCUMENT R73-4671; THENCE NORTHERLY ALONG SAID EASTERLY LINE 1006.52 FEET TO THE NORTHEASTERLY CORNER OF SAID PARCEL; THENCE WESTERLY ALONG THE NORTH LINE OF SAID PARCEL TWO 388.83 FEET TO THE INTERSECTION OF SAID NORTH LINE WITH THE EASTERLY LINE OF THE PROPERTY DESCRIBED IN PARCEL ONE OF SAID DOCUMENT 73-4671; THENCE NORTHEASTERLY ALONG SAID EASTERLY LINE OF PARCEL ONE A DISTANCE OF 115.02 FEET TO AN ANGLE POINT ON SAID EASTERLY LINE OF PARCEL ONE WHICH IS 1112.06 FEET PERPENDICULARLY DISTANT NORTH OF THE SOUTH LINE OF SAID SECTION; THENCE NORTH ALONG A LINE FORMING AN ANGLE 26 DEGREES 45 MINUTES 38 SECOND TO THE LEFT WITH THE PROLONGATION OF THE LAST DESCRIBED COURSE A DISTANCE OF 2329.35 FEET TO THE SOUTH LINE OF PROPERTY CONVEYED TO DIANE R. KAPCHINSKI BY TRUSTEES DEED RECORDED JUNE 14, 1973 AS DOCUMENT 73-2843; THENCE EAST ALONG THE SOUTH LINE OF PROPERTY CONVEYED TO DIANE R. KAPCHINSKI 812.68 FEET TO THE EAST LINE OF SAID SECTION 6; THENCE SOUTHERLY ALONG THE EAST LINE OF SAID SECTION 6, 1319.90 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF BRISTOL, KENDALL COUNTY, ILLINOIS



Debbie Gillette

Kendall County Clerk & Recorder

PLAT ACT AFFIDAVIT OF METES AND BOUNDS

STATE OF ILLINOIS)
)SS
COUNTY OF KENDALL)

_____, being duly sworn on oath, states that affiant resides at _____, And further states that: (please check the appropriate box)

- A. ☒ That the attached deed is not in violation of 765 ILCS 205/1(a), in that the sale or exchange is of an entire tract of land not being part of a larger tract of land; or
B. ☐ That the attached deed is not in violation of 765 ILCS 205/1(b) for one of the following reasons: (please circle the appropriate number)

1. The division or subdivision of land into parcels or tracts of 5.0 acres or more in size which does not involve any new streets or easements of access;
2. The division of lots or blocks of less than one (1) acre in any recorded subdivision which does not involve any new streets or easements of access;
3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
4. The conveyance of parcels of land or interests therein for use as right of way for railroads or other public utility facilities and other pipe lines which does not involve any new streets or easements of access;
5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
7. Conveyances made to correct descriptions in prior conveyances;
8. The sale or exchange of parcels or tracts of land following the division into not more than two (2) parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access;
9. The sale of a single lot of less than 5.0 acres from a larger tract when a survey is made by an Illinois Registered Land Surveyor; provided, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land;
10. The conveyance is of land described in the same manner as title was taken by grantor(s).

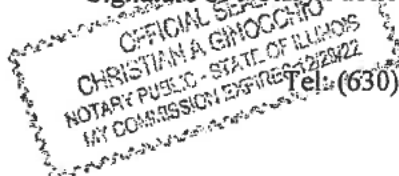
AFFIANT further states that _____ he makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording.

SUBSCRIBED AND SWORN TO BEFORE ME

This 24th day of June, 2021.

Signature of Notary Public

Signature of Affiant



111 West Fox Street, Yorkville IL 60560-1498

Tel: (630) 553-4104 • Fax: (630) 553-4119 • Email: Dgillette@co.kendall.il.us



Applicant: Cordero Real Estate, LLC, [REDACTED]

IDNR Project Number: 2514116

Contact: John Tebrugge

Date: 06/10/2025

Address: [REDACTED]

Alternate Number: 2101400

Project: JPC Tree Care Site Plan

Address: Galena Rd & E Beecher Rd, Bristol

Description: Renewal of IDNR Project Number: 2101400, Construct a commercial site for a landscaping/tree service business with mulch storage, commercial building and detention pond.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database shows the following protected resources may be in the vicinity of the project location:

Mottled Sculpin (*Cottus bairdii*)

Rusty Patched Bumble Bee (*Bombus affinis*)

An IDNR staff member will evaluate this information and contact you to request additional information or to terminate consultation if adverse effects are unlikely.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section:

37N, 7E, 6



IL Department of Natural Resources

Contact

Adam Rawe

217-785-5500

Division of Ecosystems & Environment

Government Jurisdiction

IL Environmental Protection Agency

Division of Water Pollution Control

PO Box 19276

Springfield, Illinois 62794

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.



Illinois Department of Natural Resources

One Natural Resources Way Springfield, Illinois 62702-1271
<http://dnr.state.il.us>

JB Pritzker, Governor

Natalie Phelps Finnie, Director

June 11, 2025

John Tebrugge
 Cordero Real Estate, LLC,



RE: JPC Tree Care Site Plan

Project Number(s): 2514116 [2101400]

County: Kendall

Dear Applicant:

This letter is in reference to the project you recently submitted for consultation. The natural resource review provided by EcoCAT identified protected resources that may be in the vicinity of the proposed action. The Department has evaluated this information and concluded that adverse effects are unlikely. Therefore, consultation under 17 Ill. Adm. Code Part 1075 is terminated.

However, the Department recommends any mowed areas, or areas that could be mowed, be kept to a height of 6 inches or less. Mowing to this height is recommended to discourage growth of flowering resources potentially used by the state and federally listed rusty patched bumble bee.

This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.

The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, you must comply with the applicable statutes and regulations. Also, note that termination does not imply IDNR's authorization or endorsement of the proposed action.

Please contact me if you have questions regarding this review.



Adam Rawe
 Division of Ecosystems and Environment
 217-785-5500



TEBRUGGE ENGINEERING

410 E. CHURCH ST.—SUITE A
SANDWICH, IL 60548

PHONE: (815) 786-0195
EMAIL: INFO@TEBRUGGEENGINEERING.COM
WEBSITE: WWW.TEBRUGGEENGINEERING.COM

May 14, 2025

Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560
Attn: Matt Asselmeier

Re: JPC Tree Care Site Plan

Dear Mr. Asselmeier:

We have received your review email dated May 18, 2021 and the following corrections have been made per your recommendations.

General Comments:

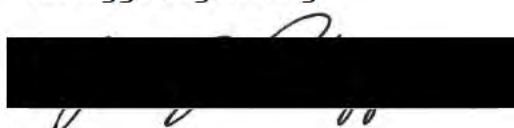
1. The site plan shows four proposed structures. Please verify that the square footage of these structures will be 4,950 square feet (99'X50').
 - a. **Correct, all buildings will be 99'x50 and 4,950 square feet.**
2. How tall will the structures be? Do you have any renderings of these structures? What will the structures be used for?
 - a. **The structures will have an eave height of 20'. There has been no renderings or building plans completed yet. The structures would be used for equipment or vehicle storage.**
3. What is the depth of the detention pond?
 - a. **The high water line is 653.00 and the bottom of the pond is 649.00. The pond will be 4' deep.**
4. Will outside storage of materials occur? If yes, where will this storage occur? Also if yes, where will the fencing required by Section 10:01.A.2 of the Zoning Ordinance be placed?
 - a. **Owner will be storing cut trees and will be making mulch. The trees and mulch would be stored on the south and west sides of the storage yard. 8' Tall Board on board fencing will be located along the east property line off East Beecher Road, along the south & west property lines of the residential property to the north and along the property line off Galena Road. Gates will be installed on the Galena & East Beecher Roads entrances.**
5. If outside storage of materials and equipment does occur, what steps will be undertaken to protect the wetlands?
 - a. **A vegetated swale has been detailed along the west and east sides of the outside storage yard and the detention pond is along the south side of the storage yard. These grassy areas will provide a buffer for the run off from the storage yard.**

6. Is any other fencing planned for the site? If yes, please describe.
 - a. **Just the 8' board on board fencing described in comment #4.**
7. Is any landscaping planned for the site? If yes, please describe and please provide a schedule for installing the landscaping.
 - a. **A landscape plan has been prepared and is enclosed with this submittal. The landscaping would be installed in late fall 2025.**
8. Is signage planned for the site? If yes, please describe.
 - a. **No signage is proposed at this time.**
9. Will there be any outdoor refuse areas? If yes, please describe.
 - a. **A dumpster pad and enclosure is proposed near the east side of the east building.**
10. I counted 41 parking spaces. Please verify that this number is correct.
 - a. **There are 38 stalls + 4 HC for a total of 42.**
11. Will the parking spaces be used for customers only? Will there be any additional parking spaces for company vehicles or equipment?
 - a. **As the buildings are constructed, the parking areas could be used for employees and customers. Specialty equipment and vehicles would be stored in the rear of the buildings.**
12. What is the lighting plan for the property? Please keep in mind that Section 11:02.F.12.a states that a photometric plan is required for parking lots with 30 or greater parking spaces.
 - a. **Please see attached Photometric Plan.**
13. Since there are several wetlands on the property, will there be any physical barriers or markings delineating the location of the wetlands? I am assuming that the silt fences will not be permanent; please verify.
 - a. **The silt fence has been located on the outside of the wetland areas to protect them. As the grass seed is established across the site, the silt fence could then be removed.**
14. Has the location of the neighbor's septic field been determined?
 - a. **The septic has been re-located onto the residential property, please see the updated septic plan prepared by EDS.**
15. Where will the well be located?
 - a. **We have added the location of the well on the plans.**

If you have any additional questions, please contact us.

Sincerely,

Tebrugge Engineering



John Tebrugge



TEBRUGGE ENGINEERING

410 E. CHURCH ST.—SUITE A
SANDWICH, IL 60548

PHONE: (815) 786-0195
EMAIL: INFO@TEBRUGGEENGINEERING.COM
WEBSITE: WWW.TEBRUGGEENGINEERING.COM

June 10, 2025

Kendall County Planning, Building & Zoning
807 W John Street
Yorkville, IL 60560
Attn: Matt Asselmeier

Re: JPC Tree Care Site Plan

Dear Mr. Asselmeier:

We have received your review email dated June 9, 2025 and the following corrections have been made per your recommendations.

General Comments:

1. The attached cover application was submitted in 2021. Do you still want this to be the cover application for the site plan portion of the request?
Response: Please see the attached revised and updated application.
2. Please verify that the attached legal description that was submitted in 2021 is still accurate.
Response: Yes, the legal description is still accurate.
3. Please submit proof of EcoCat Consultation. The one that was submitted in 2021 has expired.
Response: Please see the attached renewed EcoCAT.
4. Please confirm the use as only a tree storage and mulching business. This is necessary for me to determine the parking calculation.
Response: Yes, it is only a tree storage and mulching business.
5. The subject property was rezoned to M-1 in 2021. As such, the setback from Galena Road should be 40' and the setback from E. Beecher should be 30'.
Response: The required setbacks have been added to the plans and the storage area along Galena has been reduced to be inside this setback.
6. Please provide the size of the asphalt storage area.
Response: The storage area sizes have been added to the plans.
7. Please provide the distance of the asphalt storage area from E. Beecher Road.
Response: The setbacks have been added. The storage area is 30' off Beecher from the closest point at the drive entrance.
8. Please provide the driveway widths.
Response: Additional dimensions have been added around the site showing parking and drive aisle widths.
9. Will there be any mechanical equipment (i.e. HVAC systems)? If yes, will they be screened?

Response: No HVAC or mechanical equipment is proposed at this time. When any buildings are constructed in the future, the HVAC equipment will be screened as required.

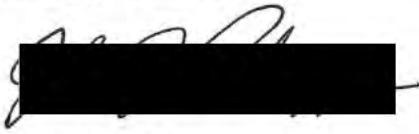
10. Please verify the following section will be met; please keep in mind that this property is not zoned A-1:

Response: The north and east sides of the property will have an 8' tall solid fence installed along the property line opposite the storage areas.

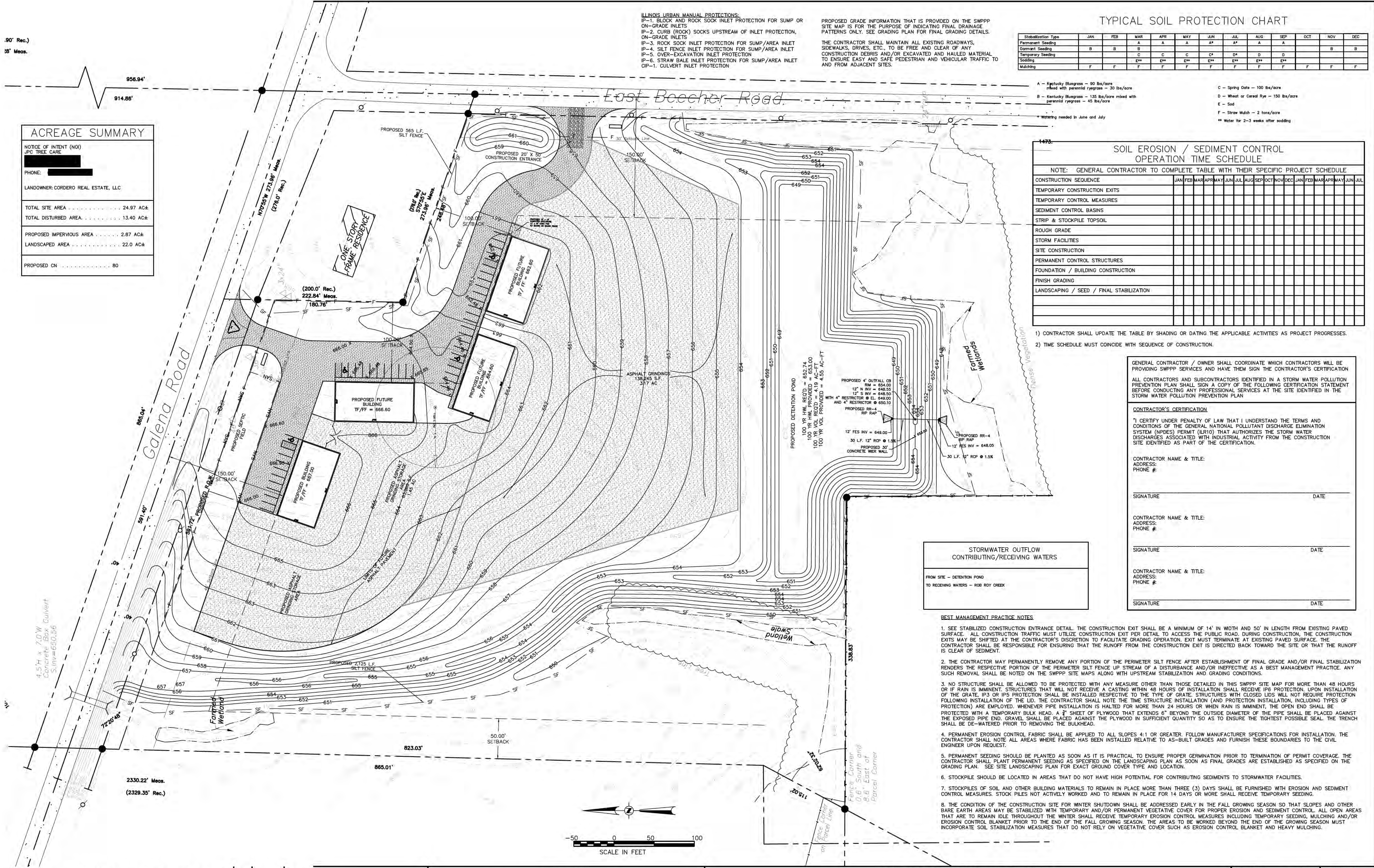
If you have any additional questions, please contact us.

Sincerely,

Tebrugge Engineering

A handwritten signature in dark ink is written over a solid black rectangular redaction box. The signature appears to be 'John Tebrugge'.

John Tebrugge



ILLINOIS URBAN MANUAL PROTECTIONS:
IP-1. BLOCK AND ROCK SOCK INLET PROTECTION FOR SUMP OR ON-GRADE INLETS
IP-2. CURB (ROCK) SOCKS UPSTREAM OF INLET PROTECTION, ON-GRADE INLETS
IP-3. ROCK SOCK INLET PROTECTION FOR SUMP/AREA INLET
IP-4. SILT FENCE INLET PROTECTION FOR SUMP/AREA INLET
IP-5. OVER-EXCAVATION INLET PROTECTION
IP-6. STRAW BALE INLET PROTECTION FOR SUMP/AREA INLET
CIP-1. CULVERT INLET PROTECTION

PROPOSED GRADE INFORMATION THAT IS PROVIDED ON THE SWPPP SITE MAP IS FOR THE PURPOSE OF INDICATING FINAL DRAINAGE PATTERNS ONLY. SEE GRADING PLAN FOR FINAL GRADING DETAILS.
THE CONTRACTOR SHALL MAINTAIN ALL EXISTING ROADWAYS, SIDEWALKS, DRIVES, ETC., TO BE FREE AND CLEAR OF ANY CONSTRUCTION DEBRIS AND/OR EXCAVATED AND HAULED MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM ADJACENT SITES.

TYPICAL SOIL PROTECTION CHART

Stabilization Type	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Permanent Seeding	A	A	A	A	A	A*	A*	A	A			
Domest Seeding	B	B									B	B
Temporary Seeding			C	C	C	C*	D*	D	D			
Sodding			E**	E**	E**	E**	E**	E**	E**			
Mulching	F	F	F	F	F	F	F	F	F	F	F	F

A - Kentucky Bluegrass - 90 lbs/acre mixed with perennial ryegrass - 30 lbs/acre
B - Kentucky Bluegrass - 135 lbs/acre mixed with perennial ryegrass - 45 lbs/acre
C - Spring Oats - 100 lbs/acre
D - Wheat or Cereal Rye - 150 lbs/acre
E - Sod
F - Straw Mulch - 2 tons/acre
* Watering needed in June and July
** Water for 2-3 weeks after sodding

SOIL EROSION / SEDIMENT CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE												
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS												
TEMPORARY CONTROL MEASURES												
SEDIMENT CONTROL BASINS												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE												
STORM FACILITIES												
SITE CONSTRUCTION												
PERMANENT CONTROL STRUCTURES												
FOUNDATION / BUILDING CONSTRUCTION												
FINISH GRADING												
LANDSCAPING / SEED / FINAL STABILIZATION												

- 1) CONTRACTOR SHALL UPDATE THE TABLE BY SHADING OR DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.
- 2) TIME SCHEDULE MUST COINCIDE WITH SEQUENCE OF CONSTRUCTION.

GENERAL CONTRACTOR / OWNER SHALL COORDINATE WHICH CONTRACTORS WILL BE PROVIDING SWPPP SERVICES AND HAVE THEM SIGN THE CONTRACTOR'S CERTIFICATION
ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN A STORM WATER POLLUTION PREVENTION PLAN SHALL SIGN A COPY OF THE FOLLOWING CERTIFICATION STATEMENT BEFORE CONDUCTING ANY PROFESSIONAL SERVICES AT THE SITE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN

CONTRACTOR'S CERTIFICATION

I, CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THE CERTIFICATION.

CONTRACTOR NAME & TITLE:
ADDRESS:
PHONE #:

SIGNATURE _____ DATE _____

CONTRACTOR NAME & TITLE:
ADDRESS:
PHONE #:

SIGNATURE _____ DATE _____

CONTRACTOR NAME & TITLE:
ADDRESS:
PHONE #:

SIGNATURE _____ DATE _____

STORMWATER OUTFLOW CONTRIBUTING/RECEIVING WATERS

FROM SITE - DETENTION POND
TO RECEIVING WATERS - ROB ROY CREEK

- BEST MANAGEMENT PRACTICE NOTES
1. SEE STABILIZED CONSTRUCTION ENTRANCE DETAIL. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 14' IN WIDTH AND 50' IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXIT PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.
 2. THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION. REMOVAL OF THE PERIMETER SILT FENCE UP STREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SWPPP SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.
 3. NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES THAT WILL NOT RECEIVE A CASTING WITHIN 48 HOURS OF INSTALLATION SHALL RECEIVE IP6 PROTECTION. UPON INSTALLATION OF THE GRATE, IP3 OR IP5 PROTECTION SHALL BE INSTALLED RESPECTIVE TO THE TYPE OF GRATE. STRUCTURES WITH CLOSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF THE LID. THE CONTRACTOR SHALL NOTE THE TIME STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 3/4" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE DE-WATERED PRIOR TO REMOVING THE BULKHEAD.
 4. PERMANENT EROSION CONTROL FABRIC SHALL BE APPLIED TO ALL SLOPES 4:1 OR GREATER. FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. THE CONTRACTOR SHALL NOTE ALL AREAS WHERE FABRIC HAS BEEN INSTALLED RELATIVE TO AS-BUILT GRADES AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST.
 5. PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION.
 6. STOCKPILE SHOULD BE LOCATED IN AREAS THAT DO NOT HAVE HIGH POTENTIAL FOR CONTRIBUTING SEDIMENTS TO STORMWATER FACILITIES.
 7. STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES. STOCK PILES NOT ACTIVELY WORKED AND TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
 8. THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN IDLE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.

ACREAGE SUMMARY

NOTICE OF INTENT (NOI)
JPC TREE CARE
PHONE: [REDACTED]
LANDOWNER: CORDERO REAL ESTATE, LLC

TOTAL SITE AREA 24.97 AC±
TOTAL DISTURBED AREA 13.40 AC±

PROPOSED IMPERVIOUS AREA 2.87 AC±
LANDSCAPED AREA 22.0 AC±

PROPOSED CN 80

4.5'H x 7.0'W
Concrete Box Culvert
S.I.V.=650.56

TEBRUGGE ENGINEERING
• SANDWICH, IL 60548
PHONE: (815) 786-0195
TEBRUGGEENGINEERING.COM

1	5.27.25	KENDALL COUNTY EMAIL 5.18.21
2	6.10.25	KENDALL COUNTY EMAIL 6.9.25

PREPARED FOR:
CORDERO REAL ESTATE, LLC
[REDACTED]

JPC TREE CARE SITE PLAN
STORM WATER POLLUTION PREVENTION PLAN

PROJECT NO.	20 467 01	SHEET NO.	3
SCALE:	1" = 50		
DATE:	7/22/20		

1. GENERAL NOTES & DESCRIPTIONS

The Storm Water Pollution Prevention Plan (SWPPP) includes, but is not limited to the Erosion and Demolition Plan included in the Engineers Plans with the Detail Sheet, the Notice of Intent, Permit Authorization, General Permit, Notice of Termination. All records of inspection and activities which are created during the course of the project, and other documents as may be included by reference to this SWPPP. Changes, modifications, revisions, additions, or deletions shall become part of this SWPPP as they occur.

- All Contractors and sub-contractors that are responsible for implementing and measure of the SWPPP must be identified and must certify this SWPPP by signing the SWPPP certification in accordance with Part V.G (Signatory Requirements) of the ILRI0 Permit.

All signed certifications must be kept with the SWPPP documents and be available for inspection.

The Contractor and all sub-contractors involved with construction activity that disturbs site soil or who implement a pollutant control measure identified in the Storm Water Pollution Prevention Plan must comply with the following requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit, the NPDES Permit No. ILRI0 for the State of Illinois and any local governing agency having jurisdiction concerning erosion and sediment control.

A. GENERAL PERMIT INFORMATION
All construction sites that will result in the disturbance of one acre or more must be permitted under the Illinois General NPDES Permit. The Notice of Intent (NOI) has been submitted at the address below. The NOI is for the onsite and offsite improvements. The NPDES Permit will be issued 30 days after the postmark date of the submittal of the NOI and initial yearly fee.

Permit Information: The Owner has mailed the Owner-signed NOI form and the initial yearly fee of \$500 to the address listed below. The Contractor will be responsible for submitting each subsequent \$500 yearly fee, if applicable. A copy of the signed NOI form will be supplied to the Contractor.

Unless notified by the Illinois Environmental Protection Agency (EPA) to the contrary, construction activities may begin in accordance with this SWPPP and the ILRI0 in 30 days following the post mark date of the NOI.

Transfer Information: If a portion of the property is sold, that new Owner may obtain their own general permit by submitting a separate NOI. The original NOI may then be modified by re-submitting the NOI with update acreage and checking the box "change of information". Also include documentation explaining that a lot has been sold, the acreage difference and the date of sale. There is no fee involved with modifying the NOI.

There are no requirements for a pre-construction meeting from any of the reviewing agencies.

Agency Information:
Illinois Environmental Protection Agency
Division of Water Pollution Control
1021 North Grand Avenue East
Springfield, Illinois 62794-9276
Phone: (217) 782-0810
Kendall County
Planning, Building & Zoning
111 West Fox Street
Yorkville, Illinois 60550
Phone: (630) 553-4141

B. PUBLIC POSTING

The following documents will be supplied to the contractor and must be posted on the Entrance Sign in a prominent place for public viewing until termination of permit coverage has been obtained by filing the Notice of Termination (NOT).

1. Notice of Intent signed in accordance with ILRI0.
2. Permit Authorization from the Illinois Environmental Agency (EPA).
3. Construction Site Notice.

The location of the SWPPP must be clearly visible.

C. RETENTION OF RECORDS

A complete copy of the SWPPP, including copies of all inspection reports, plan revisions, etc., must be retained at the project site at all times during the duration of the project (until NOT is filed) and kept in the permanent project records of the Contractor for at least three years following submittal of the Notice of Termination (NOT).

D. CONTRACTOR/SUB-CONTRACTOR LIST

The Contractor must provide names and addresses of all sub-contractors working on this project who will be involved with the major construction activities that disturb site soil. This information must be kept with the SWPPP.

E. CONTRACTOR/SUB-CONTRACTOR CERTIFICATION FORM

The Contractor and all sub-contractors involved with ground disturbing or installation and maintenance of any Best Management Practice (BMP) on site must sign a copy of the Contractor Certification that will be supplied to the Contractor. This information must be kept with the SWPPP.

F. INSPECTIONS

At least once every seven calendar days and with 24 hours of a 0.5 in rainfall event, inspections by documented Contractor Compliance Officers must be made to determine the effectiveness of the SWPPP. If the State or Local agencies have a required inspection form, the both forms must be completed. The SWPPP, including the best management practices implemented on the jobsite, shall be modified as needed to reduce or prevent pollutants from discharging from the site.

An example BMP Inspection Form will be supplied to the Contractor.

A delegation of authority letter authorizing the Contractor Compliance Officer to sign the inspection forms will also be supplied to the Contractor.

The Inspector must be a person familiar with the site, the nature of major construction activities, and qualified to evaluate both overall system performance and individual component performance. The Inspector must either be someone empowered to implement modifications to this SWPPP and the pollutant control devices, if needed, in order to increase effectiveness to an acceptable level, or someone with the authority to cause such things to happen. Additionally, the inspector shall be properly authorized in accordance with the applicable General Permit to conduct the certified site storm water inspections.

See Section VII on this sheet for further reporting requirements.

G. SWPPP UPDATES & AMENDMENTS

This SWPPP must be updated each time there are significant modifications to the pollution prevention system or a change of Contractor(s) working on the project that disturb site soils. The SWPPP must be amended as necessary during the course of construction in order to keep it current with the pollutant control measures utilized on the site. Amending the SWPPP does not mean that it has to be reprinted. It is acceptable to add addenda, sketches, new sections, and/or revised drawings. The site map showing the locations of all storm water controls must be posted on the site and updated to reflect the progress of construction and changes to the SWPPP. Any control measure that has a hydrologic design component must be updated or amended by the Engineer. Substitution of sediment control BMPs beyond those specified in the SWPPP is considered a hydrologic design component.

H. DISCHARGE OF PETROLEUM PRODUCTS OR HAZARDOUS SUBSTANCES

Discharge of Petroleum products or other hazardous substances into storm water or the storm water (storm sewer) system is subject to reporting and clean up requirements. See section V.B. of the SWPPP for State and local information on reporting spills. Refer to the General Permit for additional information.

I. NOTICE OF TERMINATION

Once the site reaches final stabilization as defined in the General Permit, with all permanent erosion and sedimentation controls installed and all temporary erosion and sedimentation controls removed, the Contractor and Owner's representative must complete a final inspection. Upon approval by the Owner's representative, the Owner and Contractor, as applicable, must complete and submit a NOT.

J. CONTRACTORS RESPONSIBILITY

This SWPPP intends to control water-borne and liquid pollutant discharges by some combination of interception, sedimentation, filtration, and containment. The Contractor and sub-contractors implementing this SWPPP must remain alert to the need to periodically refine and update the SWPPP in order to accomplish the intended goals. The Contractor is ultimately responsible for all site conditions and permit compliance.

K. LOG OF CONSTRUCTION ACTIVITY

A record of dates when major ground-disturbing activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated or completed must be maintained until the NOT is filed. A log for keeping such records is included. Controls must be in place down gradient of any ground-disturbing activities prior to the commencement of construction and noted on the Site Map and Record of Stabilization and Construction Activity Dates.

2. INTRODUCTION

This SWPPP includes the elements necessary to comply with the natural baseline general permit for construction activities administered by the US Environmental Protection Agency (EPA) under the National Pollutant Discharge Elimination System (NPDES) program, the NPDES Permit No. ILRI0 for the State of Illinois, and all Local governing agency requirements. This SWPPP must be implemented at the start of construction.

Construction phase pollutant sources anticipated at the site are disturbed (bare) soil, vehicle fuels and lubricants, chemicals associated with building construction, and building materials. Without adequate control there is a potential for each type of pollutant to be transported by storm water. Project construction will consist primarily of site grading, utility service connections, and site paving to facilitate construction.

A. PURPOSE

A major goal of pollution prevention efforts during project construction is to control soil and pollutants that originate on the site and prevent them from flowing to surface waters. The purpose of this SWPPP is to provide guidelines for achieving that goal. A successful pollution prevention program also relies upon careful inspection and adjustments during the construction process in order to enhance its effectiveness.

B. SCOPE

This SWPPP must be implemented before construction begins on the site. It primarily addresses the impact of storm rainfall and runoff on areas of the ground surface disturbed during the construction process. In addition, there are recommendations for controlling other sources of pollution that could accompany the major construction activities. The SWPPP will terminate when disturbed areas are stabilized, permanent erosion and sedimentation controls are installed, temporary erosion and sedimentation controls are removed, construction activities covered herein have ceased, and a completed Notice of Termination (NOT) is transmitted to the governing agency.

3. PROJECT DESCRIPTION

Described below are the major construction activities that are subject of this SWPPP. Also included in the sequence are BMP installation activities that must take place prior to construction activities. NOTE: Down slope protective measures must always be in place before soil is disturbed. Activities are presented in the order (sequence) they are expected to be completed.

All activities and time frames (beginning and ending dates) shall be noted on the Site Map. The sequence of construction is as follows:

Upon implementation and installation of the following areas: trailers, parking, lay down, porta-potty, wheel wash, concrete washout, mason's area, fuel and material storage containers, solid waste containers, etc., immediately denote them on the Site Maps and note any changes in location as they occur throughout the construction process.

Typical Stage of Construction, Items shall be added or deleted as needed for each individual project.

Phase I

1. Install stabilized construction entrance and SWPPP Entrance Sign.
2. Install all fence(s) on the site (clear only those areas necessary to install all fence).
3. Prepare temporary parking and storage area.
4. Install and stabilize hydraulic control structures (dikes, swales, check dams, etc.).
5. Begin grading the site.
6. Start construction of building pad and structures.

Phase II

7. Temporarily seed, throughout construction, denuded areas that will be inactive for 14 days or more.
8. Install utilities, underdrains, storm sewers, curbs and gutters.
9. Install inlet protection at all storm sewer structures as each inlet structure is installed.
10. Permanently stabilize areas to be vegetated as they are brought to final grade.
11. Prepare site for paving.
12. Pave site.
13. Install appropriate inlet protection devices for paved areas as work progresses.
14. Complete grading and installation or permanent stabilization over all areas including outlots.
15. Call Engineer after the site appears to be fully stabilized for inspection.
16. Remove all temporary erosion and sediment control devices after approval of the Engineer and stabilize any areas disturbed by the removal of the BMP.

NOTE: The Contractor may complete construction-related activities concurrently only if all preceding BMPs have been completely installed.

The actual schedule for implementing pollutant control measures will be determined by project construction progress and recorded by the Contractor on the Soil Erosion/Sediment Control Operation Time Schedule on the Erosion and Sediment Control Plans. Down slope protective measures must always be in place before soil is disturbed.

4. SITE DESCRIPTION

1. Site description
Site construction activities consist of general site clearing of trees and stumps, general grading, construction of detention pond, buildings, and parking with finish grading and landscaping.
2. Total area of site = 24.97 acres
Total disturbed area on site = 13.40 acres
3. Estimated site runoff coefficient after construction activities are complete: CN=80.
4. Site map included indicating existing & proposed slopes across site is included in SWPPP.
5. Site drainage is received by Rob Roy Creek.

5. STORM WATER POLLUTION PREVENTION MEASURES AND CONTROLS

A variety of storm water pollution controls are recommended for this project. Some controls are intended for function temporarily and will be used as needed for pollutant control during the construction period. These include temporary sediment barriers and permanent storm retention ponds (which can also function as temporary sediment basins). Permanent stabilization will be accomplished in all disturbed areas by covering the soil with pavement, building foundation, vegetation, or other forms of soil stabilization.

A. EROSION AND SEDIMENT CONTROLS

1. Soil Stabilization
The purpose of soil stabilization is to prevent soil from eroding and leaving the site. In the natural condition, soil is stabilized by native vegetation. The primary technique to be used at this project for stabilizing site soils will be to provide a protective cover of grass, pavement, or building structure.

a) Temporary Seeding or Stabilization – All denuded areas that will be inactive for 14 days or more, must be stabilized temporarily with the use of fast-germinating annual grass/grain varieties, straw/hay mulch, wood cellulose fibers, tackifiers, netting or blankets.

b) Permanent Seeding or Sodding – All areas at final grade must be seeded or sodded within 14 days after completion of work in any area. The entire site must have permanent vegetative cover established in all areas not covered by hardscape at the completion of all soil disturbing activities on site. Except for small level spots, seeded areas should generally be protected with mulch or a rolled erosion control product. All areas to be seeded will have topsoil and other soil amendments as specified on the Landscape Plan.

2. Structural Controls

a) Silt Fence – Silt fence is a synthetic permeable woven or non-woven geotextile fabric incorporating metal support stakes at intervals sufficient to support the fence (5-foot maximum distance between posts), water, and sediment retained by the fence. The fence is designed to retain sediment-laden storm water and allow settlement of suspended solids before the storm water flows through the fabric and discharges off-site. Silt fence shall be located on the contour to capture overland, low-velocity sheet flows. The Contractor may utilize triangular silt dike and/or non-wire backed silt fence as intermediate BMPs. Install silt fence at a fairly level grade along the contour with the ends curved upward to provide sufficient upstream storage volume for the anticipated runoff. Drainage areas shall not exceed 1 acre per 100 feet of silt fence for slopes less than 2 percent.

b) Construction Exit – All access points from the public street into the construction site shall include a construction exit composed of coarse stone to the dimensions shown on the Existing Conditions and Demolition Plan. The rough texture of the stone helps to remove clumps of soil adhering to the construction vehicles tires through the action of vibration and jarring over the rough surface and the friction of the stone matrix against soils attached to vehicle tires.

In addition, to the stone at the construction exit, it may be necessary to install devices such as pipes (cattle guard) to increase the vibration and jarring. It may also be necessary to install a wheel wash system. If this is done, a sediment trap control must be installed to treat the wash water before it discharges from the site.

All site access must be confined to the Construction Exit(s). Barricade, sufficient to prevent use, any locations other than Construction Exit(s) where vehicles or equipment may access the site.

a) Storm Sewer Inlet Protection – Curb and grated inlets are protected from the intrusion of sediment through a variety of measures as shown on the details included in the Construction drawings. The primary mechanism is to place controls in the path of flow sufficient to slow the sediment-laden water to allow settlement of suspended solids before discharging into the storm sewer. It is possible that as construction progresses from storm sewer installation through paving that the silt protection devices should change. All inlet protection devices create ponding of storm water. This should be taken into consideration when deciding on which device or devices should be used.

d) Inspection and any necessary cleaning of the underground storm system shall be included as part of this swppp.

Final site stabilization is achieved when perennial vegetative cover provides permanent stabilization with a density greater than 70 percent over the entire area to be stabilized by vegetative cover. This is exclusive of areas paved, seeded, or having a building on them.

B. OTHER POLLUTANT CONTROLS

This section includes the controls of pollutants other than sediment and additional requirements of the General Permit.

1. Dust Control

Construction traffic must enter and exit the site at the stabilized construction exit. Water trucks or other dust control agents will be used as needed during construction to reduce dust generated on the site. Dust control must be provided by the Contractor to a degree that is in compliance with applicable Local and State dust control regulations.

2. Solid Waste Disposal

No solid materials, including building materials, are allowed to be discharged from the site with storm water. All solid waste, including disposable materials incidental to the major construction activities, must be collected and placed in containers. The containers will be emptied as necessary by a contract trash disposal service and hauled away from the site. Covers for the containers will be provided as necessary to meet State and Local requirements. The location of solid waste receptacles shall be shown on the Site Maps.

Substances that have the potential for polluting surface and/or groundwater must be controlled by whatever means necessary in order to ensure that they do not discharge from the site. An extreme special care must be exercised during equipment fueling and servicing operations. If a spill occurs, it must be contained and disposed of so that it will not flow from the site or enter groundwater. If a spill occurs, it must be contained and disposed of so that it will not flow from the site or enter groundwater. If a spill occurs, it must be contained and disposed of so that it will not flow from the site or enter groundwater. If a spill occurs, it must be contained and disposed of so that it will not flow from the site or enter groundwater.

3. Sanitary Facilities

All personnel involved with construction activities must comply with State and Local sanitary or septic regulations. Temporary sanitary facilities will be provided at the site throughout the construction phase. They must be utilized by all construction personnel and will be serviced by a commercial operator. The location of sanitary facilities shall be shown on the Site Map.

4. Non-Storm Water Discharge

Non-storm water components of site discharges are not permitted under ILRI0 except as follows: discharges from fire fighting activities; fire hydrant flushings; water used to wash vehicles where detergents are not used; waters used to control dust; potable water discharges including uncontaminated waterline flushings; irrigation discharges; routine external building washdowns; and water used for domestic purposes. Discharges of toxic or hazardous materials are prohibited. Discharges of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used, air conditioning condensate, springs, uncontaminated ground water, and foundation or footing drains where flows are not contaminated with process materials such as solvents.

5. Concrete Washout from Concrete Ready-Mix Trucks
Discharge of excess or waste concrete and/or wash water from concrete trucks will be allowed on the construction site, but only in specifically designated diked areas prepared to prevent contact between the concrete and/or wash water and storm water that will be discharged from the site. Alternatively, waste concrete can be placed into forms to make rip rap or other useful concrete products. The cured residue from the concrete washout diked areas shall be disposed in accordance with applicable State and Federal regulations. The jobsite superintendent is responsible for ensuring that these procedures are followed. The location of concrete washout areas shall be shown on the Site Maps.

6. Mason's Area

Contractor shall identify mason's area on the site and indicate location on the Site Map. To the extent practical, all masonry tools, material, including sand and sacked cement or mortar materials, and equipment shall be located within the area identified. Runoff control, such as berms or diversion dikes, silt fence, straw wattles, or other means of containment shall be provided to prevent the migration of storm water pollutants in runoff from the mason's area. Recaptures for debris and trash disposal shall also be provided.

7. Fuel Tanks

Temporary on-site fuel tanks for construction vehicles shall meet all State and Federal regulations. Tanks shall have approved spill containment with the capacity required by the applicable regulations. The tanks shall be in sound condition free of rust or other damage which might compromise containment. Fuel storage areas will meet all EPA, OSHA and other regulatory requirements for storage, fire extinguisher, etc. Hoses, valves, fittings, caps, filler nozzles and associated hardware shall be maintained in proper working condition at all times. The location of fuel tanks shall be shown on the Site Maps.

8. Spill Prevention, Control and Countermeasure (SPCC) Plan must be developed if aboveground oil storage capacity at the construction site exceeds 1,320-gallons. Containers with storage capacity of 55-gallons or less are not included when calculating site storage capacity. The Contractor shall work with the Civil Engineering Consultant to develop and implement a SPCC Plan in accordance with the Oil Pollution Prevention regulation at Title 40 of the Code of Federal Regulations, Part 112, (40 CFR 112).

9. Hazardous Material Management and Spill Reporting Plan

Any hazardous or potentially hazardous material that is brought onto the construction site will be handled properly in order to reduce the potential for storm water pollution. All materials used on this construction site will be properly stored, handled, dispensed and disposed of following all applicable label directions. Material Safety Data Sheets (MSDS) information will be kept on site for any and all applicable materials.

In the event of an accidental spill, immediate action will be undertaken by the Contractor to contain and remove the spilled material. All hazardous materials will be disposed of by the Contractor in the manner specified by Federal, State and Local regulations and by the manufacturer of such products. As soon as possible, the spill will be reported to the appropriate agencies. As required under the provisions of the Clean Water Act, any spill or discharge entering waters of the United States will be properly reported. The Contractor will prepare a written record of any spill of petroleum products or hazardous materials in excess of reportable quantities and will provide notice to Owner within 24-hours of the occurrence of the spill.

Any spills of petroleum products or hazardous materials in excess of Reportable Quantities as defined by EPA shall be immediately reported to the EPA National Response Center (1-800-424-8802). In addition, 35 ILCS Code 750.410 requires notification of IMA (1-800-782-7880). Reportable chemical spill quantities are those listed for hazardous substances under Superfund, or as extremely hazardous substances under the Superfund Reauthorization and Amendments Act of 1986 (SARA), the emergency planning statute which also establishes threshold planning quantities (22 ILCS Admin. Code 430.30). Oil spills are reportable if they must be reported under the Federal Water Pollution Control Act. This generally includes spills that are in excess of 25 gallons and/or "may be harmful to the public health or welfare" (40 CFR 110). Harmful discharges include those that (1) violate applicable water quality standards, or (2) leave a film, sheen, water or oil slick on shorelands or cause oil sludge or emulsion to be deposited beneath the water's surface or on adjoining shorelands. The reportable quality for hazardous materials can be found in 40 CFR 302 or by contacting the IMA (1-800-782-7888).

In order to minimize the potential for a spill of petroleum product or hazardous materials to come in contact with storm water, the following steps will be implemented:

- a) All materials with hazardous properties (such as pesticides, petroleum products, fertilizers, detergents, construction chemicals, acids, paints, paint solvents, additives for soil stabilization, concrete, curing compounds and additives, etc.) will be stored in a secure location, under cover, when not in use.
- b) The minimum practical quantity of all such materials will be kept on the job site and scheduled for delivery as close to time of use as practical.

a) All products will be stored in and used from the original container with the original product label.

a) All products will be used in strict compliance with instructions on the product label.

a) The disposal of excess or used products will be in strict compliance with instructions on the product label.

9. Long Term Pollutant Controls
Storm water pollution control measures installed during construction, that will also provide storm water management benefits after construction, include turf areas in sufficient quantity so as to provide a site impervious ratio (ISR) of 0.78.

C. CONSTRUCTION PHASE "BEST MANAGEMENT PRACTICES" (BMPs)

During the construction phase, the Contractor shall implement the following measures:

1. Materials resulting from the clearing and grubbing or excavation operations shall be stockpiled up slope from disturbed areas. Materials removed to an off-site location shall be protected with appropriate controls and property protected.
2. The Contractor shall designate areas on the Site Map for equipment cleaning, maintenance, and repair. The Contractor and sub-contractors shall utilize such designated areas. Cleaning, maintenance, and repair areas shall be protected by a temporary perimeter barrier that not be more than 150 feet of any waterway, water body or wetland, and in areas located as far as practical from storm water inlets.
3. Use of detergents for large scale washing is prohibited (i.e. vehicles, buildings, pavement, surfaces, etc.).

4. Chemicals, paints, solvents, fertilizers, and other toxic materials must be stored in waterproof containers. Except during application, the containers, the contents must be kept in trucks or within storage facilities. Runoff containing such material must be collected, removed from the site, treated, and disposed of at an approved solid waste and chemical disposal facility.

D. OFF-SITE FACILITIES IN THE OPERATIONAL CONTROL OF THE CONTRACTOR

Whenever dirt, rock, or other materials are imported to the construction site or exported for placement in areas off of the primary construction site, the Contractor is responsible for determining that all storm water permitting and pollution control requirements are met for each site which receives such materials or from which site materials are taken. Prior to the disturbance of any such site, Contractor will confirm that the operators of the site they are importing to or exporting from have properly obtained all required permits, and will comply with all laws, regulations and permit conditions applicable to such sites.

At a minimum, each off-site area that provides or receives material or is disturbed by project activities must implement erosion and sediment control measures consisting of perimeter controls on all down slope and side slope boundaries and must also provide for both temporary stabilization and for permanent re-vegetation after all disturbances have ended.

4. LOCAL PLANS

In addition to this SWPPP, construction activities associated with this project must comply with any guidelines set forth by Local regulatory agencies. The Contractor shall maintain documents evidencing such compliance in this SWPPP.

5. INSPECTIONS AND SYSTEM MAINTENANCE

Between the time this SWPPP is implemented and final Notice of Termination has been submitted, all disturbed areas and pollutant controls must be inspected weekly and within 24 hours of the end of a storm event 0.5 inches or equivalent rainfall. The purpose of site inspections is to assess performance of pollutant controls. The inspections will be conducted by the Contractor's Site Superintendent. Based on these inspections, the Contractor will decide whether it is necessary to modify this SWPPP, add or relocate controls, or revise or implement additional Best Management Practices in order to prevent pollutants from leaving the site via storm water runoff. The Contractor has the duty to cause pollutant control measures to be repaired, modified, supplemented, or take additional steps as necessary in order to achieve effective pollutant control.

Examples of specific items to evaluate during site inspections are listed below. This list is not intended to be comprehensive. During each inspection, the Inspector must evaluate overall pollutant control system performance as well as particular details of individual system components. Additional factors should be considered as appropriate to the circumstances.

A. CONSTRUCTION EXIT AND TRACK OUT

Locations where vehicles enter and exit the site must be inspected for evidence of off-site sediment tracking. A stabilized construction exit shall be constructed where vehicles enter and exit. Edits shall be maintained or supplemented with additional rock as necessary to prevent the release of sediment from vehicles leaving the site. Any sediment deposited on the roadway, shall be swept as necessary throughout the day or at the end of every day and disposed of in an appropriate manner. Sediment shall NOT be washed into storm sewer systems.

B. SEDIMENT CONTROL DEVICES

Sediment barriers, traps and basins must be inspected and they must be cleaned out at such time as their original capacity has been reduced by 50 percent. All material excavated from behind sediment barriers or in traps and basins must be incorporated into on-site soils or spread out on an upland portion of the site and stabilized. Additional sediment barriers must be constructed as needed.

C. MATERIAL STORAGE AREAS

Inspections shall evaluate disturbed areas and areas used for storing materials that are exposed to rainfall for evidence of, or the potential for, pollutants entering the drainage system or discharging from the site. If necessary, the materials must be covered or original covers must be repaired or supplemented. Also, protective berms must be constructed, if needed, in order to contain runoff from material storage areas. All State and Local regulations pertaining to material storage areas will be adhered to.

D. VEGETATION

Grassed areas shall be inspected to confirm that a healthy stand of grass is maintained. The site has achieved final stabilization once all areas are covered with building foundation or pavement, or have a stand of grass with a minimum of 70 percent density or greater over the entire vegetated area in accordance with the General Permit requirements. The vegetative density must be maintained to be considered stabilized. Area must be watered, fertilized, and re-seeded as needed to achieve this requirement.

E. DISCHARGE POINTS

All discharge points must be inspected to determine whether erosion and sediment control measures are effective in preventing discharge of sediment from the site or impacts to receiving waters.

The Inspection Report Form must identify all deficiencies, any corrections, whether they are identified during the current inspection or have occurred since the previous inspection, and any additional comments. Based on inspection results, any modification necessary to increase effectiveness of this SWPPP to an acceptable level must be made immediately, but no longer than within 48 hours of inspection. The inspections reports must be complete and additional information should be included to support the findings of the inspection report. If the inspection report is the basis of additional measures that need to be taken to enhance plan effectiveness, the inspection report must identify whether the site was in compliance with the SWPPP at the time of inspection and specifically identify all incidents of non-compliance.

The Inspection Report Form must summarize the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of this SWPPP, and actions taken in accordance with section 4.b shall be made and retained as part of the plan for at least six years after the date of the inspection. The report shall be signed in accordance with Part V.G of the General Permit.

If any violation of the provisions of this plan is identified during the course of the construction work covered by this plan, the Contractor's Compliance Officer shall complete and file an "Incidence of Noncompliance" (ION) report for any identified violation. The Contractor's Compliance Officer shall use forms provided by the IEPA and shall include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted in noncompliance. All reports of noncompliance shall be signed by a responsible authority in accordance with Part V.G of the General Permit. The report of noncompliance shall be mailed to the following address:

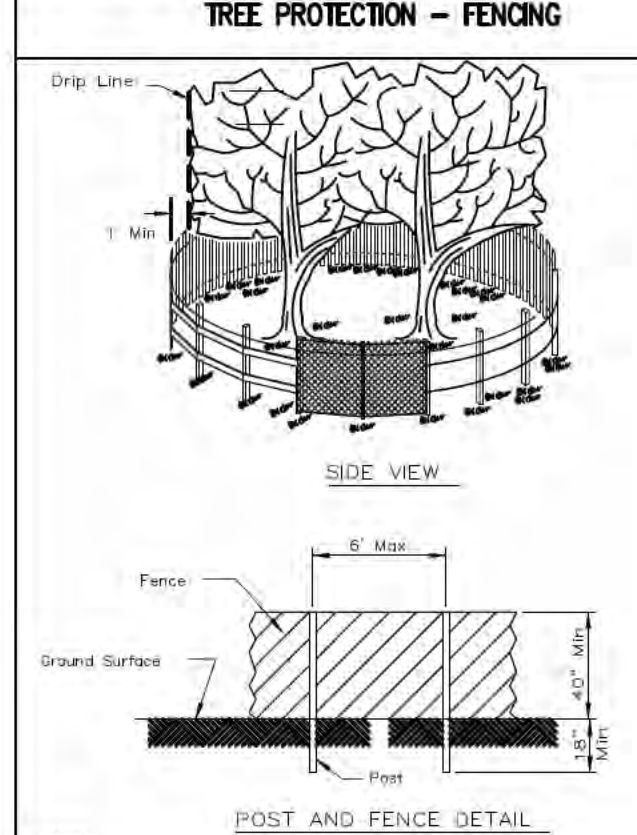
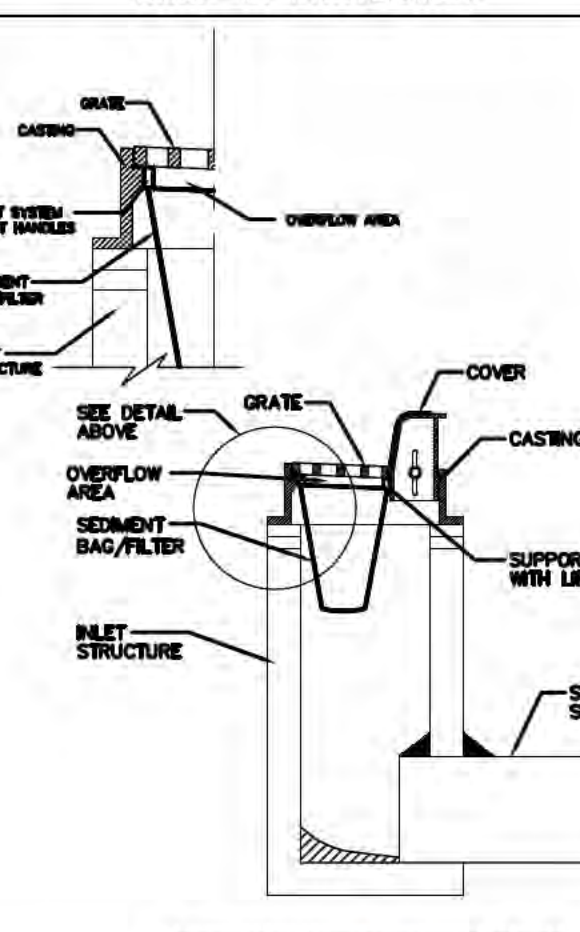
Illinois Environmental Protection Agency
Division of Water Pollution Control
Attn: Compliance Assurance Section
1021 North Grand East
P.O. Box 19276
Springfield, IL 62794-9276

Ultimately, it is the responsibility of the General Contractor to assure the adequacy of site pollutant discharge controls. Actual physical site conditions or Contractor practices could make it necessary to install more structural controls than are shown on the plans. For example, Localized concentrations of runoff could make it necessary to install additional sediment barriers. Assessing the need for additional controls and implementing them or adjusting existing controls will be a continuing aspect of this SWPPP until the site achieves final stabilization. Any modifications, additions or deletions of sediment control devices must be approved by the Engineer through written communications.

CONCRETE WASHOUT NOTE:

CONCRETE WASHOUT SHOULD BE CONTAINED AT ALL TIMES. WASHOUT MATERIAL SHOULD NOT BE ALLOWED TO ENTER WATER BODIES, STORM SEWERS OR LEACH INTO THE SOIL UNDER ANY CIRCUMSTANCES. ANY WASTE SHOULD BE DISPOSED OF PROPERLY AND THE LOCATION OF THE WASHOUT SHOULD BE DESIGNATED WITH PROPER SIGNAGE. FAILURE TO COMPLY COULD RESULT IN AN INCIDENT OF NONCOMPLIANCE (ION).

TEMPORARY CONCRETE WASHOUT FACILITY – EARTHEN TYPE

TREE PROTECTION – FENCING**INLET PROTECTION – PAVED AREAS DROP-IN PROTECTION**

GENERAL CONDITIONS

1. ALL EARTHWORK, ROADWAY WORK, DRAINAGE WORK OR STORM SEWER WORK SHALL BE PERFORMED UTILIZING MATERIALS AND METHODS IN STRICT ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.
2. ALL SANITARY SEWER AND WATER MAIN WORK SHALL BE PERFORMED USING METHODS AND MATERIALS IN STRICT ACCORDANCE WITH THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.
3. ANY SPECIFICATIONS WHICH ARE SUPPLIED ALONG WITH THE PLANS SHALL TAKE PRECEDENCE IN THE CASE OF A CONFLICT WITH THE STANDARD SPECIFICATIONS NOTED IN ITEMS NO. 1 AND 2 ABOVE. THE ABOVE STANDARD SPECIFICATIONS & THE CONSTRUCTION PLANS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED A PART OF THE CONTRACT.
4. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
5. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE GOVERNING MUNICIPALITY, OTHER APPLICABLE GOVERNMENTAL AGENCIES, AND THE OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. HE SHALL MAKE ARRANGEMENTS FOR THE PROPER BRIDG, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS, ALONG WITH ADEQUATE TRAFFIC CONTROL MEASURES. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
7. THE UTILITY LOCATIONS, AND THE DEPTHS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY, AND SHALL BE VERIFIED BY THE CONTRACTOR WITH ALL AFFECTED UTILITY COMPANIES PRIOR TO INITIATING CONSTRUCTION OPERATIONS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE ADEQUACY, SUFFICIENCY OR EXACTNESS OF THESE UTILITY REPRESENTATIONS.
8. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE OFFICE OF J.U.L.I.E. AT 1-800-892-0123 FOR EXACT FIELD LOCATION OF ALL UNDERGROUND UTILITIES IN THE PROXIMITY OF, AND ON, THE PROJECT SITE. IF THERE ARE ANY UTILITIES WHICH ARE NOT MEMBERS OF THE J.U.L.I.E. SYSTEM, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THIS AND MAKE ARRANGEMENTS TO HAVE THESE UTILITIES FIELD LOCATED.
9. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH THE CONSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR RELOCATING THESE FACILITIES AT HIS EXPENSE TO ACCOMMODATE THE NEW CONSTRUCTION.
10. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
11. IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THIS SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
12. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OF FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
13. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND FEDERAL SAFETY REGULATIONS AS OUTLINED IN THE LATEST REVISIONS OF THE FEDERAL CONSTRUCTION SAFETY STANDARDS (SERIES 1926) AND WITH APPLICABLE PROVISIONS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS OF THE WILLIAMS STELGER OCCUPATIONAL HEALTH STATE SAFETY ACT OF 1970(REVISED). THE CONTRACTOR, ENGINEERS, AND OWNER SHALL EACH BE RESPONSIBLE FOR HIS OWN RESPECTIVE AGENTS AND EMPLOYEES.
14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND ALL GOVERNING AUTHORITIES, THEIR AGENTS SUCCESSORS AND ASSIGNS FROM ANY AND ALL LIABILITY WITH RESPECT TO THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK REQUIRED ON THIS PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THE WORK OF THIS CONTRACT IN A MANNER WHICH STRICTLY COMPLIES WITH ANY AND ALL PERTINENT LOCAL, STATE OR NATIONAL CONSTRUCTION AND SAFETY CODES; THE ENGINEER, OWNER, AND GOVERNING AUTHORITIES ARE NOT RESPONSIBLE FOR ENSURING COMPLIANCE BY THE CONTRACTOR WITH SAID CODES AND ASSUME NO LIABILITY FOR ACCIDENTS, INJURIES, OR DEATHS, OR CLAIMS RELATING THERETO WHICH MAY RESULT FROM LACK OF ADHERENCE TO SAID CODES.

UNDERGROUND UTILITIES

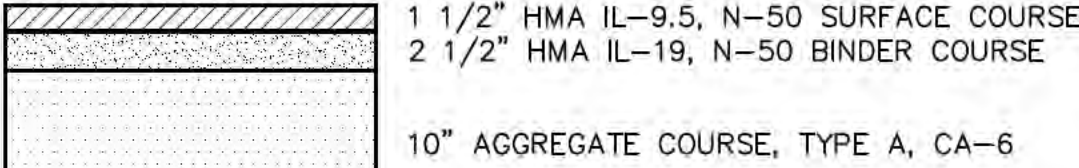
1. ALL UTILITY TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PROPOSED OR EXISTING PAVEMENT, DRIVEWAYS, SIDEWALKS AND FOR A DISTANCE OF TWO FEET ON EITHER SIDE OF SAME, AND/OR WHEREVER ELSE SHOWN ON THE CONSTRUCTION PLANS SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-6 OR CA-7) AND THOROUGHLY COMPACTED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
2. UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CULVERT PIPE OF THE CLASS AS INDICATED ON THE PLANS, AND CONFORMING TO ASTM C-78. JOINTS SHALL TYPICALLY BE A "TROWEL APPLIED" BITUMINOUS IN ACCORDANCE WITH ASTM C-76 (OR C-14) AS MAY BE APPLICABLE OR RUBBER "O"-RING GASKET JOINTS CONFORMING TO ASTM C-443). LOCATIONS WHERE THE STORM SEWER CROSSES WATERMAINS AN "O"-RING JOINT IN ACCORDANCE WITH ASTM C-361 SHALL BE USED.
3. STORM SEWER MANHOLES SHALL BE PRECAST STRUCTURES, WITH THE MANHOLE DEPENDENT ON THE PIPE SIZE AND WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION STANDARDS). LIDS SHALL BE IMPRINTED "STORM SEWER". ALL FLARED END SECTIONS SHALL HAVE A FRAME & GRATE INSTALLED.
4. THESE FRAME AND GRATES FOR STORM STRUCTURES SHALL BE USED UNLESS OTHERWISE INDICATED ON THE PLAN SET. USE NEENAH R-1712 OPEN LID (OR EQUAL) IN PAVEMENT AREAS, USE NEENAH R-1772-B OPEN OR CLOSED LID (OR EQUAL) IN GRASS AREAS, USE NEENAH R-3015 (OR EQUAL) FOR B6.12 CURB AREAS, AND NEENAH R-3509 (OR EQUAL) FOR DEPRESSED CURB AREAS.
5. STRUCTURES FOR SANITARY AND STORM SEWERS AND VALVE VAULTS FOR WATER SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AMONG THESE STRUCTURES THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
6. ALL STORM SEWERS AND WATERMAINS SHALL HAVE COMPACTED CA-7 GRANULAR BEDDING, A MINIMUM OF 4" BELOW THE BOTTOM OF THE PIPE FOR THE FULL LENGTH. BEDDING SHALL EXTEND TO THE SPRING LINE OF THE PIPE. COST FOR THE BEDDING SHALL BE INCLUDED WITH THE UNIT PRICE BID FOR THE PIPE.
7. THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION FOR THE INSTALLATION OF THE SEWER OR WATER SYSTEMS. ANY DEWATERING ENCOUNTERED SHALL BE INCIDENTAL TO THE RESPECTIVE UNDERGROUND UTILITY.
8. ALL STRUCTURES SHALL HAVE A MAXIMUM OF 8" OF ADJUSTING RINGS, UNLESS OTHERWISE NOTED.
9. ALL TOP FRAMES FOR STORM AND VALVE VAULT COVERS AND B-BOXES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE UPON COMPLETION OF FINISHED GRADING AND FINAL INSPECTIONS. THIS ADJUSTMENT IS TO BE MADE BY THE UNDERGROUND CONTRACTOR AND THE COST IS TO BE INCIDENTAL TO THE UNDERGROUND CONTRACTOR SHALL INSURE THAT ALL ROAD AND PAVEMENT INLETS OR STRUCTURES ARE AT FINISHED GRADE. ANY ADJUSTMENTS NECESSITATED BY THE CURB OR PAVING CONTRACTOR TO ACHIEVE FINAL RIM GRADE, RESULTING IN AN EXTRA FOR SAID ADJUSTMENTS, WILL BE CHARGED TO THE UNDERGROUND CONTRACTOR.
10. ALL FLOOR DRAINS AND FLOOR DRAIN SUMP PUMPS SHALL DISCHARGE INTO THE SANITARY SEWER.
11. ALL DOWNSPOUTS, FOOTING DRAINS AND SUBSURFACE STORM WATERS SHALL DISCHARGE INTO THE STORM SEWER OR ONTO THE GROUND AND BE DIRECTED TOWARDS A STORM SEWER STRUCTURE.
12. ANY ANTICIPATED COST OF SHEETING SHALL BE REFLECTED IN THE CONTRACT AMOUNTS. NO ADDITIONAL COST WILL BE ALLOWED FOR SHEETING OR BRACING.
13. THE CONTRACTOR SHALL INSTALL A 2"x4"x8" POST ADJACENT TO THE TERMINUS OF THE SANITARY SERVICE, WATERMAIN, SANITARY MANHOLES, STORM STRUCTURES, AND WATER VAULTS. THE POST SHALL EXTEND A MINIMUM OF 4 FT. ABOVE THE GROUND. SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY-GREEN, WATER-BLUE, AND STORM-RED.
14. IT SHALL BE THE RESPONSIBILITY OF THE UNDERGROUND CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

EARTHWORK

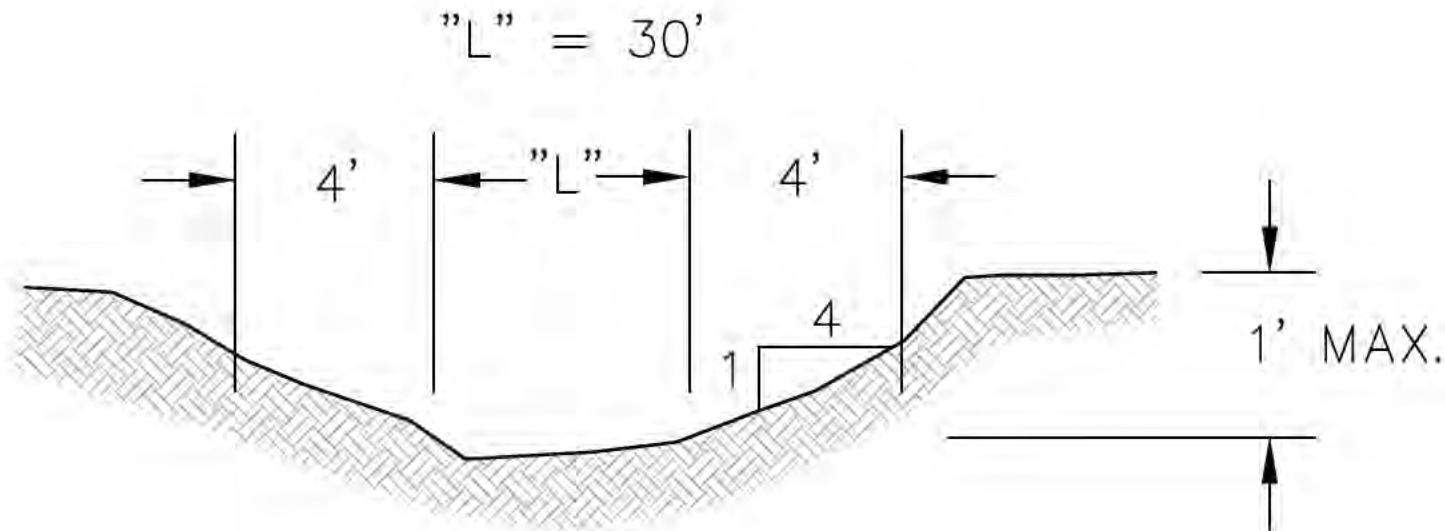
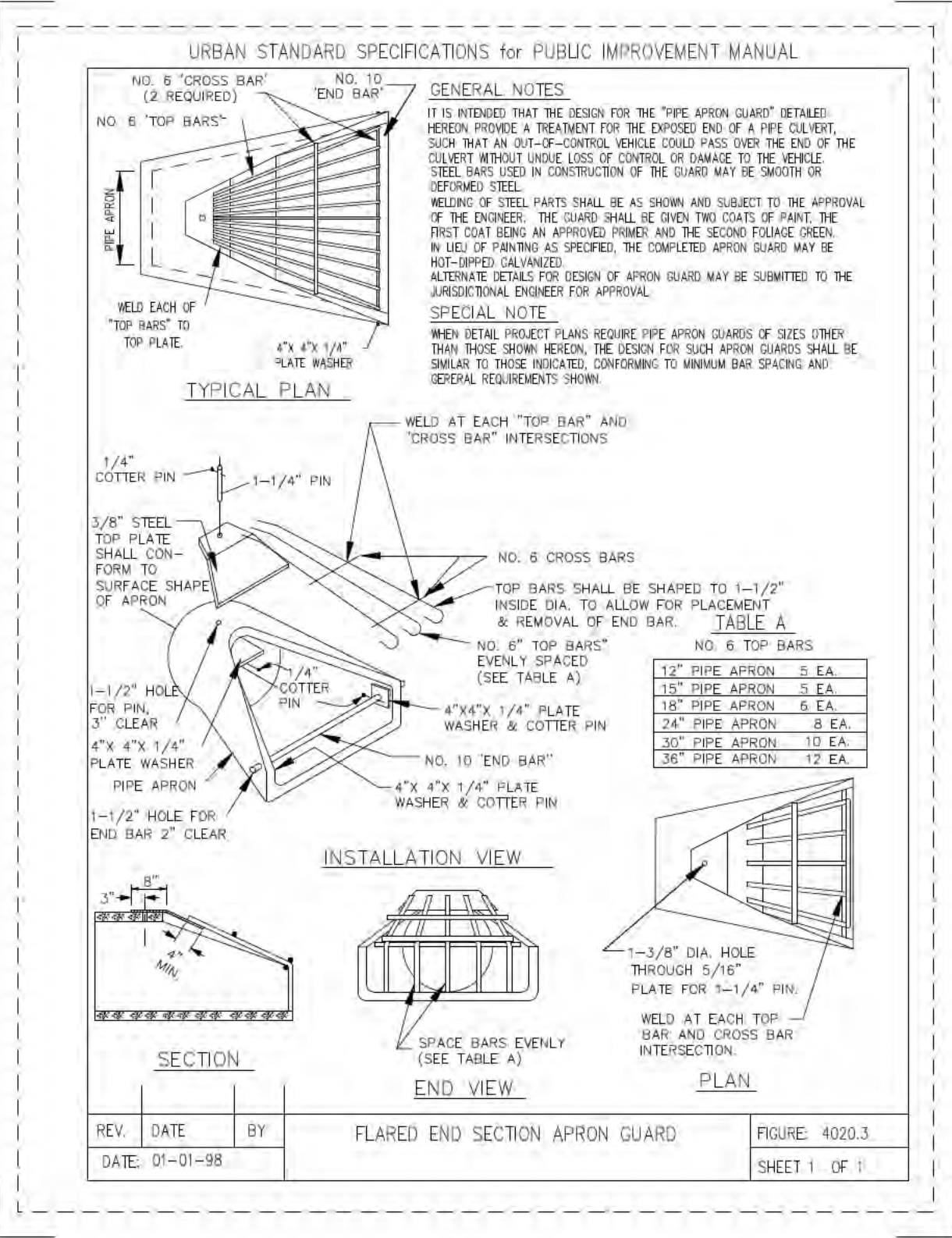
1. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE I.D.O.T. SPECIFICATIONS.
2. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS AND SURVEY MONUMENTS AND SHALL RESTORE ANY WHICH ARE DISTURBED BY HIS OPERATIONS AT NO ADDITIONAL COST TO THE CONTRACT.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.
4. PRIOR TO ONSET OF MASS GRADING OPERATIONS THE EARTHWORK CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL EROSION CONTROL SPECIFICATIONS AND EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT FENCING, ETC. TO PROTECT ADJACENT PROPERTY SHALL OCCUR BEFORE MASS GRADING BEGINS, AND IN ACCORDANCE WITH THE SOIL EROSION CONTROL CONSTRUCTION SCHEDULE.
5. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER.
6. THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
7. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE, A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED.
8. THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"). IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT A GREATER THICKNESS, THEN A GREATER THICKNESS MAY BE SPECIFIED, EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.
9. EMBANKMENT MATERIAL WITHIN ROADWAY, PARKING LOT, AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOIL ENGINEER.
10. EMBANKMENT MATERIAL (RANDOM FILL) WITHIN NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-157 (MODIFIED PROCTOR METHOD).
11. THE SUB GRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR AND ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE SOILS ENGINEER.
12. SOIL BORING REPORTS, IF AVAILABLE, ARE SOLELY FOR THE INFORMATION AND GUIDANCE OF THE CONTRACTORS. THE OWNER AND ENGINEER MAKE NO REPRESENTATION OR WARRANTY REGARDING THE INFORMATION CONTAINED IN THE BORING LOGS. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATIONS AND SHALL PLAN HIS WORK ACCORDINGLY. ARRANGEMENTS TO ENTER THE PROPERTY DURING THE BIDDING PHASE MAY BE MADE UPON REQUEST OF THE OWNER. THERE WILL BE NO ADDITIONAL PAYMENT FOR EXPENSES INCURRED BY THE CONTRACTOR RESULTING FROM ADVERSE SOIL OR GROUND WATER CONDITIONS.
13. IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

PAVING & WALKS

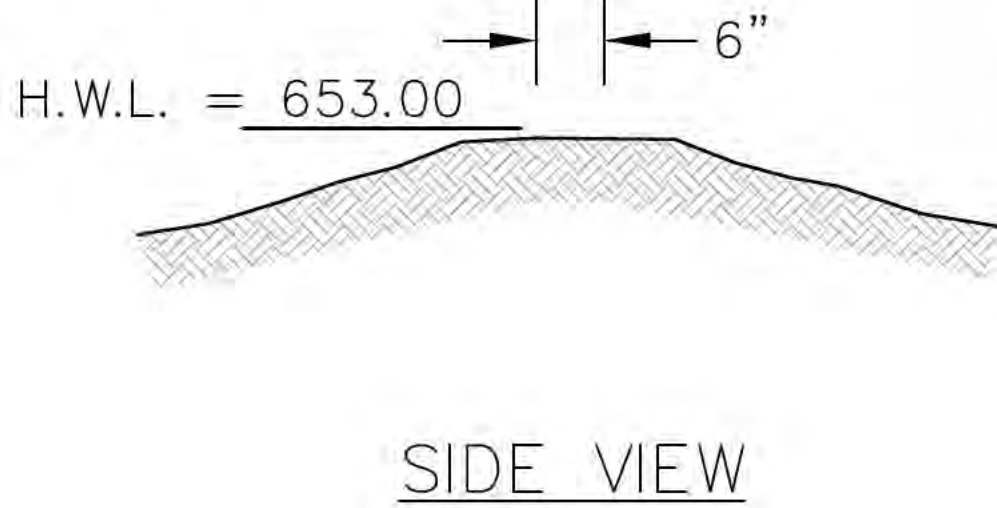
1. WORK UNDER THIS SECTION SHALL INCLUDE FINAL SUBGRADE SHAPING AND PREPARATION: FORMING, JOINTING, PLACEMENT OF ROADWAY AND PAVEMENT BASE COURSE MATERIALS AND SUBSEQUENT BINDER AND/OR SURFACE COURSES; PLACEMENT, FINISHING AND CURING OF CONCRETE; FINAL CLEAN-UP; AND ALL RELATED WORK.
2. ALL PAVING AND SIDEWALK WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS (I.D.O.T.) AND PER LOCAL REGULATIONS.
3. SUBGRADE FOR PROPOSED PAVEMENT SHALL BE FINISHED BY THE EXCAVATION CONTRACTOR TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF THE PLAN ELEVATION. THE PAVING CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE PAVING CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE. PRIOR TO PLACEMENT OF PAVEMENT BASE MATERIALS, THE PAVING CONTRACTOR SHALL FINE GRADE THE SUBGRADE SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
4. THE PROPOSED PAVEMENT SHALL CONSIST OF THE SUB-BASE COURSE, BITUMINOUS AGGREGATE BASE COURSE, BITUMINOUS BINDER COURSE, AND BITUMINOUS SURFACE COURSE, OF THE THICKNESS AND MATERIALS AS SPECIFIED ON THE CONSTRUCTION PLANS. PRIME COAT SHALL BE APPLIED TO THE SUB-BASE COURSE AT A RATE OF 0.5 GALLONS PER SQUARE YARD. UNLESS SHOWN AS A BID ITEM, PRIME COAT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT. ALL PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," CURRENT EDITION.
5. AFTER THE INSTALLATION OF THE BASE COURSE, ALL TRAFFIC SHALL BE KEPT OFF THE BASE UNTIL THE BINDER COURSE IS LAID. AFTER INSTALLATION OF THE BINDER COURSE AND UPON INSPECTION AND APPROVAL BY GOVERNING AUTHORITY, THE PAVEMENT SHALL BE CLEANED, PRIMED AND THE SURFACE COURSE LAID. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB AND GUTTER SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE PAVING CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER IS NECESSARY, INCLUDING THE USE OF POWER BROOMS TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. EQUIPMENT AND MANPOWER TO CLEAN PAVEMENT SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE CONTRACT. PRIME COAT ON THE BINDER COARSE SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT AND SHALL BE APPLIED TO THE BINDER AT A RATE OF 0.5 GALLONS PER SQUARE YARD.
6. CURING AND PROTECTION OF ALL EXPOSED CONCRETE SURFACES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. ALL SIDEWALK CONCRETE SHALL DEVELOP A MINIMUM OF 3,500-PSI COMPRESSIVE STRENGTH AT 28 DAYS. CONSTRUCTION JOINTS SHALL BE SET AT 5' CENTERS, AND 3/4" PRE-MOLDED FIBER EXPANSION JOINTS SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR ANOTHER SIDEWALK, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSTRUCTED OVER UTILITY TRENCHES SHALL BE REINFORCED WITH THREE NO. 5 REINFORCING BARS (10' MINIMUM LENGTH). ALL SIDEWALKS CROSSING DRIVEWAYS SHALL BE A MINIMUM OF 6" THICK AND REINFORCED WITH 6X6 #6 WELDED WIRE MESH. ALL SIDEWALKS SHALL BE BROOM FINISHED. IF A MANHOLE FRAME FALLS WITHIN THE LIMITS OF A SIDEWALK, A BOX-OUT SECTION SHALL BE PLACED AROUND THE MANHOLE FRAME WITH A 3/4" EXPANSION JOINT.
8. BACKFILLING ALONG PAVEMENT SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR.
9. IT SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIAL AND DEBRIS, WHICH RESULTS FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
10. TESTING OF THE SUB-BASE, BASE COURSE, BINDER COURSE, SURFACE COURSE AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" CURRENT EDITION, AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE GOVERNING MUNICIPALITY. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED BY THE OWNER TO PERFORM THE REQUIRED TESTS.
11. PAINTED PAVEMENT MARKINGS AND SYMBOLS, OF THE TYPE AND COLOR AS NOTED ON THE CONSTRUCTION PLANS, SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 1-502 OF SAME SPECIFICATIONS.
12. PAINTED PAVEMENT MARKINGS AND SYMBOLS SHALL BE INSTALLED ONLY WHEN THE AMBIENT AIR TEMPERATURE IS 40 DEGREES FAHRENHEIT AND THE FORECAST CALL FOR RISING TEMPERATURES.
13. ALL EXISTING CURB AND PAVEMENT SHALL BE PROTECT DURING CONSTRUCTION, ANY DAMAGE TO THE CURB OR PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
14. ANY SIDEWALK THAT IS DAMAGED OR NOT ADA COMPLIANT, INCLUDING SIDEWALK RAMPS, MUST BE REPLACED PRIOR TO FINAL INSPECTION APPROVAL.



TYPICAL PAVEMENT DETAIL



FRONT VIEW



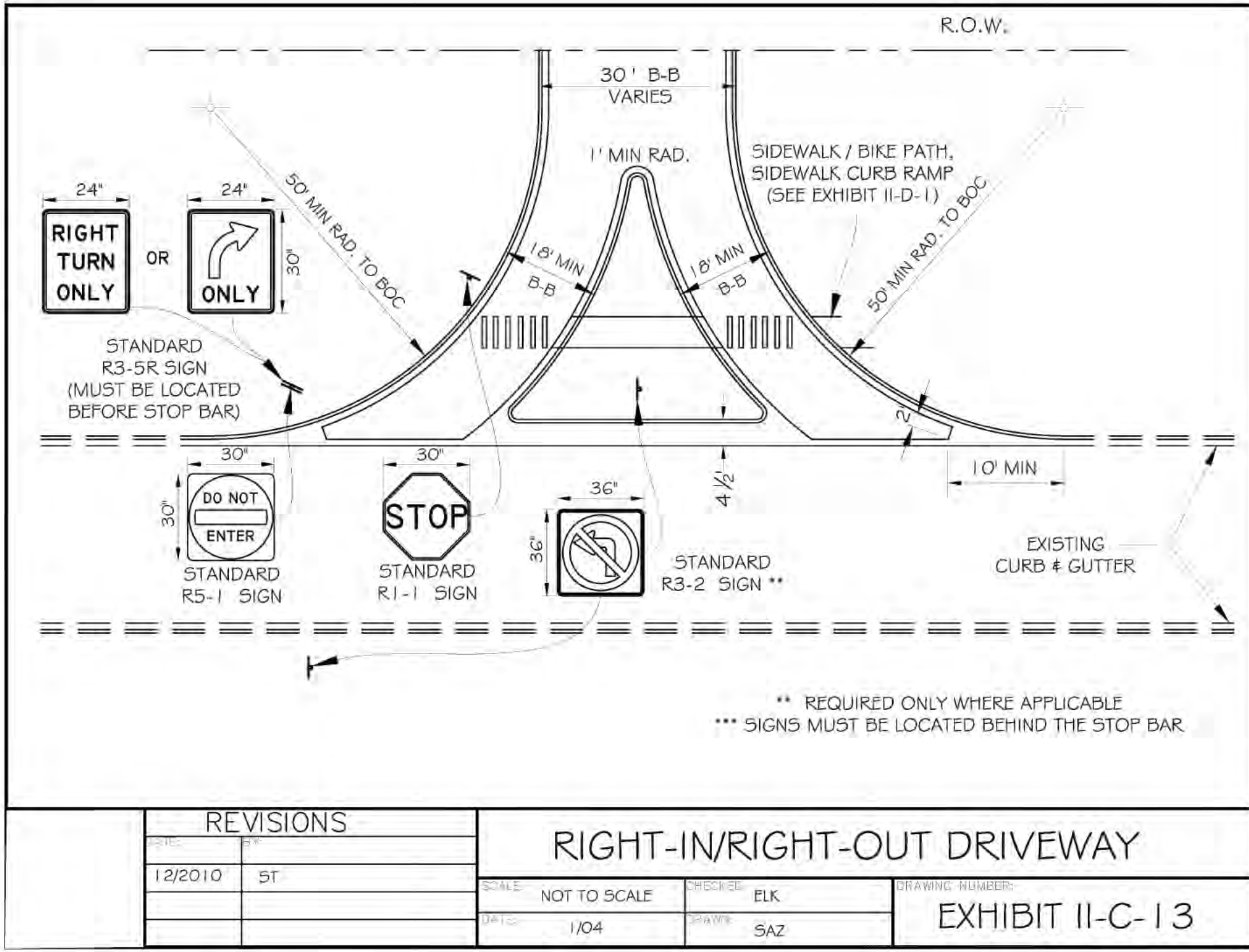
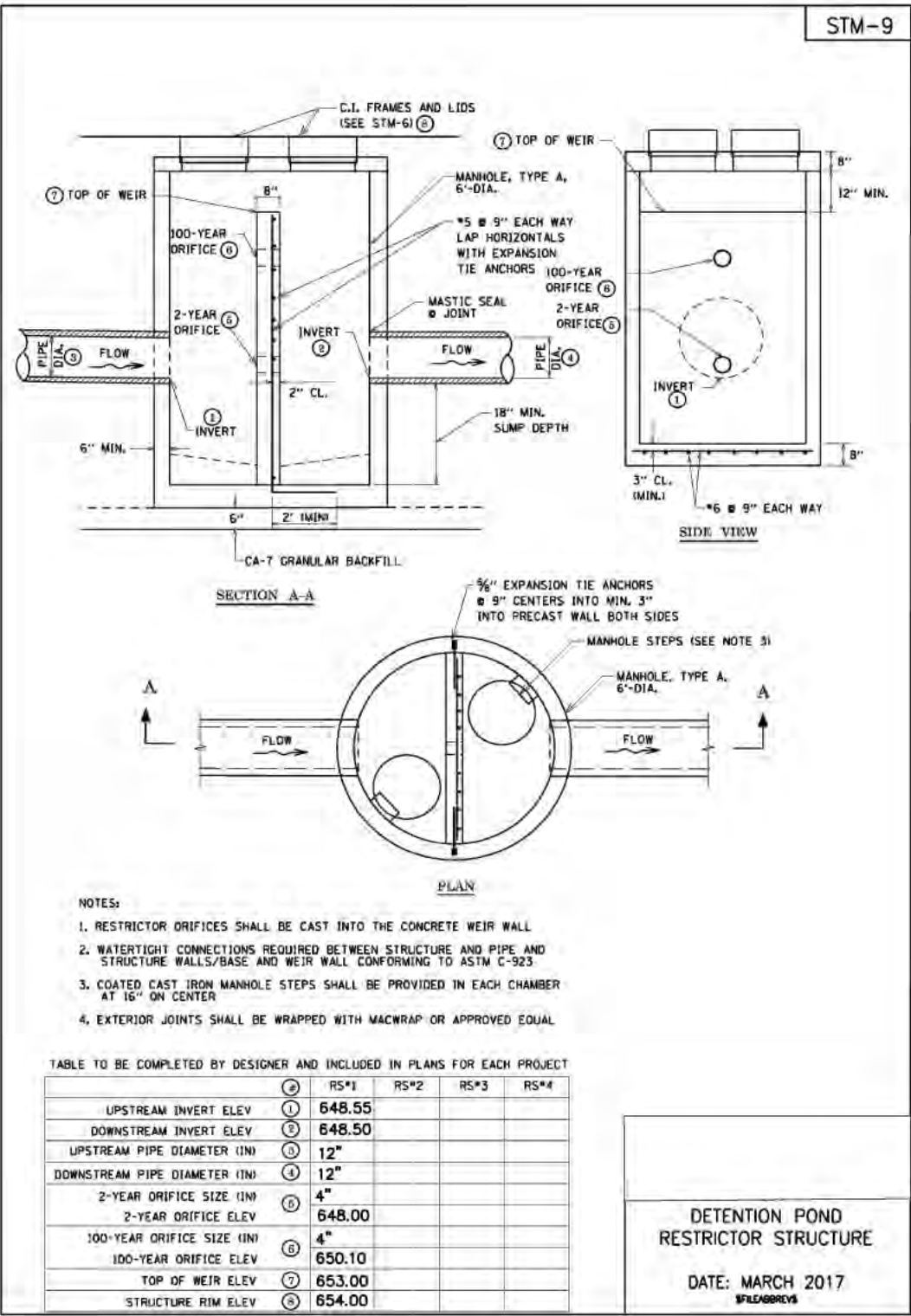
SIDE VIEW

OVERFLOW WEIR DETAIL

N.T.S.

NOTE:

"L" IS SIZED TO PASS 100 YR EVENT WITH 0.5 FEET DEPTH OF WATER OVER THE WEIR



EXPIRES 11.30.25

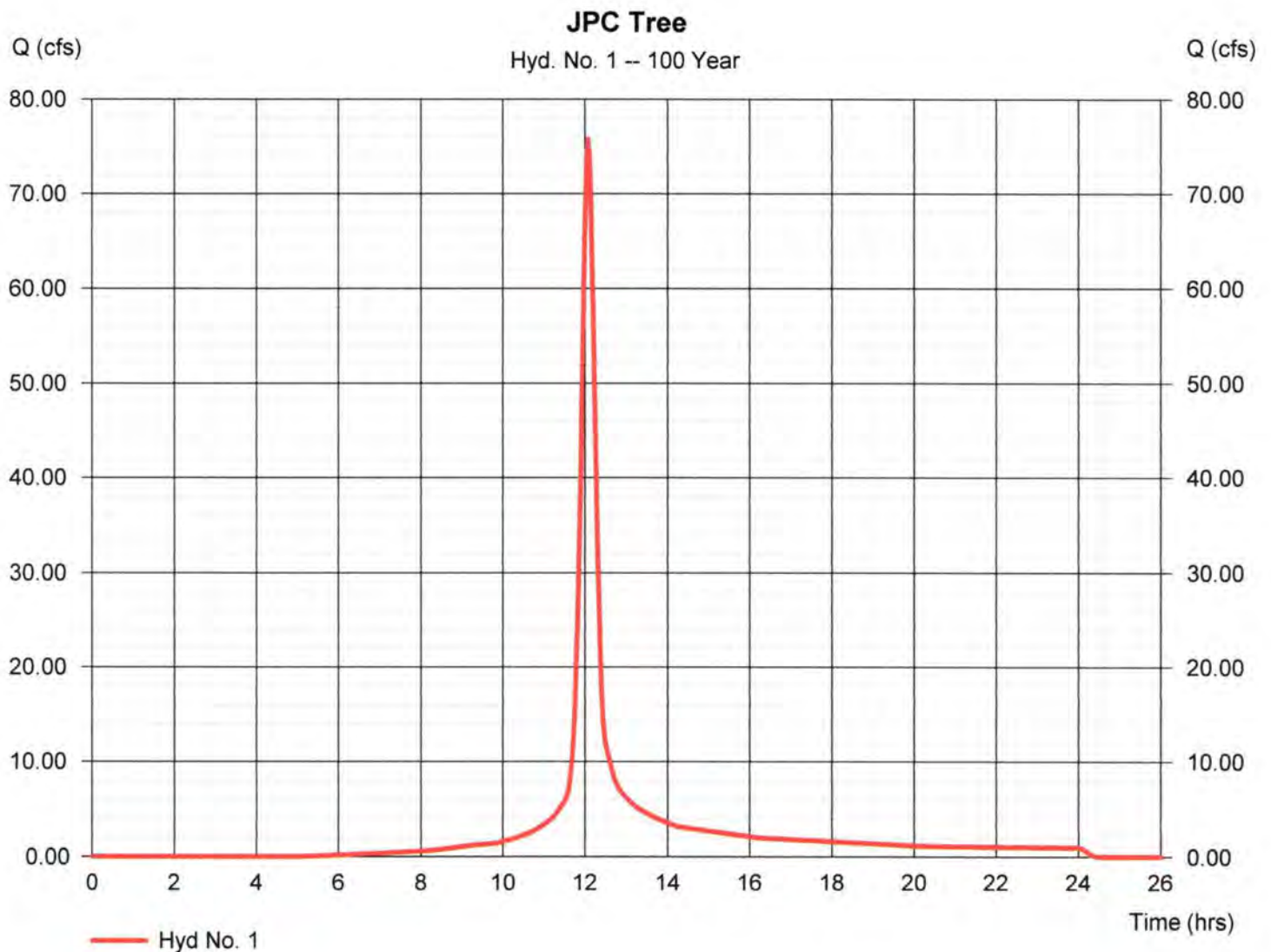
ASPHALT GRINDINGS/GRAVEL AREAS = 192,548 SF = 4.42 ACRES

Hydrograph Report

Hyd. No. 1

JPC Tree

Hydrograph type	= SCS Runoff	Peak discharge	= 75.81 cfs
Storm frequency	= 100 yrs	Time to peak	= 12.07 hrs
Time interval	= 2 min	Hyd. volume	= 241,100 cuft
Drainage area	= 10.780 ac	Curve number	= 80
Basin Slope	= 3.0 %	Hydraulic length	= 950 ft
Tc method	= LAG	Time of conc. (Tc)	= 17.64 min
Total precip.	= 8.57 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



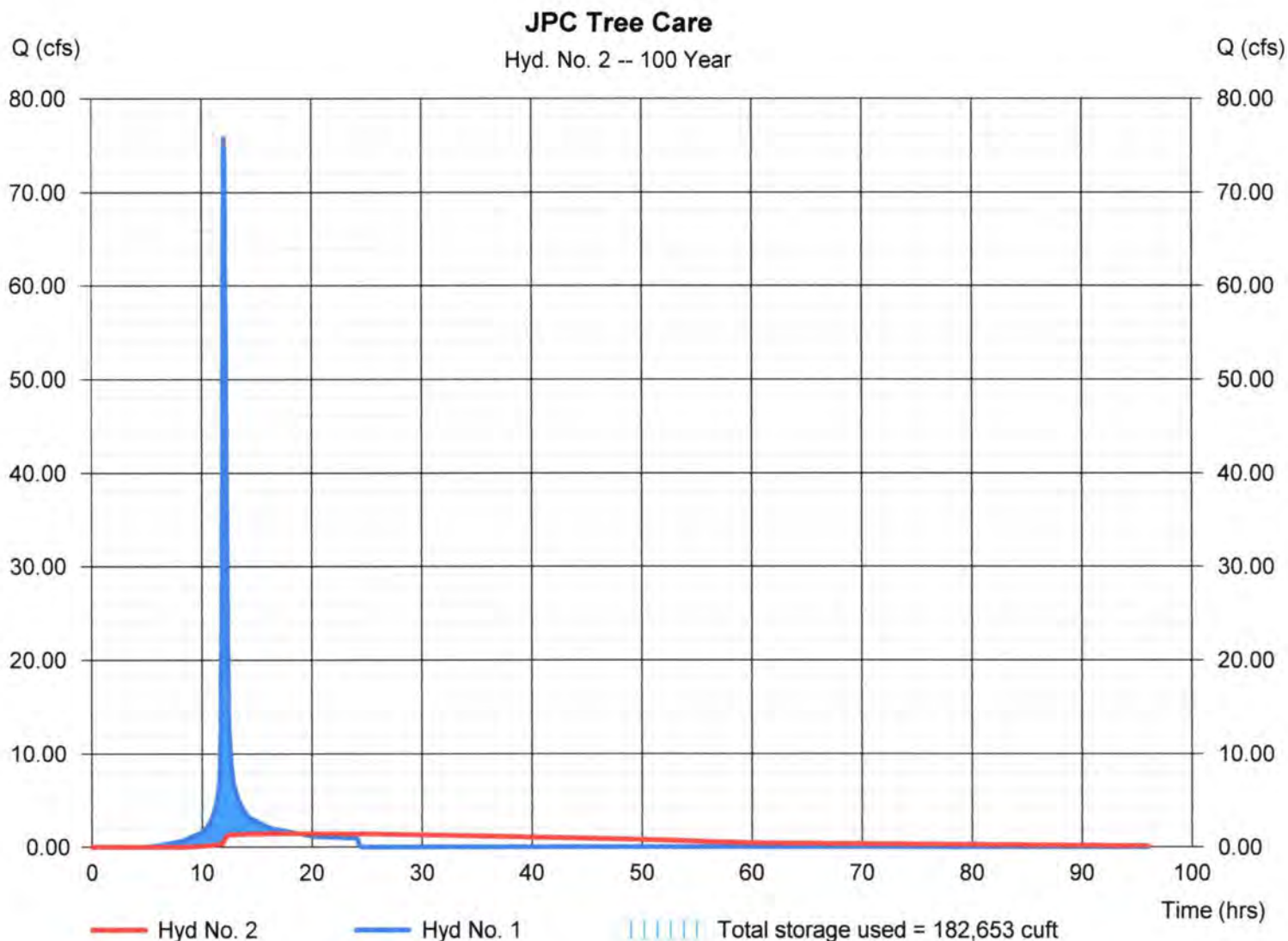
Hydrograph Report

Hyd. No. 2

JPC Tree Care

Hydrograph type	= Reservoir	Peak discharge	= 1.455 cfs
Storm frequency	= 100 yrs	Time to peak	= 18.77 hrs
Time interval	= 2 min	Hyd. volume	= 229,913 cuft
Inflow hyd. No.	= 1 - JPC Tree	Max. Elevation	= 652.74 ft
Reservoir name	= JPC Tree Care	Max. Storage	= 182,653 cuft

Storage Indication method used.



Hydrograph Report

Hyd. No. 2

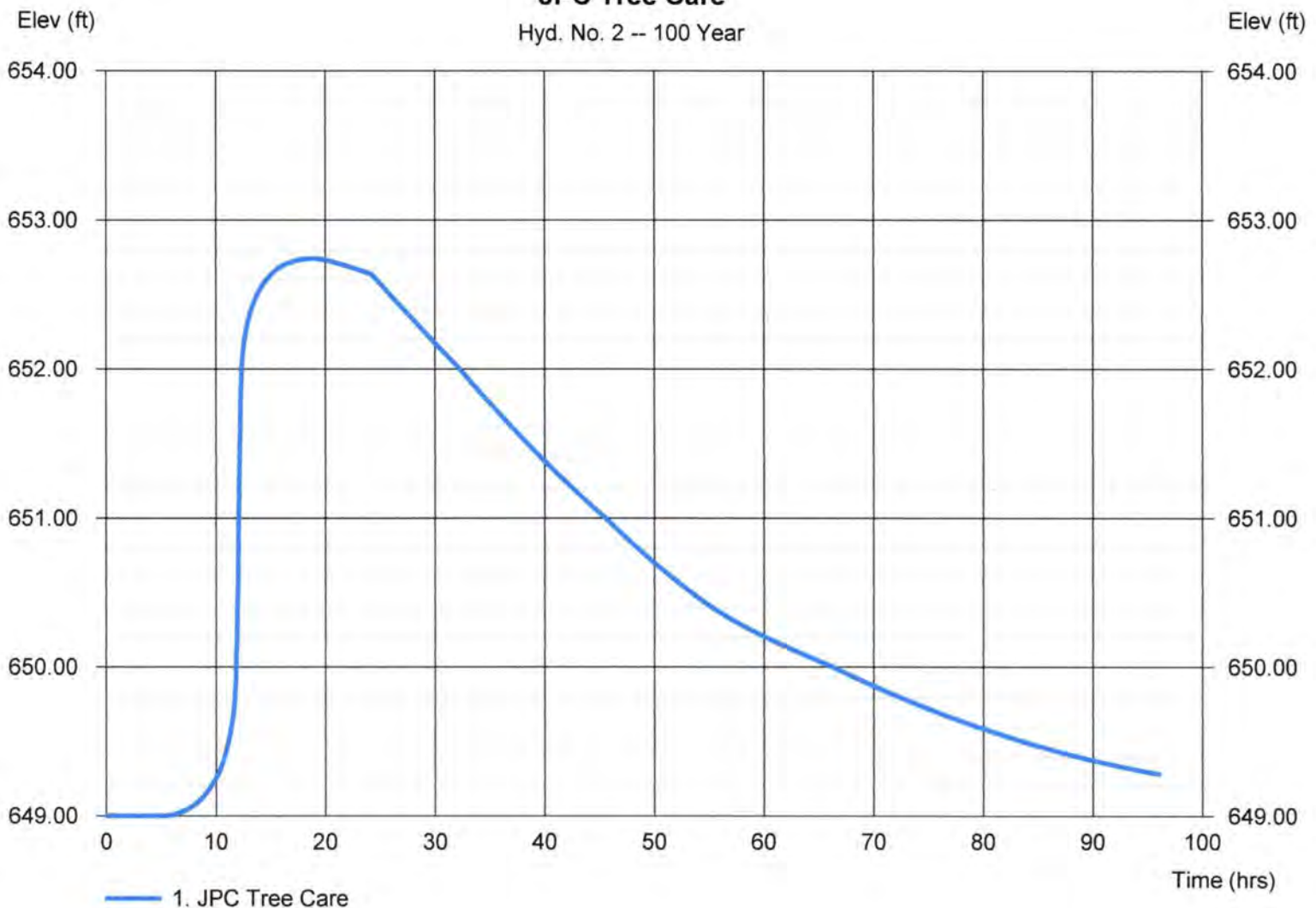
JPC Tree Care

Hydrograph type	= Reservoir	Peak discharge	= 1.455 cfs
Storm frequency	= 100 yrs	Time to peak	= 18.77 hrs
Time interval	= 2 min	Hyd. volume	= 229,913 cuft
Inflow hyd. No.	= 1 - JPC Tree	Max. Elevation	= 652.74 ft
Reservoir name	= JPC Tree Care	Max. Storage	= 182,653 cuft

Storage Indication method used.

JPC Tree Care

Hyd. No. 2 -- 100 Year

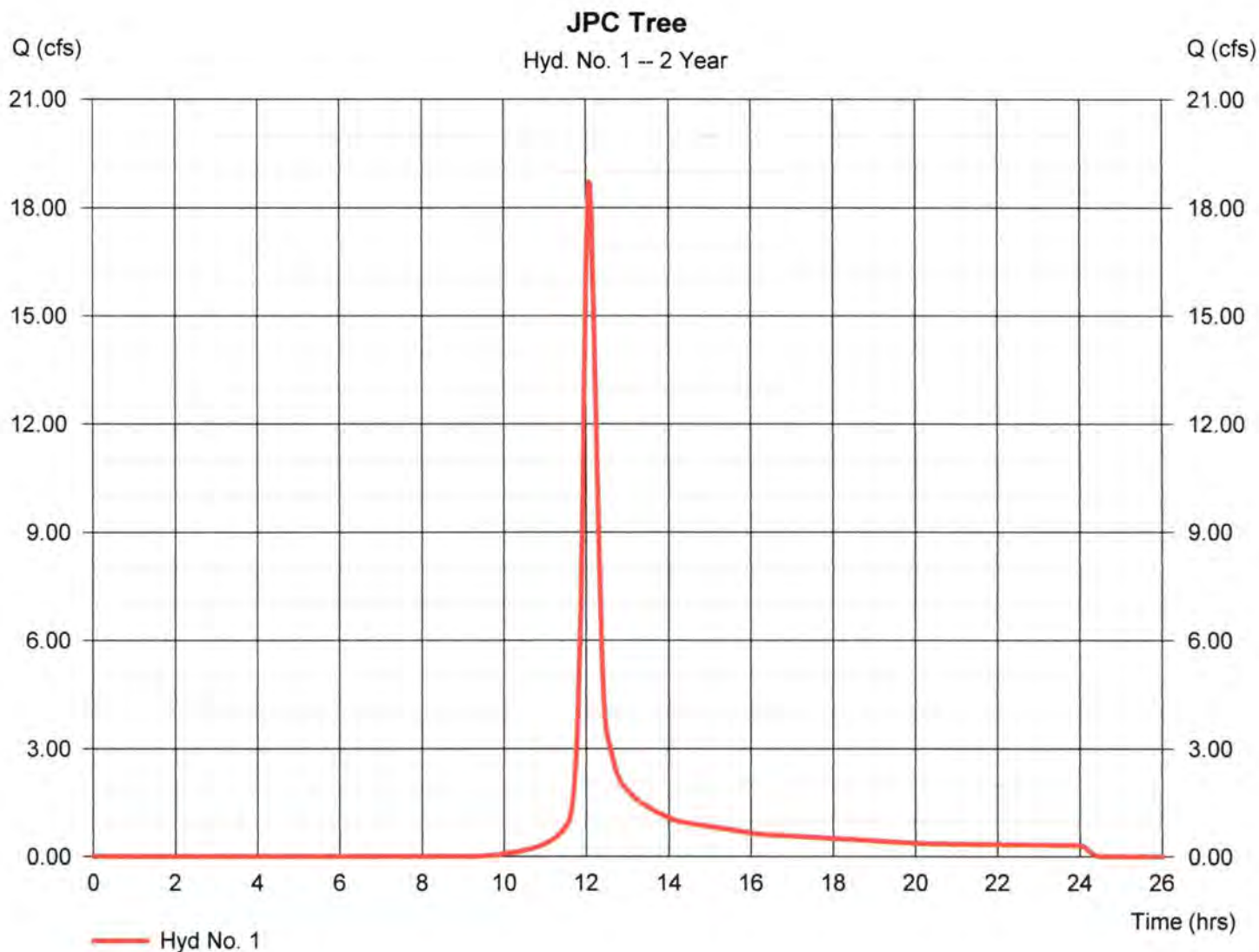


Hydrograph Report

Hyd. No. 1

JPC Tree

Hydrograph type	= SCS Runoff	Peak discharge	= 18.71 cfs
Storm frequency	= 2 yrs	Time to peak	= 12.07 hrs
Time interval	= 2 min	Hyd. volume	= 59,105 cuft
Drainage area	= 10.780 ac	Curve number	= 80
Basin Slope	= 3.0 %	Hydraulic length	= 950 ft
Tc method	= LAG	Time of conc. (Tc)	= 17.64 min
Total precip.	= 3.34 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



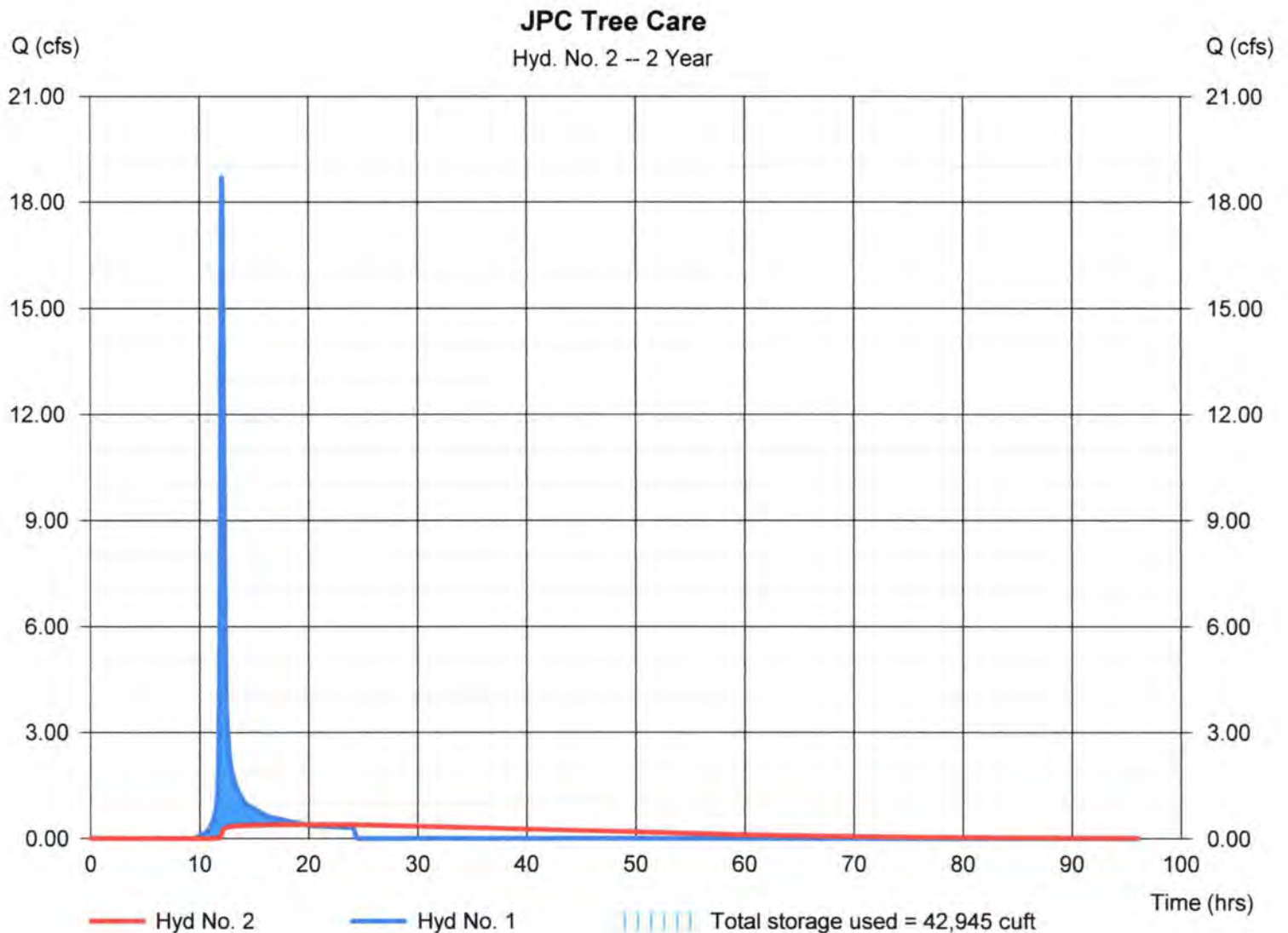
Hydrograph Report

Hyd. No. 2

JPC Tree Care

Hydrograph type	= Reservoir	Peak discharge	= 0.401 cfs
Storm frequency	= 2 yrs	Time to peak	= 19.67 hrs
Time interval	= 2 min	Hyd. volume	= 55,843 cuft
Inflow hyd. No.	= 1 - JPC Tree	Max. Elevation	= 650.08 ft
Reservoir name	= JPC Tree Care	Max. Storage	= 42,945 cuft

Storage Indication method used.



Hydrograph Report

Hyd. No. 2

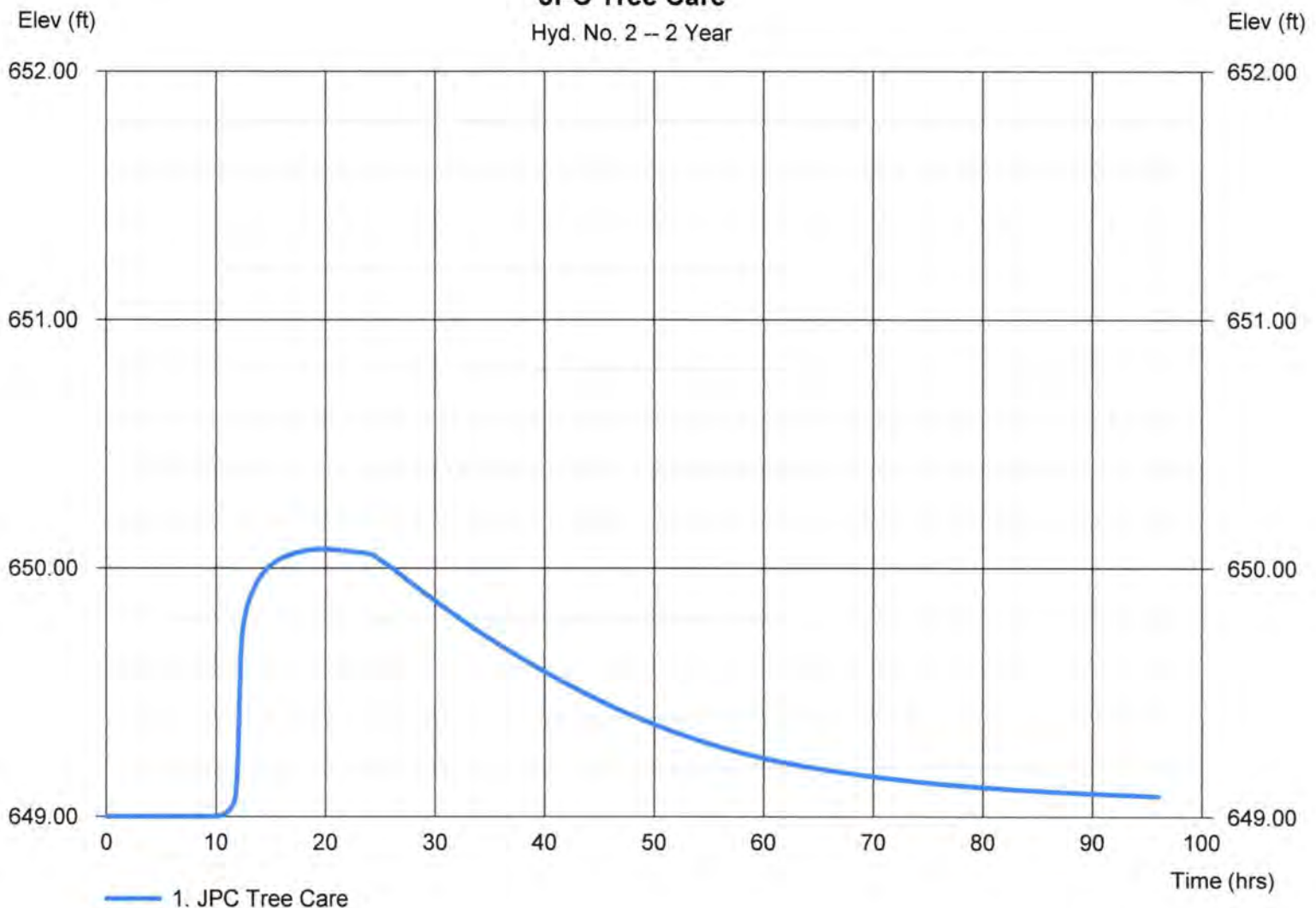
JPC Tree Care

Hydrograph type	= Reservoir	Peak discharge	= 0.401 cfs
Storm frequency	= 2 yrs	Time to peak	= 19.67 hrs
Time interval	= 2 min	Hyd. volume	= 55,843 cuft
Inflow hyd. No.	= 1 - JPC Tree	Max. Elevation	= 650.08 ft
Reservoir name	= JPC Tree Care	Max. Storage	= 42,945 cuft

Storage Indication method used.

JPC Tree Care

Hyd. No. 2 -- 2 Year



Pond Report

Pond No. 1 - JPC Tree Care

Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Beginning Elevation = 649.00 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	649.00	36,452	0	0
1.00	650.00	42,427	39,398	39,398
2.00	651.00	48,780	45,562	84,960
3.00	652.00	56,211	52,446	137,406
4.00	653.00	65,792	60,933	198,339
5.00	654.00	89,297	77,238	275,577

Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 4.00	4.00	0.00	0.00
Span (in)	= 4.00	4.00	0.00	0.00
No. Barrels	= 1	1	0	0
Invert El. (ft)	= 649.00	650.10	0.00	0.00
Length (ft)	= 0.00	0.00	0.00	0.00
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 0.00	0.00	0.00	0.00
Crest El. (ft)	= 0.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= —	—	—	—
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	649.00	0.00	0.00	—	—	—	—	—	—	—	—	0.000
0.10	3,940	649.10	0.02 ic	0.00	—	—	—	—	—	—	—	—	0.024
0.20	7,880	649.20	0.08 ic	0.00	—	—	—	—	—	—	—	—	0.083
0.30	11,819	649.30	0.15 ic	0.00	—	—	—	—	—	—	—	—	0.154
0.40	15,759	649.40	0.20 ic	0.00	—	—	—	—	—	—	—	—	0.203
0.50	19,699	649.50	0.24 ic	0.00	—	—	—	—	—	—	—	—	0.243
0.60	23,639	649.60	0.28 ic	0.00	—	—	—	—	—	—	—	—	0.277
0.70	27,578	649.70	0.31 ic	0.00	—	—	—	—	—	—	—	—	0.307
0.80	31,518	649.80	0.33 ic	0.00	—	—	—	—	—	—	—	—	0.334
0.90	35,458	649.90	0.36 ic	0.00	—	—	—	—	—	—	—	—	0.360
1.00	39,398	650.00	0.38 ic	0.00	—	—	—	—	—	—	—	—	0.384
1.10	43,954	650.10	0.41 ic	0.00	—	—	—	—	—	—	—	—	0.406
1.20	48,510	650.20	0.43 ic	0.02 ic	—	—	—	—	—	—	—	—	0.451
1.30	53,066	650.30	0.45 ic	0.08 ic	—	—	—	—	—	—	—	—	0.530
1.40	57,623	650.40	0.47 ic	0.15 ic	—	—	—	—	—	—	—	—	0.621
1.50	62,179	650.50	0.49 ic	0.20 ic	—	—	—	—	—	—	—	—	0.688
1.60	66,735	650.60	0.50 ic	0.24 ic	—	—	—	—	—	—	—	—	0.745
1.70	71,291	650.70	0.52 ic	0.28 ic	—	—	—	—	—	—	—	—	0.797
1.80	75,847	650.80	0.54 ic	0.31 ic	—	—	—	—	—	—	—	—	0.844
1.90	80,404	650.90	0.55 ic	0.33 ic	—	—	—	—	—	—	—	—	0.887
2.00	84,960	651.00	0.57 ic	0.36 ic	—	—	—	—	—	—	—	—	0.929
2.10	90,204	651.10	0.58 ic	0.38 ic	—	—	—	—	—	—	—	—	0.968
2.20	95,449	651.20	0.60 ic	0.41 ic	—	—	—	—	—	—	—	—	1.005
2.30	100,694	651.30	0.61 ic	0.43 ic	—	—	—	—	—	—	—	—	1.041
2.40	105,938	651.40	0.63 ic	0.45 ic	—	—	—	—	—	—	—	—	1.075
2.50	111,183	651.50	0.64 ic	0.47 ic	—	—	—	—	—	—	—	—	1.108
2.60	116,428	651.60	0.66 ic	0.49 ic	—	—	—	—	—	—	—	—	1.140
2.70	121,672	651.70	0.67 ic	0.50 ic	—	—	—	—	—	—	—	—	1.172
2.80	126,917	651.80	0.68 ic	0.52 ic	—	—	—	—	—	—	—	—	1.202
2.90	132,162	651.90	0.69 ic	0.54 ic	—	—	—	—	—	—	—	—	1.231
3.00	137,406	652.00	0.71 ic	0.55 ic	—	—	—	—	—	—	—	—	1.260
3.10	143,499	652.10	0.72 ic	0.57 ic	—	—	—	—	—	—	—	—	1.288
3.20	149,593	652.20	0.73 ic	0.58 ic	—	—	—	—	—	—	—	—	1.316
3.30	155,686	652.30	0.74 ic	0.60 ic	—	—	—	—	—	—	—	—	1.343
3.40	161,779	652.40	0.76 ic	0.61 ic	—	—	—	—	—	—	—	—	1.369
3.50	167,873	652.50	0.77 ic	0.63 ic	—	—	—	—	—	—	—	—	1.395

← 2 YR PROVIDED

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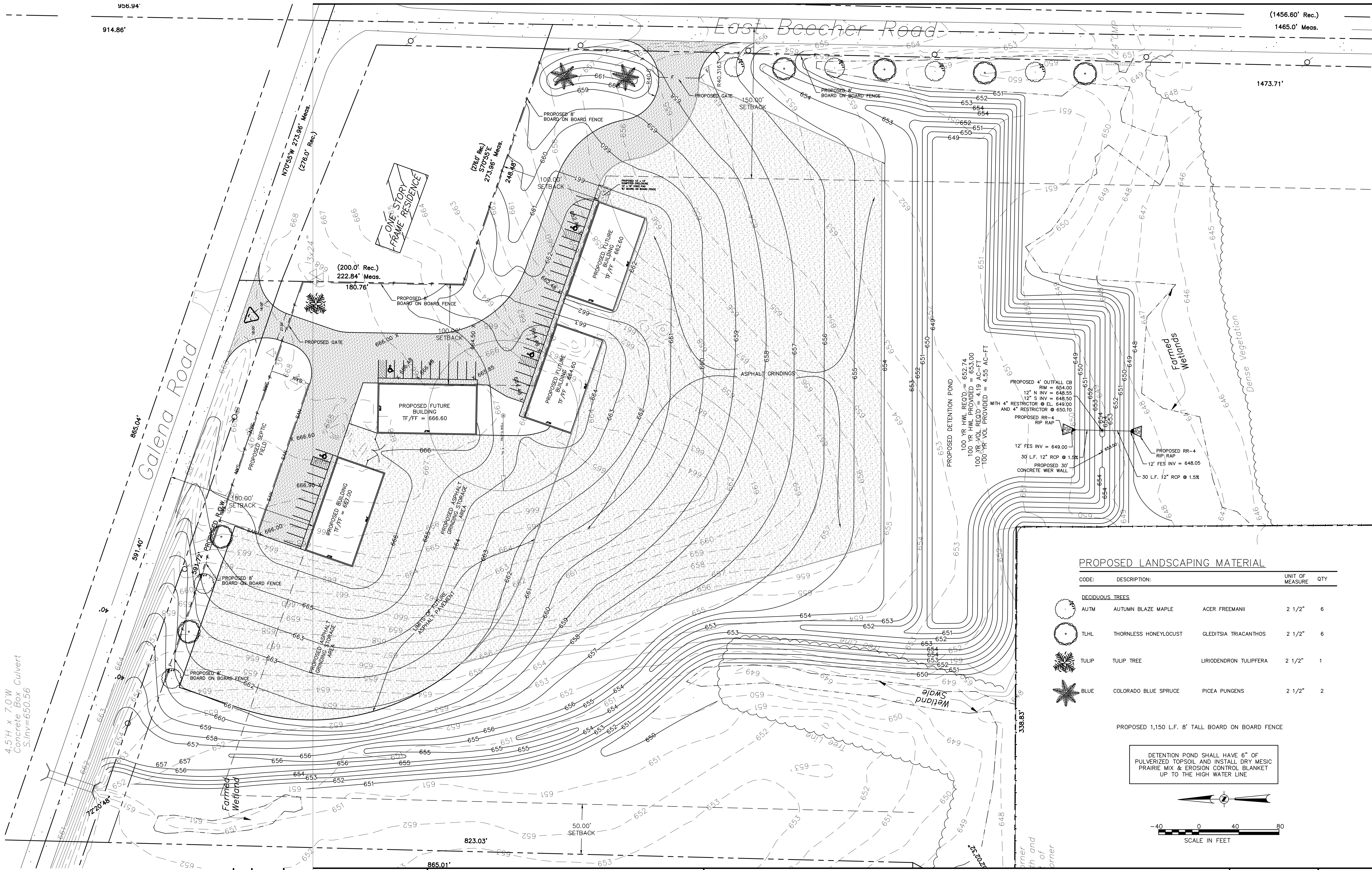
JPC Tree Care

Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	Civ C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
3.60	173,966	652.60	0.78 ic	0.64 ic	---	---	---	---	---	---	---	---	1,420
3.70	180,059	652.70	0.79 ic	0.66 ic	---	---	---	---	---	---	---	---	1,445
3.80	186,152	652.80	0.80 ic	0.67 ic	---	---	---	---	---	---	---	---	1,469
3.90	192,246	652.90	0.81 ic	0.68 ic	---	---	---	---	---	---	---	---	1,493
4.00	198,339	653.00	0.82 ic	0.69 ic	---	---	---	---	---	---	---	---	1,517
4.10	206,063	653.10	0.83 ic	0.71 ic	---	---	---	---	---	---	---	---	1,540
4.20	213,786	653.20	0.84 ic	0.72 ic	---	---	---	---	---	---	---	---	1,563
4.30	221,510	653.30	0.85 ic	0.73 ic	---	---	---	---	---	---	---	---	1,586
4.40	229,234	653.40	0.86 ic	0.74 ic	---	---	---	---	---	---	---	---	1,608
4.50	236,958	653.50	0.87 ic	0.76 ic	---	---	---	---	---	---	---	---	1,630
4.60	244,682	653.60	0.88 ic	0.77 ic	---	---	---	---	---	---	---	---	1,652
4.70	252,406	653.70	0.89 ic	0.78 ic	---	---	---	---	---	---	---	---	1,673
4.80	260,129	653.80	0.90 ic	0.79 ic	---	---	---	---	---	---	---	---	1,694
4.90	267,853	653.90	0.91 ic	0.80 ic	---	---	---	---	---	---	---	---	1,715
5.00	275,577	654.00	0.92 ic	0.81 ic	---	---	---	---	---	---	---	---	1,735

← 100 YR PROVIDED

...End

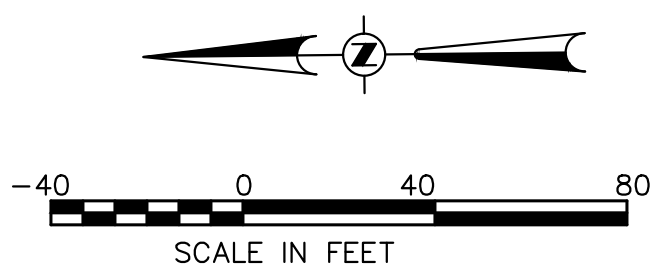


PROPOSED LANDSCAPING MATERIAL

CODE:	DESCRIPTION:		UNIT OF MEASURE	QTY
<u>DECIDUOUS TREES</u>				
AUTM	AUTUMN BLAZE MAPLE	ACER FREEMANII	2 1/2"	6
TLHL	THORNLESS HONEYLOCUST	GLEDITSIA TRIACANTHOS	2 1/2"	6
TULIP	TULIP TREE	LIRIODENDRON TULIPFERA	2 1/2"	1
BLUE	COLORADO BLUE SPRUCE	PICEA PUNGENS	2 1/2"	2

PROPOSED 1,150 L.F. 8' TALL BOARD ON BOARD FENCE

DETENTION POND SHALL HAVE 6" OF PULVERIZED TOPSOIL AND INSTALL DRY MESIC PRAIRIE MIX & EROSION CONTROL BLANKET UP TO THE HIGH WATER LINE



4.5'H x 7.0'W
Concrete Box Culvert
S.Inv=650.56



TEBRUGGE ENGINEERING
• SANDWICH, IL 60548
PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

PREPARED FOR:
CORDERO REAL ESTATE, LLC

JPC TREE CARE SITE PLAN
LANDSCAPE PLAN

PROJECT NO.	20 467 01	SHEET NO.	1
SCALE:	1" = 40'		
DATE:	7/22/20	OF 2 SHEETS	

LANDSCAPE NOTES

PART 1 – GENERAL

1.01 DESCRIPTION

A. PROVIDE TURF, TREES, SHRUBS, AND GROUNDCOVER AS SHOWN AND SPECIFIED. THE WORK INCLUDES:

1. SOIL PREPARATION
2. FERTILIZATION
3. SEEDING
4. TREES, SHRUBS, AND GROUNDCOVERS
5. MULCH AND PLANT ACCESSORIES
6. MAINTENANCE AND GUARANTEE
7. CLEANING UP WORK AREAS

1.02 QUALITY ASSURANCE

- A. COMPLY WITH APPLICABLE LOCAL REGULATIONS.
- B. SOD: COMPLY WITH AMERICAN SOD PRODUCERS ASSOCIATION (ASPA) CLASSES OF SOD MATERIAL.
- C. PLANT NAMES INDICATED COMPLY WITH "STANDARD PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE, NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGALLY TAGGED.
- D. COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION.
- E. ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.

1.03 SUBMITTALS

- A. SEED: SUBMIT SEED VENDOR'S CERTIFICATION FOR REQUIRED GRASS SEED MIXTURE, INDICATING PERCENTAGE BY WEIGHT, AND PERCENTAGES OF PURITY, GERMINATION, AND WEED SEED FOR EACH GRASS SPECIES.
- B. SOD: SUBMIT SOD GROWER'S CERTIFICATION OF GRASS SPECIES. IDENTIFY SOURCE.
- C. MULCH
- D. STRAW BLANKET

1.04 DELIVERY, STORAGE, AND HANDLING

- A. SEED: DELIVER SEED AND FERTILIZE MATERIALS IN ORIGINAL UNOPENED CONTAINERS, SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION.
- B. SOD: DELIVER AND INSTALL SOD CUT WITHIN 48-HOUR PERIOD.
- C. DELIVER FERTILIZER MATERIALS IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION.
- D. TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FALLS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL: THE CERTIFICATE SHALL BE FILLED WITH THE LANDSCAPE ARCHITECT. PROTECT ALL PLANTS FROM DYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, OR MULCH. WATER HEELED-IN PLANTINGS REGULARLY.
- E. COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WINDBURN, WHEN IN LEAF.

1.05 PROJECT CONDITIONS

- A. CONFIRM THAT THE QUALITY AND DEPTH OF TOPSOIL IS SATISFACTORY PRIOR TO BEGINNING FINE GRADING.
- B. FINE GRADING MUST BE APPROVED BY OWNER PRIOR TO START OF SEEDING OR SODDING.
- C. PERFORM GRASSING WORK ONLY AFTER PLANTING AND OTHER WORK AFFECTING GROUND SURFACE HAS BEEN COMPLETED.
- D. INSTALL SEED UNDER FAVORABLE WEATHER CONDITIONS UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE. THE GENERALLY ACCEPTED TIMES FOR SEEDING ARE:

SPRING – APRIL 1ST TO MAY 31ST
FALL – AUGUST 15TH TO SEPTEMBER 30TH

1.06 GUARANTEE

- A. GUARANTEE ALL WORK FOR ONE YEAR FOLLOWING THE DATE OF INSTALLATION.
- B. AT THE END OF THE GUARANTEE PERIOD, RESEED AND RESED AREAS WITH SPECIFIED MATERIALS, WHICH FAIL TO PROVIDE A UNIFORM STAND OF GRASS.
- C. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR, AS DETERMINED BY THE LANDSCAPE ARCHITECT, ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION.
- D. GURANTEE SHALL NOT INCLUDE DAMAGE OR LOSS OF TREES, PLANTS, GROUNDCOVERS, OR TURF CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, OR WINDS OVER 75 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD AND SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA; OR ACT OF VANDALISM.

PART 2 – PRODUCTS

2.01 MATERIALS

- A. SEED/SOD FERTILIZER:
 1. GRANULAR, 10–10–10. ALL PURPOSE AT A RATE OF 1LBS N–P–K PER 1,000 S.F.
- B. PLANT FERTILIZER:
 1. PROVIDE A GRANULAR COMMERCIAL FERTILIZER WITH AN ANALYSIS OF 10–10–10.
- C. SEED:
 1. LAWN SEED: FRESH, CLEAN SEED FROM MOST RECENTLY HARVESTED CROP WHICH COMPIES WITH ALL LOCAL, STATE, AND FEDERAL SEED AND WEED LAWS IS FREE FROM POA ANNUAL, BENT GRASS AND NOXIOUS WEEDS.
 2. BLEND: PERCENT BY WEIGHT:

FIELD OF DREAMS RESEDER MIX, (AS AVAILABLE FROM NATURAL SEED, DOWNERS GROVE, IL)

2 – NAMED KENTUCKY BLUE GRASSES 50%
2 – NAMED TURF TYPE PERENNIAL GRASSES 50%
 3. BOTTOM OF STORM WATER MANAGEMENT BASINS TO BE OVER SEEDED WITH RED TOP SEED AT A RATE OF 50 LBS PER ACRE.
- D. PLANTS: PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY PLANTS FREE FROM DEFECTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULL DEVELOPMENT FORM.
 1. DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OR EARTH. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK".
 2. PROVIDE SHADE AND EVERGREEN TREE SPECIES WITH A SINGLE MAIN TRUNK UNLESS OTHERWISE SPECIFIED OR ACCEPTED.
 3. PROVIDE PLANTS MATCHED IN FORM WHEN ARRANGED IN GROUPS.
 4. PROVIDE EVERGREEN TREES BRANDED UNLESS OTHERWISE SPECIFIED OR ACCEPTED.
 5. PROVIDE SHRUBS AND SMALL PLANTS MEETING THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
 - a. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.

PART 3 – EXECUTION

3.01 INSPECTION

- A. EXAMINE FINISH SURFACE GRADES, TOPSOIL QUALITY, DEPTH, AND CONDITIONS OF INSTALLATIONS.

3.02 PREPARATION

- A. LOOSEN TOPSOIL OF LAWN AREAS TO MINIMUM DEPTH OF 2". REMOVE STONES OVER 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND EXTRANEOUS MATTER.
- B. GRADE LAWN AREAS TO SMOOTH, FREE DRAINING AND EVEN SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE. MECHANICALLY OR MANUALLY RAKE; REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
- C. RESTORE PREPARED AREAS TO SPECIFIED CONDIONIT IF ERODED, SETTLED, OR OTHERWISE DISTURBED AFTER FINE GRADING AND PRIOR TO SEEDING OR SODDING.
- D. TIME OF PLANTING:
 1. EVERGREEN MATERIAL; PLANT EVERGREEN MATERIALS BETWEEN SEPTEMBER 2ND AND NOVEMBER 1ST OR IN SPRING BEFORE NEW GROWTH BEGINS.
 2. DECIDUOUS MATERIAL; PLANT DECIDUOUS MATERIALS IN A DORMANT CONDITION OR PRE–DIG AND HEAL UNTIL SITE IS READY.
- E. LOCATE PLANTS AS INDICATED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
- F. ROTOTILL ALL GROUNDCOVER BEDS.
- G. PROVIDE SHRUB PITS AT LEAST 8" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 12" GREATER FOR TREES.

3.03 SEED INSTALLATION

- A. TURF AREAS:
 1. SEED IMMEDIATELY AFTER PREPARATION OF BED.
 2. PERFORM SEEDING OPERATIONS WHEN THE SOIL IS DRY AND WHEN WINDS DO NOT EXCEED 20 MILES PER HOUR VELOCITY.
3. SOW SEED AT 300 LBS. PER ACRE.
 - a. CONVENTIONAL SEEDING:
 - 3.a.1. APPLY SEED WITH A ROTARY OR DROP TYPE DISTRIBUTOR. SEED EVENLY.
 - 3.a.2. AFTER SEEDING, RAKE SOIL SURFACE LIGHTLY TO INCORPORATE SEED.
 4. WITHIN 24 HOURS, PLACE STRAW BLANKET OVER ALL SEEDED AREAS. PLACE BLANKET PERPENDICULAR TO CONTOUR LINES AND FASTEN IN PLACE PER MANUFACTURES RECOMMENDATIONS.

3.04 PLANT INSTALLATION

- A. TREES AND SHRUBS:
 1. SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. DO NOT FILL AROUND TRUNKS OR STEMS.
 2. AFTER BALLED OR BURLAPPED PLANTS ARE SET, FILL ALL VOIDS.
 3. MIX APPROVED COMMERCIAL FERTILIZER AT 10 LBS. PER CUBIC YARD OF BACKFILL.
- B. GROUNDCOVERS:
 1. WHERE GROUNDCOVERS ARE SPECIFIED ON THE PLANS, ROTOTILL ENTIRE PLANT BED TO 6" DEPTH USING AMENDED TOPSOIL. INCORPORATE COMMERCIAL 10–10–10 FERTILIZER INTO PREPARED SOIL MIXTURE AT AN APPROPRIATE RATE OF 1 LB. PER SQUARE YARD.
- C. MULCHING:
 1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL 3" DEEP IMMEDIATELY AFTER PLANTING. THOROUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.
- D. WRAPPING:
 1. INSPECT TREES FOR INJURY TO TRUNKS, EVIDENCE OF INSECT INFESTATIONS, AND IMPROPER PRUNING BEFORE WRAPPING.
 2. WRAP TRUNKS OF ALL TREES SPIRALLY FROM BOTTOM TO TOP WITH SPECIFIED TREE WRAP AND SECURE IN PLACE. WRAPPING IS AT THE DISCRETION OF THE CONTRACTOR.

E. PRUNING:

1. PRUNE BRANCHES OF DECIDUOUS STOCK, AFTER PLANTING, TO PRESERVE THE NATURAL CHARACTER APPROPRIATE TO THE PARTICULAR PLANT REQUIREMENTS. IN GENERAL, REMOVE APPROXIMATELY ¼ OF THE LEAF BEARING BUDS. REMOVE OR CUT BACK BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.
2. MULTIPLE LEADER PLANTS: PRESERVE THE LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH WITH THE TRUNK OR MAIN BRANCH, AT DIAMETER OF THE SUPPORTING BRANCH. MAKE CUT ON AN ANGLE.
3. PRUNE EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

3.05 FINAL COMPLETION, INSPECTION, AND ACCEPTANCE

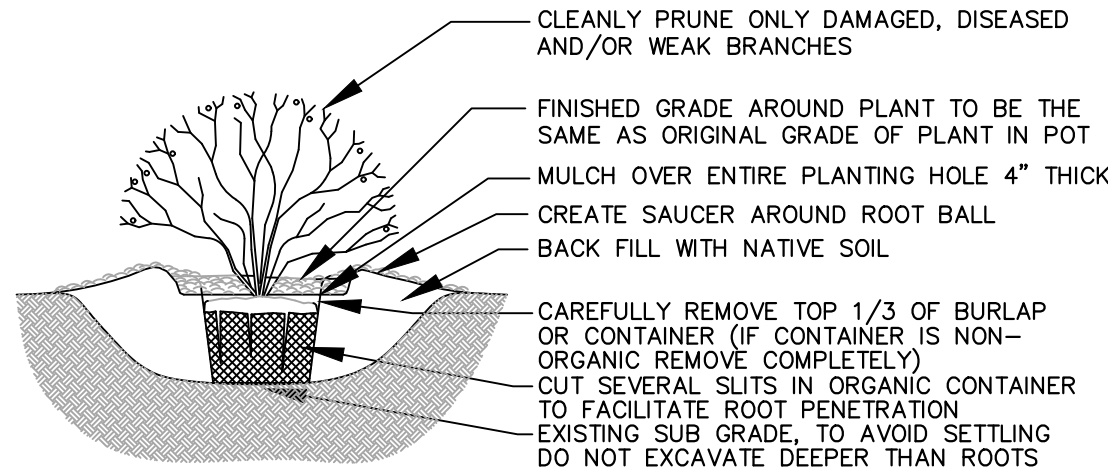
- A. UPON COMPLETION INSPECTION OF ALL WORK WILL BE MADE BY THE OWNER OR HIS REPRESENTATIVE. AT THAT TIME IF ALL WORK IS SATISFACTORY, THAT WILL CONSTITUTE FINAL ACCEPTANCE.
- B. SEEDED AREAS WILL BE INSPECTED AT COMPLETION OF THE INSTALLATION AND ACCEPTED SUBJECT TO COMPLIANCE WITH SPECIFIED MATERIALS AND INSTALLATION REQUIREMENTS.
 1. SEEDED AREAS WILL BE ACCEPTABLE PROVIDED ALL REQUIREMENTS, HAVE BEEN COMPLIED WITH.
 2. NO SEEDED AREAS SHALL HAVE BARE SPOTS OR UNACCEPTABLE COVER TOTALING MORE THAN 2% OF THE INDIVIDUAL AREAS, IN AREAS REQUESTED TO BE INSPECTED.
- C. INSPECTION OF ALL WORK SHALL BE MADE UPON REQUEST OF CONTRACTOR. AT THAT TIME, IF ALL WORK IS SATISFACTORY, THAT WILL CONSTITUTE FINAL ACCEPTANCE.
- D. PLANTS THAT HAVE DIED OR ARE IN UNHEALTHY OR BADLY IMPAIRED CONDITION UPON INSPECTION SHALL BE TREATED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
- E. REPLACE REJECTED PLANTS IN THE SEASON THAT IS MOST FAVORABLE FOR RESETTING KINDS OF PLANTS REQUIRED.

3.06 CLEANING

- A. PERFORM CLEANING DURING INSTALLATION OF THE WORK AND UPON COMPLETION OF THE WORK. REMOVE FROM SITES ALL EXCESS MATERIALS, SOIL, DEBRIS, AND EQUIPMENT.

4.01 MISC. NOTES

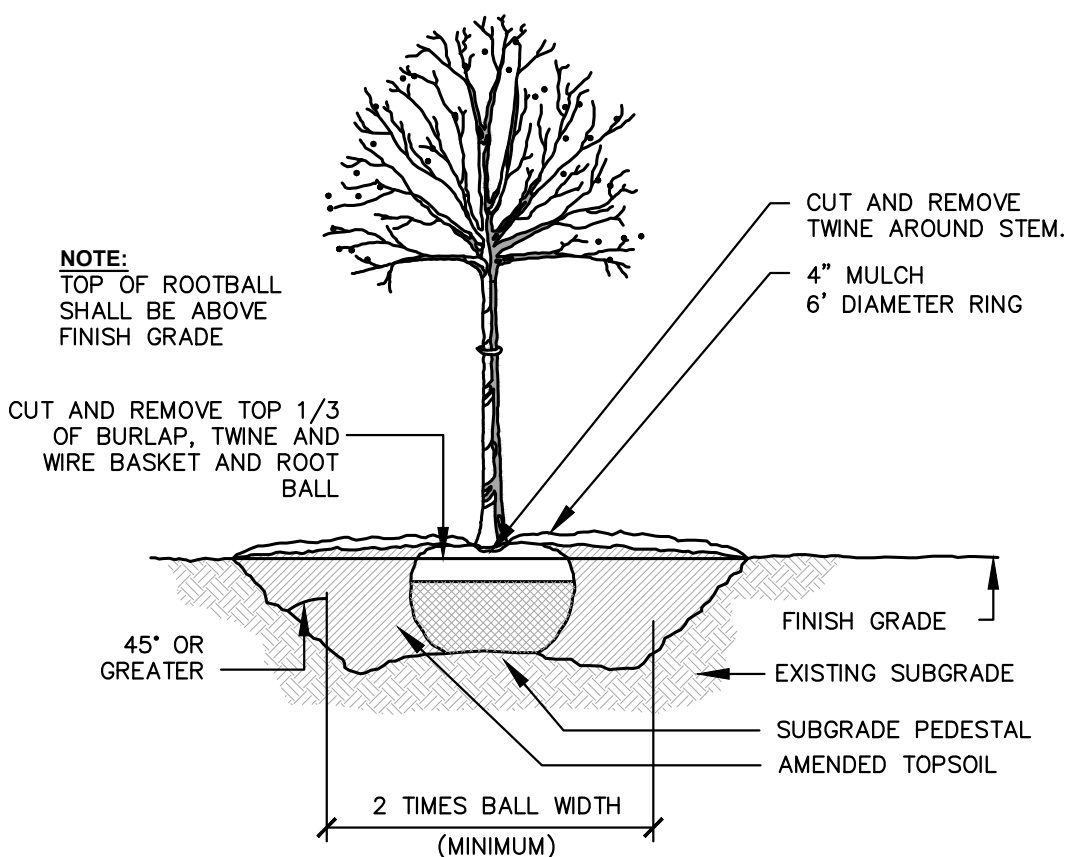
- A. ALL GRADES TO BE ESTABLISHED TO MEET ENGINEERING DRAWINGS BY OTHERS.
- B. BASIN BOTTOMS SEED, BLOW WITH STRAW MULCH AND CRIMP STRAW IN PLACE, AS NOTED ON PLANS.
- C. SEED AND INSTALL STRAW BLANKET ALL OTHER TURF AREAS.
- D. ALL DISTURBED AREAS THAT ARE NOT MULCHED SHALL BE SEEDDED.



NOTES:

1. WATER THOROUGHLY AFTER INSTALLATION.
2. USE EXISTING SOIL AS BACK FILL. IF DIRECTED BY OWNER, AMEND WITH 1/3 COMPOST.
3. ALL SHRUBS TO BE MULCH OVER ENTIRE PLANTING HOLE

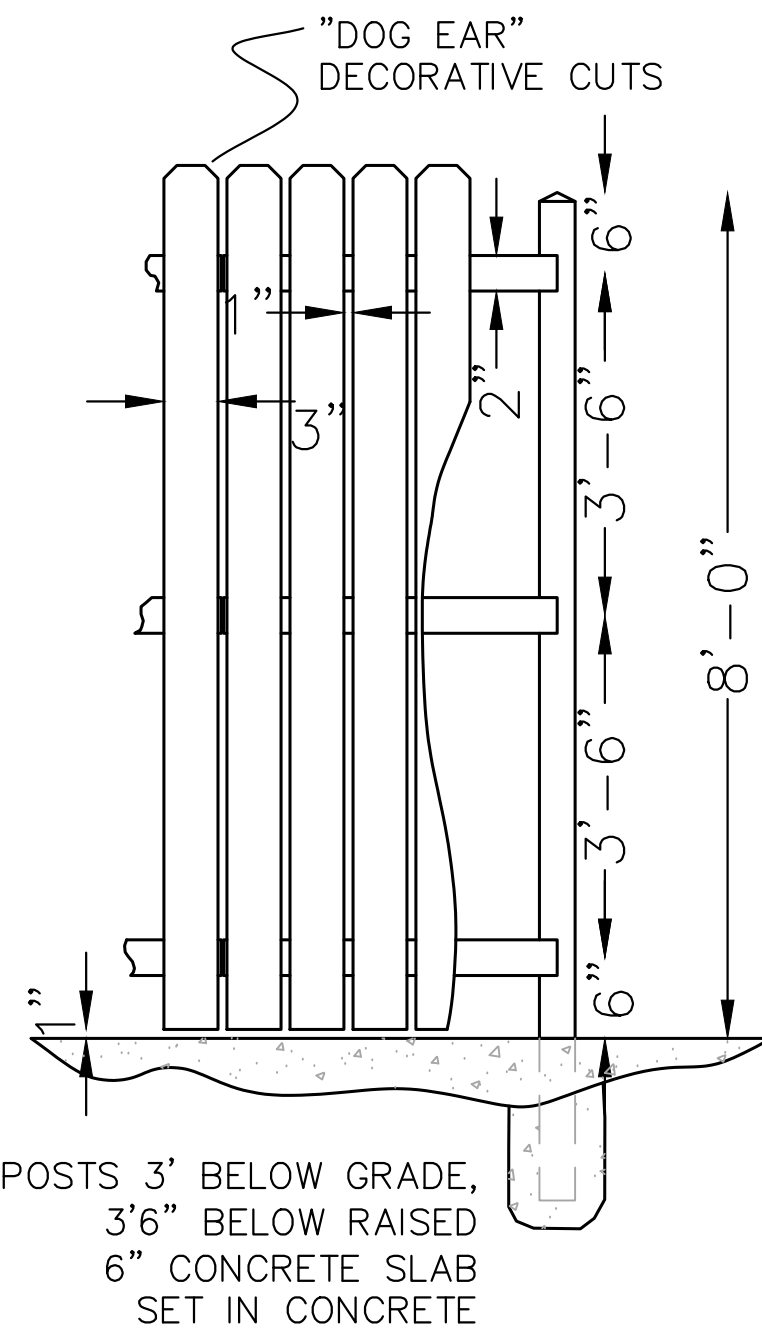
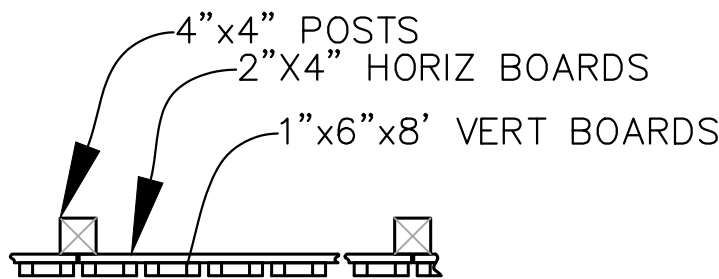
SHRUB DETAIL – CONTAINER OR B&B



TREE DETAIL
N.T.S.

DETENTION POND SHALL HAVE 6" OF PULVERIZED TOPSOIL AND INSTALL DRY MESIC PRAIRIE MIX & EROSION CONTROL BLANKET UP TO THE HIGH WATER LINE

ALL DISTURBED AREAS THAT ARE NOT BEING MULCHED SHALL RECEIVE A MINIMUM OF 6" OF PULVERIZED TOP SOIL & BE SEEDDED



FENCING DETAIL

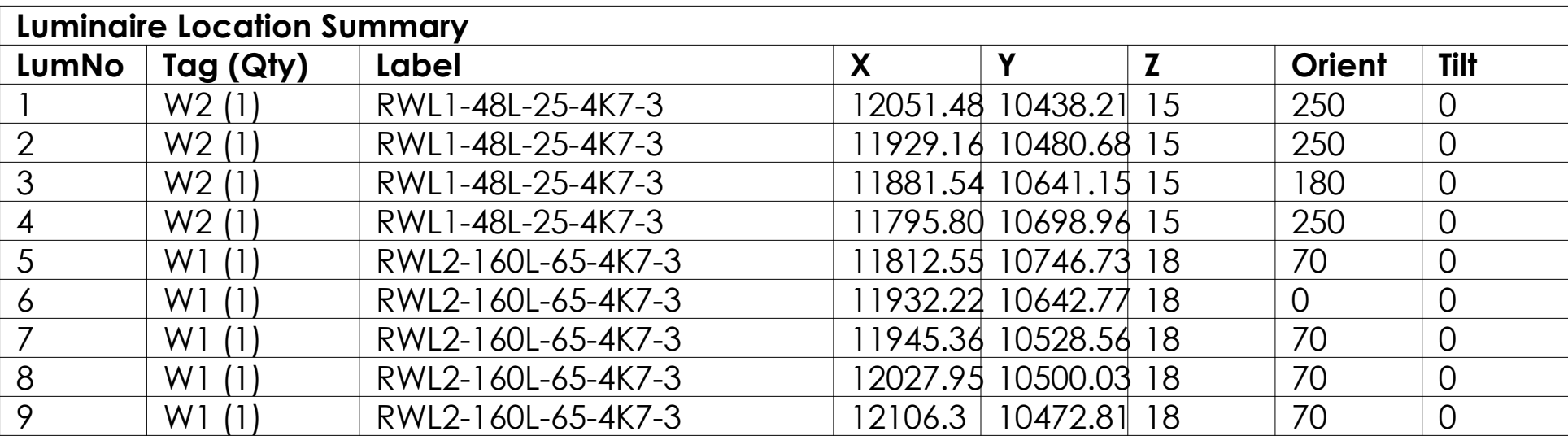
For Trees no more than three of the same species shall be clustered together. And the goal should be that no Family shall account for more than 30%, no Genus shall account for more than 20%, and no Species shall account for more than 10% of any Planting Material Type.

NATIVE ECOSYSTEMS		
MESIC TO DRY PRAIRIE WITH FLOWERS MIXTURE		
Temporary Cover		lbs. per acre
Avena sativa (seed oats)		32.0
Lolium multiflorum (annual rye)		10.0
Permanent Grasses		
Andropogon gerardii (big bluestem)		1.5
Andropogon scoparius (little bluestem)		3.0
Bouteloua curtipendula (side oats grama)		2.0
Danicum virginica (common switch grass)		0.125
Sorghastrum nutans (indian grass)		1.25
Sporobolus heterolepis (prairie dropseed)		0.125
Permanent Forbs		
Anemone canadensis (laid plant)		0.125
Aster novae-angliae (new england aster)		0.063
Aster spicatus (sky-blue aster)		0.063
Achillea millefolium (common yarrow)		0.063
Baptisia leucantha (white wild indigo)		0.063
Carex bicknellii (prairie sedge)		0.062
Carex crinita (fringed sedge)		0.062
Carex anacutens (yellow fringed sedge)		0.062
Chamaecrista fasciculata (partridge pea)		0.125
Echinacea purpurea (purple coneflower)		0.6
Eryngium yuccifolium (rattlesnake master)		0.063
Heliopsis helianthoides (early sunflower)		0.125
Lespedeza capitata (roundleafed bush clover)		0.125
Liatris aspera (rough blazing star)		0.125
Liatris pycnostachya (prairie blazing star)		0.125
Monarda fistulosa (wild bergamot)		0.125
Parthenium integrifolium (wild quinquefoil)		0.063
Pedicularis purpurea (purple prairie clover)		0.063
Rudbeckia hirta (black-eyed susan)		0.310
Rudbeckia subtomentosa (sweet black-eyed susan)		0.6
Rubus odoratus (sweet black-eyed susan)		0.125
Silphium laciniatum (rattlesnake master)		0.188
Silphium laciniatum (compass plant)		0.063
Silphium terebinthaceum (prairie dock)		0.061
Solidago rigida (stiff goldenrod)		0.063
Solidago odora (goldenrod)		0.063
Veronica stricta (hoary veronica)		0.063
Yarrowia fasciculata (yarrow)		0.180
Annual & short lived perennial flowers (optional)		3.0
MIXTURE TOTAL		56.8 lbs.

Note: Due to ingredient product availability, substitution maybe necessary. Please keep in mind we will use equivalent to or better than cultivars.

MARTENSON TURF PRODUCTS, INC. 800-833-2290

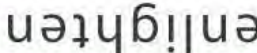
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Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
SITE_Planar	Illuminance	Fc	0.21	3.6	0.0	N.A.	N.A.	READINGS @ GRADE
PARKING AREAS	Illuminance	Fc	1.08	3.6	0.0	N.A.	N.A.	READINGS @ GRADE

Recommendations based on RP-33-99, RP-20-98, 9th Edition IESNA Lighting Handbook

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Drawn By: Joeli Collins

Drawn By: joeli.collins@pq-enlighten.com

Date: 5/20/2021

Scale: 1" = 40'

Comments

Date _____

#

Revisions

Project Name:

JPC TREE CARE

Location:

GALENA RD & E. BEECHER RD, BRISTOL, IL

RATIO Wall

RWL1/RWL2 LED WALLPACK

FEATURES

- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, Wiscap and 7-Pin with networked controls
- Battery Backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada
- Stock versions available in 3500lm and 5500lm configurations at 4000K



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating.

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 48 or 160 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI/80 CRI) CCT
- Zero uplight distributions
- LED optics provide IES type II, III and IV distributions. Type II only available in RWL2 configurations.

INSTALLATION

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct j-box mount.
- Integral back box contains 1/2" conduit hubs
- Integral back box standard with Dual Driver, Dual Power Feed, NX, Wiscap and battery versions (battery versions for RWL1 only)

ELECTRICAL

- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option for all wattages above 35W.

ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion
- Driver RoHS and IP66
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dimming drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than 6" standard.

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- Button photocontrol is suitable for 120-277V operation
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- WISCAPE® available with in fixture wireless control module, features dimming and occupancy sensor
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Battery Backup suitable for operating temperatures -25°C to 40°C



RELATED PRODUCTS

[Ratio Family](#) [Ratio Area](#) [Ratio Flood](#)

CONTROLS (CONTINUED)

- Dual Driver and Dual Power Feed options creates product configuration with 2 internal drivers for code compliance
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application.

CERTIFICATIONS

- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- IP65 rated housing
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions
- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org

WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	1,000–19,500
Wattage Range	10–155
Efficacy Range (LPW)	118–148
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	6.5/16.5 (2.9/7.5)

RATIO WALL

RWL1/RWL2 LED WALLPACK

ORDERING GUIDE

Example: RWL1-48L-10-3K7-2-UNV-BLS-E

CATALOG #

ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Voltage	Color
RWL1 Ratio Wall 1	48L-10 1,000 Lumens ⁴	3K7 3000K, 70 CRI	2 IES TYPE II ¹	UNV 120-277V	BLT Black Matte Textured
	48L-15 2,000 Lumens ⁴	4K7 4000K, 70 CRI	3 IES TYPE III	120 120V	BLS Black Gloss Smooth
	48L-20 2,500 Lumens ⁴	5K7 5000K, 70 CRI	4W IES TYPE IV	208 208V	DBT Dark Bronze Matte Textured
	48L-25 3,500 Lumens ⁴			240 240V	DBS Dark Bronze Gloss Smooth
	48L-35 4,500 Lumens			277 277V	GTT Graphite Matte Textured
	48L-45 5,500 Lumens ⁴			347 347V	LGS Light Grey Gloss Smooth
RWL2 Ratio Wall 2	160L-45 6,500 Lumens			480 480V	LGT Light Grey Matte Textured
	160L-50 7,500 Lumens				PSS Platinum Silver Smooth
	160L-65 9,500 Lumens				WHT White Matte Textured
	160L-80 11,000 Lumens				WHS White Gloss Smooth
	160L-95 13,000 Lumens				VGT Verde Green Textured
	160L-115 15,000 Lumens				Color Option
	160L-135 17,500 Lumens				CC Custom Color
	160L-155 19,500 Lumens				

Control Options Network	
NXWE	NX Wireless Enabled (module + radio) ^{2,7}
NXSPW_F	NX Wireless, PIR Occ. Sensor, Daylight Harvesting ^{4,5,7}
NXSP_F	NX, PIR Occ. Sensor, Daylight Harvesting ^{4,5,7}
WIR	Wireless Controls, wiSCAPE ^{2,6}
Stand Alone Sensors	
SCP-8F	Remote control programmable line voltage sensor ^{3,4}
SCP-20F	Remote control programmable line voltage sensor ^{3,4}
Control Options	
7PR_	7-Pin Receptacle ⁶

Options	
F	Fusing (must specify voltage)
E	Emergency Battery Backup ^{7,8,9}
EH	Emergency Battery w/ Heater Option ^{7,8,9}
2DR	Dual Driver ^{4,6}
2PF	Dual Power Feed ^{4,6}
PC	Button Photocontrol ⁸

Notes:

- Only available with RWL2
- wiSCAPE Gateway required for system programming
- Specific voltage selection is required
- Not available with 480V
- Replace "_" with "14" for up to 14' mounting height, "40" for up to 40' mounting height
- This item is located in the integral backbox which will be automatically added onto the fixture if chosen.
- This item is located in the integral backbox for RWL1 configurations only.
- Option only available at 120 or 277V
- Only available with RWL1

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Finish
RWL1-48L-25-4K-3	3500lm	25	48L	4000K/70CRI	120-277V	Type III	Dark Bronze Textured
RWL1-48L-25-4K-4W	3500lm	25	48L	4000K/70CRI	120-277V	Type IV Wide	Dark Bronze Textured
RWL1-48L-45-4K-3	5500lm	45	48L	4000K/70CRI	120-277V	Type III	Dark Bronze Textured
RWL1-48L-45-4K-4W	5500lm	45	48L	4000K/70CRI	120-277V	Type IV Wide	Dark Bronze Textured

CONTROLS

Control Options

Standalone
SCPREMOTE Order at least one per project location to program and control

ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
<input type="checkbox"/> WP-BB-XXX	Accessory for conduit entry ¹

Notes:

- replace "xxx" with color option

RATIO WALL

RWL1/RWL2 LED WALLPACK

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RWL1	10	10.1	3	1362	135	0	0	1	1355	134	0	0	1	1303	129	0	0	1
			4W	1343	133	0	0	1	1336	132	0	0	1	1285	127	0	0	1
	15	14.5	3	1972	136	1	0	1	1962	135	1	0	1	1887	130	1	0	1
			4W	1945	134	0	0	1	1935	133	0	0	1	1861	128	0	0	1
	20	19.9	3	2722	137	1	0	1	2709	136	1	0	1	2605	131	1	0	1
			4W	2685	135	1	0	1	2672	134	1	0	1	2569	129	1	0	1
	25	28.0	3	3749	134	1	0	1	3732	133	1	0	1	3588	128	1	0	1
			4W	3698	132	1	0	1	3680	131	1	0	1	3538	126	1	0	1
	35	36.9	3	4751	129	1	0	2	4728	128	1	0	2	4546	123	1	0	1
			4W	4685	127	1	0	2	4663	126	1	0	2	4483	121	1	0	2
	45	46.5	3	5812	125	1	0	2	5784	124	1	0	2	5562	120	1	0	2
			4W	5731	123	1	0	2	5704	123	1	0	2	5485	118	1	0	2
RWL2	45	46.1	2	6701	145	1	0	2	6668	145	1	0	2	6412	139	1	0	2
			3	6812	148	1	0	2	6780	147	1	0	2	6519	141	1	0	2
			4W	6678	145	1	0	2	6646	144	1	0	2	6390	139	1	0	2
	50	54.0	2	7747	143	1	0	2	7710	143	1	0	2	7413	137	1	0	2
			3	7876	146	1	0	2	7838	145	1	0	2	7537	140	1	0	2
			4W	7720	143	1	0	2	7683	142	1	0	2	7388	137	1	0	2
	65	67.2	2	9539	142	1	0	2	9494	141	1	0	2	9129	136	1	0	2
			3	9699	144	2	0	2	9652	144	2	0	2	9281	138	2	0	2
			4W	9507	141	2	0	2	9461	141	2	0	2	9097	135	2	0	2
	80	80.8	2	11228	139	2	0	2	11174	138	2	0	2	10745	133	2	0	2
			3	11416	141	2	0	2	11361	141	2	0	2	10924	135	2	0	2
			4W	11190	138	2	0	2	11136	138	2	0	2	10708	133	2	0	2
	95	93.2	2	13148	141	2	0	2	13085	140	2	0	2	12582	135	2	0	2
			3	13368	143	2	0	2	13304	143	2	0	2	12792	137	2	0	2
			4W	13103	141	2	0	2	13040	140	2	0	2	12539	135	2	0	2
	115	109.8	2	15102	138	2	0	3	15030	137	2	0	3	14452	132	2	0	3
			3	15354	140	2	0	3	15281	139	2	0	3	14693	134	2	0	3
			4W	15050	137	2	0	3	14978	136	2	0	3	14402	131	2	0	3
	135	137.1	2	17533	128	2	0	3	17449	127	2	0	3	16778	122	2	0	3
			3	17826	130	2	0	3	17740	129	2	0	3	17058	124	2	0	3
			4W	17473	127	2	0	3	17389	127	2	0	3	16720	122	2	0	3
	155	156.8	2	19495	124	2	0	3	19402	124	2	0	3	18656	119	2	0	3
			3	19821	126	2	0	3	19726	126	2	0	3	18967	121	2	0	3
			4W	19542	125	2	0	3	19448	124	2	0	3	18700	119	2	0	3

RATIO WALL

RWL1/RWL2 LED WALLPACK

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98
50°C	122°F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

ELECTRICAL DATA

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RWL1	10	120	0.08	10.1
		208	0.05	
		240	0.04	
		277	0.04	
		347	0.03	
		480	0.02	
	15	120	0.12	14.5
		208	0.07	
		240	0.06	
		277	0.05	
		347	0.04	
		480	0.03	
	20	120	0.17	19.9
		208	0.10	
		240	0.08	
		277	0.07	
		347	0.06	
		480	0.04	
	25	120	0.23	28.0
		208	0.13	
		240	0.12	
		277	0.10	
		347	0.08	
		480	0.06	
	35	120	0.31	36.9
		208	0.18	
		240	0.15	
		277	0.13	
		347	0.11	
		480	0.08	
	45	120	0.39	46.5
		208	0.22	
		240	0.19	
		277	0.17	
		347	0.13	
		480	0.10	

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RWL2	45	120	0.38	46.1
		208	0.22	
		240	0.19	
		277	0.17	
		347	0.13	
		480	0.10	
	50	120	0.45	54.0
		208	0.26	
		240	0.23	
		277	0.19	
		347	0.16	
		480	0.11	
	65	120	0.56	67.2
		208	0.32	
		240	0.28	
		277	0.24	
		347	0.19	
		480	0.14	
	80	120	0.67	80.8
		208	0.39	
		240	0.34	
		277	0.29	
		347	0.23	
		480	0.17	
	95	120	0.78	93.2
		208	0.45	
		240	0.39	
		277	0.34	
		347	0.27	
		480	0.19	
	115	120	0.92	109.8
		208	0.53	
		240	0.46	
		277	0.40	
		347	0.32	
		480	0.23	
	135	120	1.14	137.1
		208	0.66	
		240	0.57	
		277	0.49	
		347	0.40	
		480	0.29	
	155	120	1.31	156.8
		208	0.75	
		240	0.65	
		277	0.57	
		347	0.45	
		480	0.33	

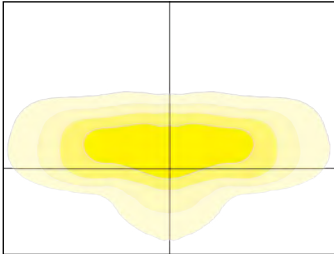
RATIO WALL

RWL1/RWL2 LED WALLPACK

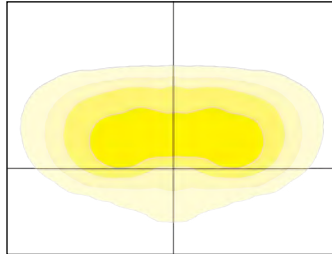
PHOTOMETRY

Mounting Height: 30ft

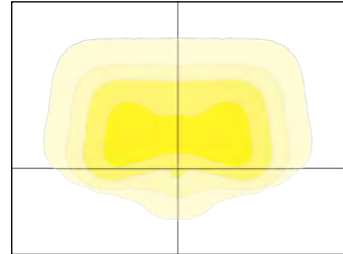
Type II



Type III

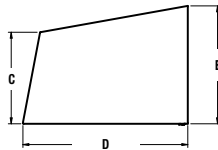
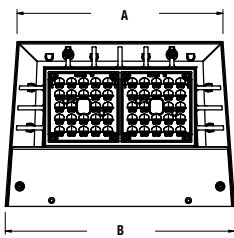


Type VI



DIMENSIONS

RWL1

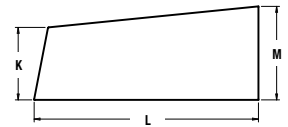
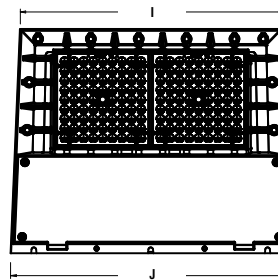


A	B	C	D	E
8.7"	9.7"	3.9"	7.0"	5.0"
221mm	246mm	99mm	178mm	127mm

Weight

6.5 lbs (2.95 kgs)

RWL2

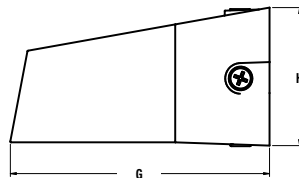
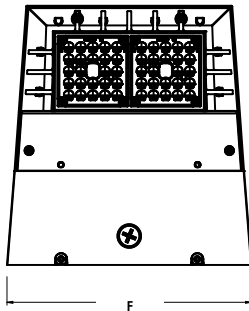


I	J	K	L	M
14.0"	15.0"	3.9"	12.0"	5.0"
356mm	381mm	99mm	305mm	127mm

Weight

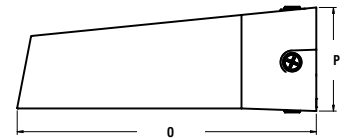
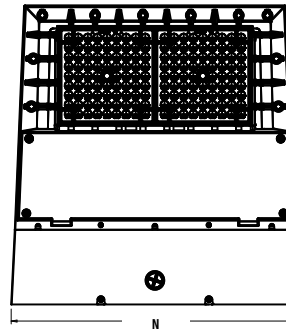
16.5 lbs (7.48 kgs)

RWL1 with
Integral Back Box



F	G	H
10.4"	11.0"	5.9"
264mm	279mm	150mm

RWL2 with
Integral Back Box



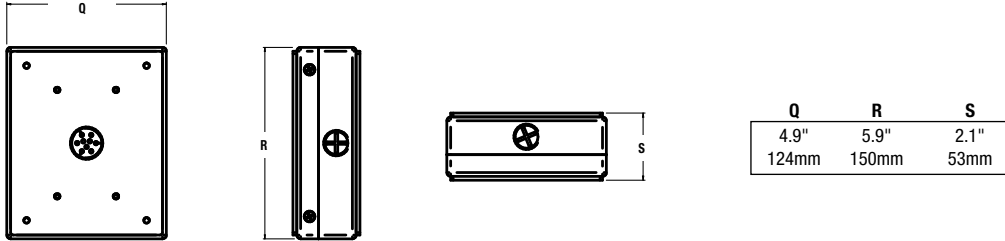
N	O	P
15.4"	16.0"	5.5"
391mm	406mm	140mm

RATIO WALL

RWL1/RWL2 LED WALLPACK

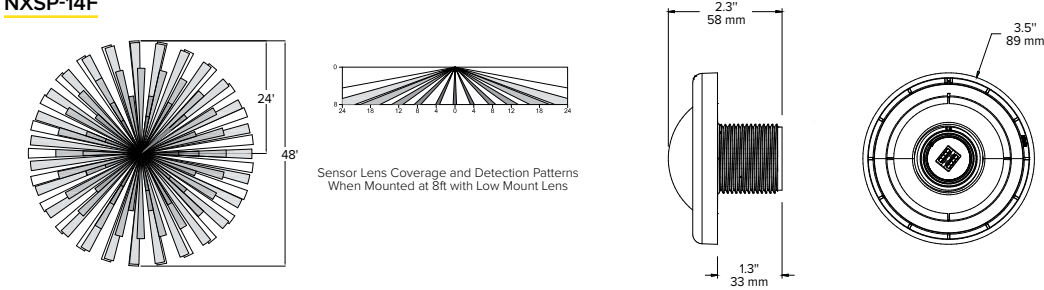
DIMENSIONS (CONTINUED)

Back Box Accessory

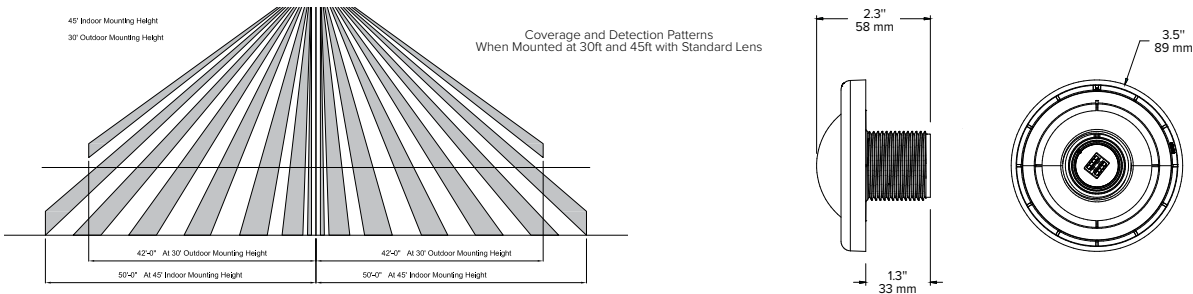


ADDITIONAL INFORMATION

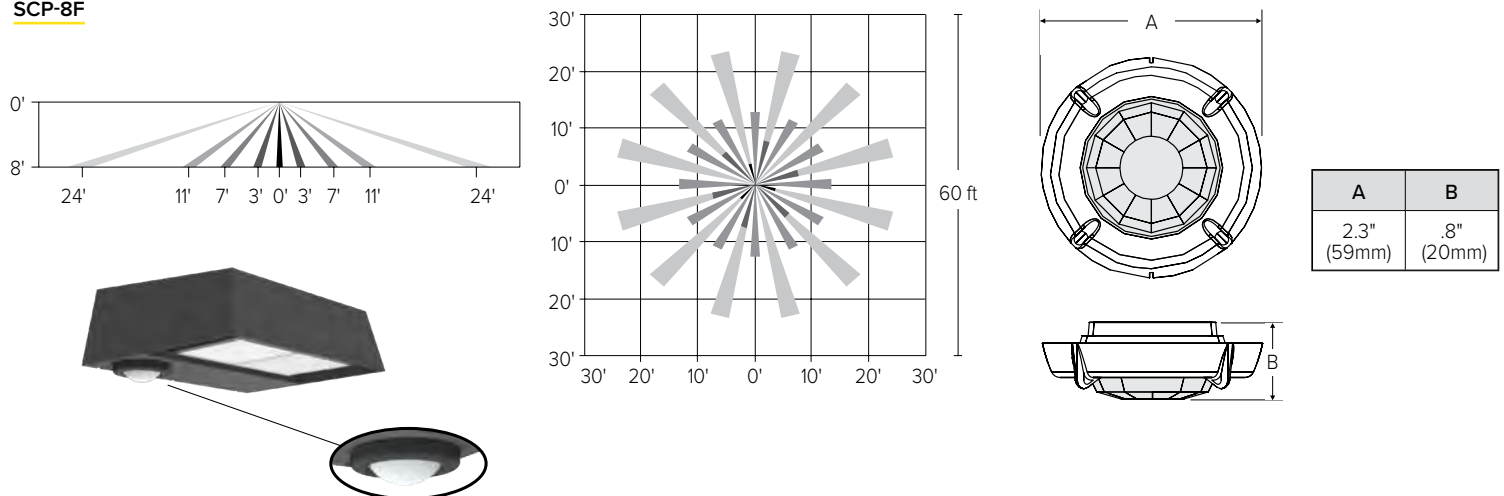
NXSP-14F



NXSP-40F



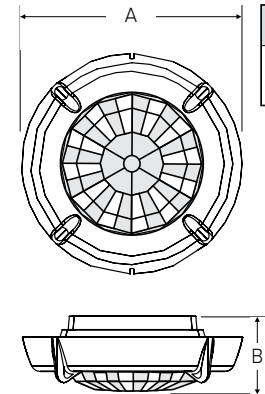
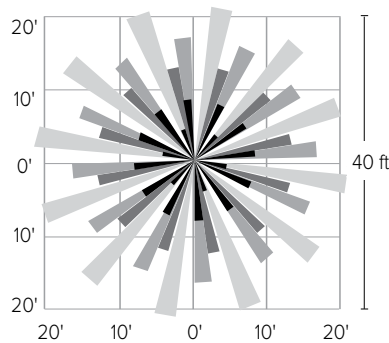
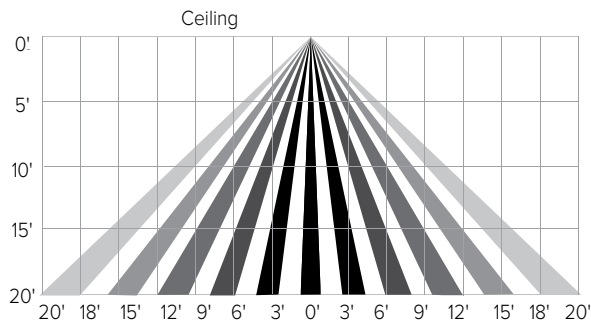
SCP-8F



RATIO WALL

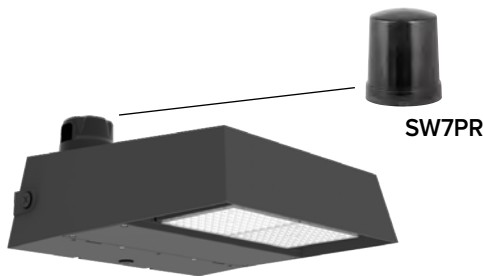
RWL1/RWL2 LED WALLPACK

SCP-20F



A	B
2.3" (59mm)	.8" (20mm)

SITESYNC 7-PIN MODULE



- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)

BENCHMARKS:
ELEV=100.0
CORNER OF CONCRETE

SOIL INFORMATION:
TEST BY:KONEN SOIL INVESTIGATIONS
DATE OF TEST:DECEMBER 13, 2024
CATEGORY: SHWT:
PIT 1 CATLIN NOT OBSERVED
PIT 2 CATLIN 46"
PIT 3 DANABROOK NOT OBSERVED
PERMEABILITY: LOW MODERATE
LOADING RATE: .52

SEWAGE SYSTEM COMPONENTS:
EXISTING 1500 GALLON TANK
240 LF QUICK 4 PLUS STANDARD LP CHAMBERS

BOUNDARIES, LOT DIMENSIONS, EASEMENTS,
& SETBACKS PROVIDED BY TEBRUGGE
ENGINEERING, SANDWICH, IL

EXISTING CONTOURS, ELEVATIONS &
BENCHMARKS OBTAINED BY E*D*S ON SITE
VISIT 12-10-2024

E*D*S ILLINOIS LICENSE NO. 049-008840

THIS IS NOT A PLAT OF SURVEY.
INFORMATION BELIEVED ACCURATE,
BUT NOT WARRANTED.

THIS SEPTIC DESIGN REFLECTS THE
INFORMATION PROVIDED BY A LICENSED
SOIL CLASSIFIER. E*D*S WILL NOT BE
HELD RESPONSIBLE FOR ANY
MISREPRESENTATION OR
MISIDENTIFICATION OF THE SOILS.

IF VARIATIONS ARE MADE FROM THIS
DESIGN TO WHICH POINT THAT THE
COUNTY WOULD REQUIRE A REVISED
DRAWING, IT WOULD BE THE
RESPONSIBILITY OF THE CONTRACTOR
TO EITHER SUBMIT AN "AS BUILT"
DRAWING TO THE COUNTY OR ADVISE
E*D*S PRIOR TO INSTALLATION.

CAUTION: NO STORAGE OF MATERIALS
OR VEHICULAR TRAFFIC IS ALLOWED
UPON SEPTIC AREA. NO PATIOS, DECKS,
DRIVEWAYS, POOLS, OR OTHER
IMPROVEMENTS SHALL BE INSTALLED
WITH IN 5' OF SEPTIC AREA. DRAINAGE
FROM CURTAIN DRAINS, FOOTING
DRAINS, AIR CONDITIONERS,
DEHUMIDIFIERS, DOWN SPOUTS AND
OTHER CLEAR WATERDRAINS SHALL
NOT BE DISCHARGED INTO OR OVER
THE SEPTIC AREA(S). REFER TO DEED,
PLAT OF SURVEY, PLAT OF SUBDIVISION,
COVENANTS AND LOCAL ORDINANCES
FOR EASEMENTS AND SETBACK
INFORMATION NOT INCLUDED HEREON.
REPORT ANY DISCREPANCIES TO E*D*S
PRIOR TO CONSTRUCTION.

IF AN INGROUND POOL IS TO BE
INSTALLED OR CONSIDERED FOR THE
FUTURE, PLEASE NOTE THAT ANY
COMPONENT OF THE SEPTIC SYSTEM
MUST MAINTAIN A MINIMUM OF 25'
ISOLATION.

PLEASE NOTE:
THIS SYSTEM MUST BE INSTALLED AS A
QUICK 4 PLUS STANDARD LOW PROFILE
CHAMBER SYSTEM IN ORDER TO MEET
SIZING REQUIREMENTS.

SEPTIC SYSTEM IS NOT DESIGNED FOR
USE OF GARBAGE DISPOSAL.

ALL SOLID PIPE SHOULD BE SCH 40 OR
GREATER. ALL TANKS MUST BE IDPH
APPROVED.

CONTRACTOR TO INSTALL MULTI PORT
END CAPS WITH INVERT ADAPTERS. IT IS
RECOMMENDED TO USE A PERISCOPE
ON LOW PROFILE CHAMBERS.

ALL SEPTIC TANKS, LIFT STATIONS,
AERATION DEVICES AND ANY OTHER
TREATMENT COMPONENTS SHALL BE
INSTALLED WITH RISERS TO A MINIMUM
OF 3" ABOVE FINISHED GRADE.

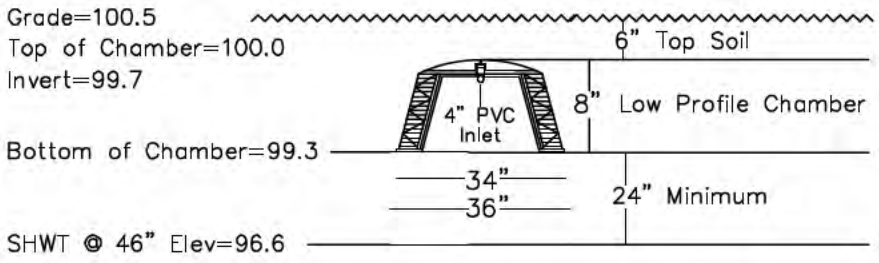
THIS IS AN EXISTING RESIDENCE.
VERIFY LOCATION AND ELEVATION OF
ALL EXISTING INVERTS PRIOR TO START
OF CONSTRUCTION. VERIFY LOCATION
OF ALL EXISTING UTILITIES AND
IMPROVEMENTS PRIOR TO START OF
CONSTRUCTION. IF DISCREPANCIES
EXIST BETWEEN THIS PLAN AND ACTUAL
FIELD CONDITIONS OR YOU WISH TO
VARY FROM THIS PLAN, CONTACT E*D*S
BEFORE PROCEEDING.

EXISTING TANKS ARE TO BE PUMPED
AND ABANDONED ACCORDING TO CODE.

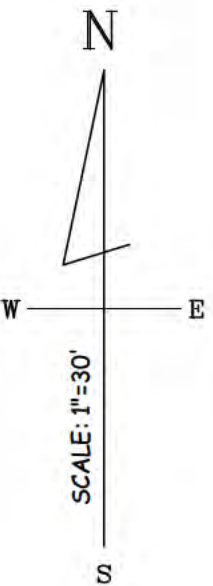
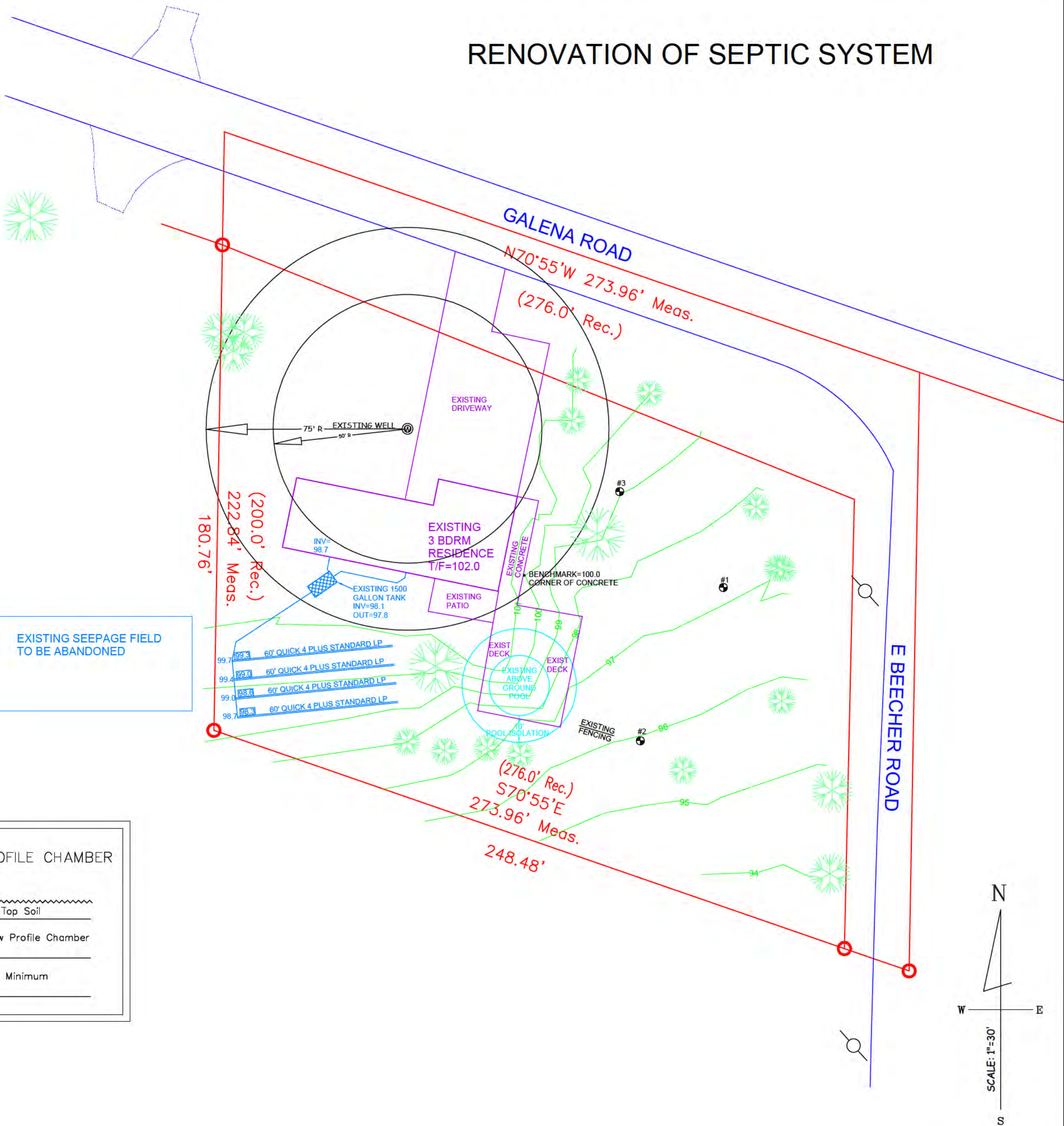
EXISTING SEEPAGE FIELD IS TO BE
ABANDONED ACCORDING TO CODE.

EXISTING SEEPAGE FIELD
TO BE ABANDONED

TRENCH DETAIL
QUICK 4 PLUS STANDARD LOW PROFILE CHAMBER



RENOVATION OF SEPTIC SYSTEM



NO.	DATE	REVISION	NOTES
1	1-29-25	relocated seepage field and changed to 36" chambers	

E*D*S ENVIRONMENTAL
DESIGN SERVICE
(630) 556-4FAX (630) 556-3100
45W134 Raymond Road, Big Rock, IL 60511

02-06-400-004
METES & BOUNDS
PART OF SECTION 6
BRISTOL TOWNSHIP, KENDALL COUNTY, ILLINOIS

PREPARED FOR:
GIL & RITA RIOS

SEWAGE DISPOSAL PLAN

JOB NUMBER 24-294
DRAWN BY: 12-18-24 D. Page
REVIEWED BY: 12-18-24

